



AGENDA
City of Gig Harbor Design Review Board
Virtual Meeting of January 26, 2023 at 5:00 pm

This meeting may be accessed through Zoom at <https://us06web.zoom.us/j/89568206345> or by calling (253) 215- 8782 and entering Meeting ID 895 6820 6345. Please see the Public Comment & Decorum section at the end of this agenda for information on options to make public comment.

This meeting may also be viewed live in the Community Rooms at the Civic Center. All participants will be engaging in the meeting via Zoom.

- I. Call to Order:**
- II. Roll call:**
- III. Approval of Minutes:**
- IV. Agenda Items for Formal Review**
 - a. Announcement of Application
 - b. Open Public Meeting Announcement
 - c. Appearance of Fairness Issues
 - d. Staff Report
 - e. Applicant Introduction and Presentation
 - f. Public Comment (See Assistance Memo)
 - g. Discussion and Voting

Jocelyn V. Devita, 10226 Sentinel Loop, Gig Harbor, WA 98332: DEVITA SINGLE-FAMILY RESIDENCE: (PL-DR-20-0042). The applicant is proposing the construction of a 4,589 square foot single-family residential home. The applicant is requesting a design review exception per Gig Harbor Municipal Code 17.98.060 requesting relief from the following specific requirements of the Design Manual; Gig Harbor Municipal Code (GHMC) 17.99.240(C) Maintain Natural Topography, GHMC 17.99.370(A) Respect Natural Topography, and GHMC 17.99.520(B) Emphasize Front Entry.. The site is located at 3824 Harborview Dr. south of the Harborview and Stinson Round-a-bout. Parcel - 2360000010

V. Upcoming Meetings

VI. Adjourn

PUBLIC COMMENT & DECORUM

Commenters will be allotted 3 minutes per individual, unless revised by the Chair. In-person comments shall be made from the microphone, first giving the speaker's name and address. When there are 30 seconds remaining, staff will alert you to summarize your comments. At the end of your comments, staff will notify you it has come to the end of your comment period. Anyone making "out of order" comments may be subject to removal from the meeting.

Public comment may be made remotely via Zoom or by phone during designated portions of the meeting. To speak during the meeting, press the Raise Hand button near the bottom of your Zoom window or press *9 on your phone. Please refrain from raising your hand until the Chair has announced that the Design Review Board has opened the public comment portion of the meeting. Your name or the last three digits of your phone number will be called out when it is your turn to speak. When using your phone to call in, you may need to press *6 to unmute yourself. All speakers will have up to three minutes to speak.

All remarks shall be addressed to the Design Review Board as a body and not to any specific Member. All speakers shall be courteous in their language and deportment and shall not engage in or discuss or comment on personalities or indulge in derogatory remarks or insinuations with regard to any Design Review Board, the Chair, or any member of the staff or the public.

There will be no demonstrations during or at the conclusion of any public comment. These guidelines are intended to promote an orderly system of holding a public meeting, to give every person an opportunity to be heard and to ensure that no individuals are embarrassed by voicing their opinions.

AMERICANS WITH DISABILITIES (ADA) ACCOMMODATIONS ADA accommodations can be provided upon request. Those requiring special accommodations should contact the City Clerk at cityclerk@gigharborwa.gov or (253) 853-7613 at least 24 hours prior to the meeting.



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
STAFF REPORT**

TO: Design Review Board
FROM: Planning Staff – Jeremy Hammar, Associate Planner
DATE: January 19, 2023

RE: Devita Single-family Residence (PL-DR-20-0042)
Public Meeting Date: January 26, 2023

I. GENERAL INFORMATION

- A. Owner:** Jocelyn Devita
10226 Sentinel Loop
Gig Harbor, WA 98332
- B. Agent:** Snodgrass Freeman associates, inc
7195 Wagner Say Suite 201
Gig Harbor, WA 98335

II. PROJECT DESCRIPTION

The proposed project is for the construction of a 4589 square foot single-family residence on an existing vacant parcel. The applicant is requesting a design review exception per Gig Harbor Municipal Code 17.98.060 requesting relief from the following specific requirements of the Design Manual; Gig Harbor Municipal Code (GHMC) 17.99.240(C) Maintain Natural Topography, GHMC 17.99.370(A) Respect Natural Topography, and GHMC 17.99.520(B) Emphasize Front Entry.

III. SITE DESCRIPTION

- A. Location:** 3824 Harborview Drive., Sec 06, Tw 21, R 02 Qtr 41.
Assessor's Parcel Number: 2360000010
- B. Site Area/Acreage:** 0.514 acres
- C. Existing Site Characteristics:**

1. **Topography:** The site slopes up at roughly a 30% grade from Harborview Dr.
2. **Vegetation:** Majority of the site is covered with invasives.
3. **Wetlands and Critical Areas:** Portions of the site are located within the Shoreline designation 200-ft buffer.

D. Zoning:

1. **Subject parcel:** R-1 – Vacant
2. **Adjacent zoning and current use:**
 - a. **North:** WC – Commercial
 - b. **East:** WC - Commercial
 - c. **South:** R-1 – Single-Family Residence
 - d. **West:** R-1 – Single-Family Residence

- E. Road Access/Utilities:** The site is accessed from Harborview Drive. The City provides sewer and water service.

IV. PERTINENT DESIGN REVIEW POLICIES

- A. Comprehensive Plan:** The site is designated as Residential Low. The Community Design Element is directly applicable (pgs. 4-1 – 4-19) while other elements are indirectly applicable.
- B. Gig Harbor Municipal Code:** The subject parcel is zoned Single-Family Residential (R-1). Chapter 17.16 GHMC contains development and performance standards for this district.
- C. Design Manual:** The Design Review process is outlined in Gig Harbor Municipal Code (GHMC) Chapter 17.98. GHMC Subsection 17.98.060 outlines the process for review of Design Manual exceptions by the Design Review Board (DRB). This section states that the DRB shall hold a public meeting and, following said meeting, shall make a recommendation to the Community Development Director for approval or denial of the application.

An exception is used in those situations in which an applicant does not provide an alternative design to the requirements of Chapter 17.99 GHMC, Design Manual. The board shall issue a recommendation to the director on an exception application. All of the following circumstances must be shown to exist for approval of a design exception:

1. Special conditions and circumstances exist which render a specific requirement of Chapter 17.99 GHMC, Design Manual, unnecessary, given the location and intended use of the proposed development;

2. The special conditions and circumstances are characteristic of the proposed general use of a site and not of a specific tenant;
3. The special conditions and circumstances are not representative of typical retail, professional office or residential type development which may be allowed within the zoning district;
4. The requested exception is based upon functional consideration rather than economic hardship, personal convenience or personal design preferences;
5. Architectural changes in the project design as a result of the exception have been sufficiently compensated by other architectural embellishments, and site plan changes as a result of the exception have been sufficiently compensated by other site amenities; and
6. The requested exception will not result in a project which is inconsistent with the intent and general scope of the standards of Chapter 17.99 GHMC, Design Manual.

V. BACKGROUND INFORMATION

The subject site was part of the area incorporated as City of Gig Harbor in 1946.

VI. REQUESTED DRB REVIEW AND ANALYSIS

The applicant has requested that the following item be reviewed by the DRB. See the exhibits attached to this staff report for the project agent's elevations, plans, and written narratives detailing the proposed design. Planning staff has reviewed the materials submitted and makes the following analysis, findings and recommendations on the specified Design Manual requirement.

Article III-Site Design

1. GHMC 17.99.240 – Natural Site Conditions: GHMC 17.99.240(C) Maintain natural Topography - Buildings and parking lots shall be designed to fit natural slopes rather than regrading the slope to fit a particular building or parking lot design. Cuts and fills on a site shall be balanced and finished grades shall not include any retaining walls that exceed six feet. Instead, designs shall complement and take advantage of natural topography. Sloped lots may require multileveled buildings, terraced parking lots and/or lower level parking garages.

Planning staff has reviewed the applicant's narrative attached to this staff report as Exhibit D and offers the following analysis and conclusions as they relate to consistency with the criteria set forth in GHMC 17.98.060.

Criteria for Approval. All of the following circumstances must be shown to exist for approval of a design exception:

1. Special conditions and circumstances exist which render a specific requirement of Chapter 17.99 GHMC, Design Manual, unnecessary, given the location and intended use of the proposed development.

Staff Analysis: In this instance, special conditions and circumstances exist which render GHMC 17.99.240 unnecessary as applied to development on the site. The applicant proposes to develop this vacant lot with an approximately 2,400 square foot building pad and associated access from the right-of-way. The site has a slope of approximately 30% top to bottom over a 90 ft deep site. As result of the required setbacks in the R-1 zoning district, the location of any potential location for a building pad will be located on the sloped portion of the site. Locating and constructing an access and driveway per code standards as well as locating a building pad has made the proposed unbalanced cut on site unavoidable.

2. The special conditions and circumstances are characteristic of the proposed general use of a site and not of a specific tenant.

Staff Analysis: Locating and constructing an access per code standards as well as locating a building pad has made the proposed unbalanced cut on this site unavoidable. Any tenant or use occupying the site would experience these special circumstances and could favorably argue cause for an exception from GHMC 17.99.240.

3. The special conditions and circumstances are not representative of typical retail, professional office or residential type development which may be allowed within the zoning district.

Staff Analysis: The topography found on the site is not typical of residential development in the city.

4. The requested exception is based upon functional consideration rather than economic hardship, personal convenience or personal design preferences.

Staff Analysis: The applicant has clarified that the requested exception is a result of functional consideration from the result of best practices applied by the Civil Engineer and Geologist rather than economic hardship, personal convenience, or personal design preferences. Please see the applicant's response in Exhibit D. Staff concurs that the requested exception is a result of functional consideration.

5. Architectural changes in the project design as a result of the exception have been sufficiently compensated by other architectural embellishments, and

site plan changes as a result of the exception have been sufficiently compensated by other site amenities.

Staff Analysis: The proposed design alternative includes a pin-pile commercial retaining wall system. To maintain compliance as much as possible with the design manual requirement for retaining walls 6 ft or less, the proposal includes a stepped 2 -wall system, backfilled with earth and covered with landscaping. The walls will be located behind the residence with only a portion visible from the right of way. Along with a landscaping plan proposed by the applicant (Exhibit C) these elements of the site plan, in addition to the site's holistic design, sufficiently compensate the requested design exception.

6. The requested exception will not result in a project which is inconsistent with the intent and general scope of the standards of Chapter 17.99 GHMC, Design Manual.

Staff Analysis: The requested exception can be found consistent with the intent and general scope of the standards of GHMC Chapter 17.99, Design Manual. The intent of the Design Manual is described in GHMC 17.99.020, as follows:

- A. Encourage building design and site planning to complement the existing character of specific neighborhoods or geographic areas of the city in which the proposed building or site improvements are located; relate visually and physically to surrounding development, and; promote pedestrian usage.
- B. Provide options that allow for diversity and creativity in project design.
- C. Facilitate a dialogue between project proponents and the city's design review board in a public meeting setting.
- D. Increase public awareness of design issues and design options.
- E. Provide an objective basis for decisions which affect both individual projects and the city of Gig Harbor as a whole.
- F. Ensure that the intent of the goals and objectives contained within the city of Gig Harbor's comprehensive plan are met.

The development of the subject parcel has been creatively designed in a manner which is complementary to the character of its area. the proposed design exception can be found consistent with the intent and general scope of GHMC 17.99.

Article IV-Architecture

1. GHMC 17.99.370 – Site Sensitive Building Design: GHMC 17.99.370(A) Respect Natural Topography - Buildings shall be designed to fit natural slopes rather than regrading the slope to fit a particular building design. Minimize cuts and fills by developing designs which complement and take advantage of natural topography. Sloped lots may require terraced parking lots and multilevel buildings designed to follow the slope.

Planning staff has reviewed the applicant's narrative attached to this staff report as Exhibit D and offers the following analysis and conclusions as they relate to consistency with the criteria set forth in GHMC 17.98.060.

Criteria for Approval. All of the following circumstances must be shown to exist for approval of a design exception:

1. Special conditions and circumstances exist which render a specific requirement of Chapter 17.99 GHMC, Design Manual, unnecessary, given the location and intended use of the proposed development.

Staff Analysis: In this instance, special conditions and circumstances exist which render GHMC 17.99.370(A) unnecessary as applied to development on the site. The applicant proposes to develop this vacant lot with an approximately 2,400 square foot building pad and associated access from the right-of-way. The site has a slope of approximately 30% top to bottom over a 90 ft deep site. As result of the required setbacks in the R-1 zoning district, the location of any potential location for a building pad will be located on the sloped portion of the site. Locating and constructing an access and driveway per code standards as well as locating a building pad has made the proposed unbalanced cut on site unavoidable.

2. The special conditions and circumstances are characteristic of the proposed general use of a site and not of a specific tenant.

Staff Analysis: Locating and constructing an access per code standards as well as locating a building pad has made the proposed cut on this site unavoidable. Any tenant or use occupying the site would experience these special circumstances.

3. The special conditions and circumstances are not representative of typical retail, professional office or residential type development which may be allowed within the zoning district.

Staff Analysis: The topography found on the site is not typical of residential development in the city.

4. The requested exception is based upon functional consideration rather than economic hardship, personal convenience or personal design preferences.

Staff Analysis: The applicant has clarified that the requested exception is a result of functional consideration from the result of best practices applied by the Civil Engineer and Geologist rather than economic hardship, personal convenience, or personal design preferences. Please see the applicant's response in Exhibit D. Staff concurs that the requested exception is a result of functional consideration.

5. Architectural changes in the project design as a result of the exception have been sufficiently compensated by other architectural embellishments, and site plan changes as a result of the exception have been sufficiently compensated by other site amenities.

Staff Analysis: The proposed design alternative includes a pin-pile commercial retaining wall system in order to minimize the amount of cut on site to the greatest extent feasible. Along with a landscaping plan proposed by the applicant (Exhibit C) these elements of the site plan sufficiently compensate the requested design exception.

6. The requested exception will not result in a project which is inconsistent with the intent and general scope of the standards of Chapter 17.99 GHMC, Design Manual.

Staff Analysis: The requested exception can be found consistent with the intent and general scope of the standards of GHMC Chapter 17.99, Design Manual. The intent of the Design Manual is described in GHMC 17.99.020, as follows:

- A. Encourage building design and site planning to complement the existing character of specific neighborhoods or geographic areas of the city in which the proposed building or site improvements are located; relate visually and physically to surrounding development, and; promote pedestrian usage.
- B. Provide options that allow for diversity and creativity in project design.
- C. Facilitate a dialogue between project proponents and the city's design review board in a public meeting setting.
- D. Increase public awareness of design issues and design options.
- E. Provide an objective basis for decisions which affect both individual projects and the city of Gig Harbor as a whole.
- F. Ensure that the intent of the goals and objectives contained within the city of Gig Harbor's comprehensive plan are met.

The development of the subject parcel has been creatively designed in a manner which is complementary to the character of its area. the proposed design exception can be found consistent with the intent and general scope of GHMC 17.99.

Conclusion: Based on the preceding analysis, staff has found the applicant's request to be consistent with the criteria set forth in GHMC 17.98.060, circumstances to be met for the approval of Design Exceptions.

Additional Design Discussion

GHMC 17.99.520 – Garage and Front entry – Historic District: GHMC 17.99.520(B) Emphasize front entry- Front entry porches can be used to

emphasize the front entry. When there is no front porch or when a front porch is not an obvious or prominent feature of the house design, then the front door must be oriented so that it directly faces the street.

Planning staff has reviewed the applicant's narrative attached to this staff report as Exhibit E and F and offers the following analysis and conclusions as they relate to 17.99.520(B)

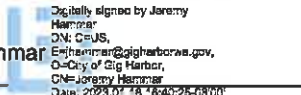
The attached documents note that while the home does not have a front entry porch located adjacent to the front setback of the property. The Front entry porch is an obvious feature when utilizing the proposed driveway and is visible from a portion of the right-of-way adjacent to the front of the property. In the past, Staff has treated front porches designed in this manner as meeting this specific requirement prescriptively.

VII. PUBLIC NOTICE

Legal notice of the meeting was published in The News Tribune and posted on the subject site by January 19, 2023. In addition, notice was mailed to all property owners within 300 feet of the subject site on January 19, 2023. As of the date of this report, staff has received no public comments in response to the public meeting notice.

Project Planner: Jeremy Hammar, Associate Planner

Jeremy Hammar



Digitally signed by Jeremy Hammar
DN: cn=US, email=jerhammar@gigharborwa.gov, o=City of Gig Harbor, cn=Jeremy Hammar
Date: 2023.01.18 16:40:25-0800

Date: January 19, 2023

cc: Owner/Applicant, Agent

The following documents pertinent to your review are enclosed:

- A. Civil plan set, prepared by Contour Engineering, Dated January 13, 2023
- B. Architectural Plan, prepared by SFA Architects., Dated November 3, 2022
- C. Landscape Plan, prepared by SFA Architects., dated October 19, 2022
- D. Applicant's Exception Narrative, dated November 3, 2022
- E. Front porch Narrative
- F. Entry Porch Graphic

EXHIBIT A.

A PORTION OF GOVERNMENT LOT 2 IN THE NE 1/4 OF THE SE 1/4 OF SECTION 6, TOWNSHIP 21 N., RANGE 2 E., W.M.
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON

DEVITA SFR

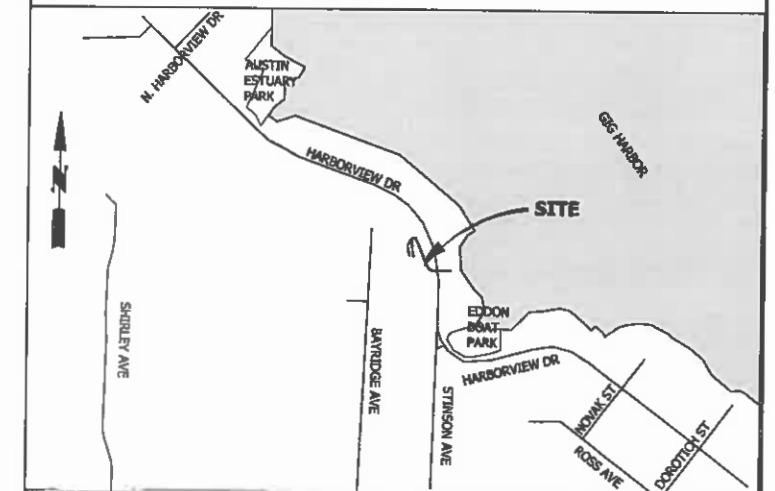
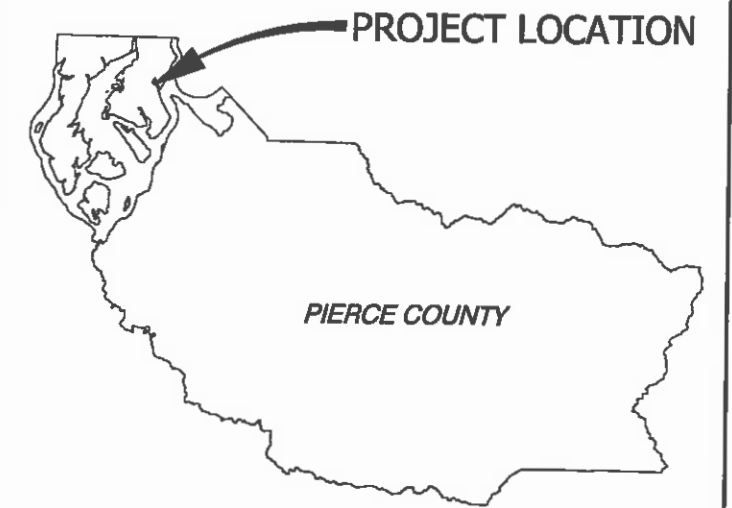
PROJECT No. BD-20-0096
Firm's PROJECT No. 19-144

COVER SHEET



CONTOUR ENGINEERING LLC
P.O. BOX 949
GIG HARBOR, WA 98335
(253)857-5454

VICINITY MAP
SCALE: N.T.S.



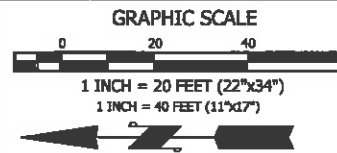
SHEET INDEX

| | |
|------|--------------------------------------|
| C0 | COVER SHEET |
| C1 | SITE MAP AND HORIZONTAL CONTROL PLAN |
| S1 | BOUNDARY AND TOPOGRAPHIC SURVEY |
| C2 | TESC PLAN |
| C3 | TESC NOTES & DETAILS |
| C4 | GRADING & UTILITY PLAN |
| C4.1 | GRADING & UTILITY PLAN |
| C5 | NOTES & DETAILS |
| C6 | NOTES & DETAILS |
| C7 | NOTES & DETAILS |
| C8 | DISTANCE PLAN AND PROFILE |



Know what's below.
Call before you dig.

A PORTION OF GOVERNMENT LOT 2 IN THE NE 1/4 OF THE SE 1/4 OF SECTION 6, TOWNSHIP 21 NORTH,
RANGE 2 EAST OF THE WILLAMETTE MERIDIAN, CITY OF GIG HARBOR, PIERCE COUNTY WASHINGTON



IMPERVIOUS SPACE

ROOF COVERAGE AREA = 2,657 SQ. FT.
OTHER CONCRETE OR ASPHALT AREA (UNCOVERED) = 5,750 SQ. FT.
TOTAL IMPERVIOUS AREA = 8,407 SQ. FT.
TOTAL LOT AREA = 22,738 SQ. FT. (0.522 ACRES)

IMPERVIOUS AREA CALCULATION:
8,407 SQ. FT. / 22,738 SQ. FT. x 100 = 37.0% (<40% OK)

EXISTING VEGETATION NOTE

THERE DOES NOT APPEAR TO BE ANY SIGNIFICANT VEGETATION ON THE SITE IN ITS PRE-DEVELOPED STATE.

ABBREVIATIONS

- CL= CENTER LINE
- DS= DOWN SPOUT
- EG= EXISTING GRADE
- FG= FINISH GRADE
- FL= FLOW LINE
- LF= LINEAR FEET
- ME= MATCH EXISTING
- MIN= MINIMUM
- RD= ROOF DRAIN
- ROW= RIGHT OF WAY
- SD= STORM DRAIN
- SDCO= STORM DRAIN CLEAN OUT
- SS= SANITARY SEWER
- SSCO= SANITARY SEWER CLEAN OUT
- W= WATER

BUILDING SETBACKS

FRONT = 25'
SIDE = 10'
REAR = 30'

MANUALS USED

STORMWATER DESIGN: 2016 GIG HARBOR STORMWATER MANAGEMENT AND SITE DEVELOPMENT MANUAL
PUBLIC WORKS STANDARDS: CITY OF GIG HARBOR 2018 PUBLIC WORKS STANDARDS

SITE STATISTICS

OWNER: JOCELYN DEVITA
10226 SENTINEL LOOP
GIG HARBOR, WA 98335-3223
ENGINEER/SURVEYOR: CONTOUR ENGINEERING LLC
PO BOX 949
GIG HARBOR, WA 98335
PHONE: (253) 857-5454
ARCHITECT: SFA ARCHITECTS
7195 WAGNER WAY, SUITE 201
GIG HARBOR, WA 98335
PHONE: (253) 851-8383
GEO TECHNICAL ENGINEER: GEORESOURCES, INC.
5007 PACIFIC HWY EAST, SUITE 16
PIKE, WA 98424
(253) 896-1011
ADDRESS: 3824 HARBORVIEW DR, GIG HARBOR, WA
PARCEL NUMBER: 2360000010
ZONING: R-1
PROPOSED USE: RESIDENTIAL
SANITARY SEWER: CITY OF GIG HARBOR
WATER: CITY OF GIG HARBOR
TELEPHONE: CENTURYLINK
POWER: PENINSULA LIGHT

VERIFICATION NOTE

ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES, CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

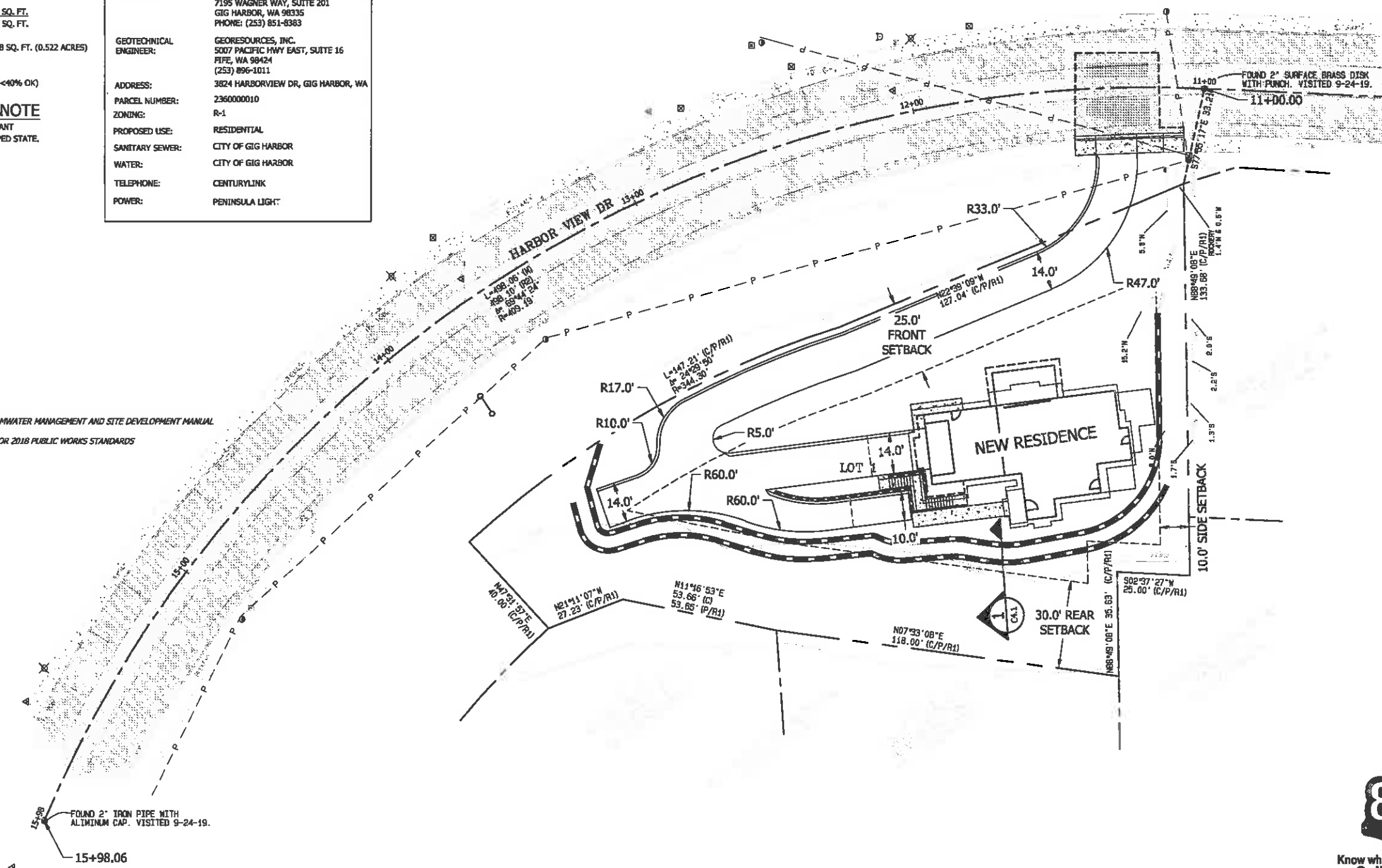
ENCROACHMENT NOTE

ENCROACHMENT PERMIT REQUIRED FOR ALL WORK WITHIN THE CITY ROW. RESTORATION OF ROADWAYS & SHOULDERS SHALL BE AS CONDITIONED ON ENCROACHMENT PERMIT.

SEE ARCHITECTURAL PLANS FOR HOUSE DIMENSIONS AND ADDITIONAL INFORMATION

LEGEND

| SURVEY | PROPOSED |
|--------|-----------------------------------|
| | CONTOURS |
| | PROPERTY LINE/ROW |
| | ROW CENTERLINE |
| | STORM DRAIN LINE |
| | SANITARY SEWER LINE |
| | OVERHEAD POWER LINE |
| | GAS LINE |
| | WATER LINE |
| | TYPE 2 CATCHBASIN |
| | TYPE 1/TYPE 1L CATCHBASIN |
| | SANITARY SEWER MANHOLE |
| | SANITARY SEWER CLEANOUT (SSCO) |
| | HYDRANT |
| | WATER VALVE |
| | WATER METER |
| | GAS MARKING POST |
| | GAS METER (GM) |
| | GAS VALVE (GV) |
| | MONUMENT |
| | POWER POLE (PP) |
| | GUY WIRE (GW) |
| | WATER MARKING POST (WMP) |
| | LIGHT STANDARD/YARD LIGHT (LS/YL) |
| | POWER MANHOLE (PMH) |
| | POWER VAULT |
| | TRANSFORMER PAD |
| | UTILITY BOX |
| | SIGN |
| | BOLLARD |
| | ASPHALT |
| | CONCRETE |
| | GRAVEL |



| REVISIONS |
|-----------|
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| |

CONTOUR
ENGINEERING • LLC
CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS
PO Box 949 Gig Harbor, WA 98335
Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourllc.com

DESIGNED BY: M. GOULARTE
DRAWN BY: A. KING
CHECKED BY: B. ALLEN
APPROVED BY: B. ALLEN
SCALE: AS NOTED
OTHER:

DEVITA SFR

JANUARY 12TH, 2023
SITE MAP & HORIZONTAL CONTROL PLAN

| | |
|--------------------------|--|
| PERMIT NO. BD-20-0096 | |
| DRAWING NO. 19-144 | |
| SHEET OF C1 10 | |

12 January 2023

**A PORTION OF GOVERNMENT LOT 2 IN THE NE 1/4 OF THE SE 1/4 OF SECTION 6, TOWNSHIP 21 NORTH,
RANGE 2 EAST OF THE WILLAMETTE MERIDIAN, CITY OF GIG HARBOR, PIERCE COUNTY WASHINGTON**

STOCKPILE NOTES

- EARTH STOCKPILES SHOULD BE SET BACK AT LEAST 50 FEET FROM DOWNSLOPE DRAINAGE FEATURES (E.G. CHANNELS, CATCH BASINS, DETENTION PONDS, PAVEMENT, STREAM BANKS, CRITICAL DRAINAGE AREAS).
- STOCKPILES SHOULD BE LOCATED ON THE UPHILL SIDE OF THE EXCAVATED AREA WHEREVER POSSIBLE SO THAT THEY CAN ACT AS DIVERSIONS.
- EARTH STOCKPILES SHOULD NOT BE PLACED ON PAVEMENT WITHOUT IMPLEMENTATION OF A PROCEDURE TO PREVENT SEDIMENT TRANSPORT.
- EARTH STOCKPILES SHOULD BE COMPLETELY COVERED OR OTHERWISE STABILIZED WITH AN APPROPRIATE BMP ON A DAILY BASIS DURING WINTER MONTHS AND WITHIN 30 DAYS DURING DRY SEASONS.
- THE BOTTOM OF A STOCKPILE SHOULD BE CIRCLED WITH AN INTERCEPTOR SWALE AND/OR FILTER FABRIC FENCE TO CATCH SEDIMENT-LADEN RUNOFF FROM THE STOCKPILE.

FILTER FABRIC NOTES

- FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL AND CUT TO THE LENGTH OF THE BARRIER TO AVOID USE OF JOINTS. WHEN JOINTS ARE NECESSARY, FILTER CLOTH SHALL BE SPLICED TOGETHER ONLY AT A SUPPORT POST, WITH A MINIMUM 6-INCH OVERLAP, AND SECURELY FASTENED AT BOTH ENDS TO POSTS.
- POSTS SHALL BE SPACED A MAXIMUM OF 6 FEET APART AND DRIVEN SECURELY INTO THE GROUND (MINIMUM OF 30 INCHES).
- A TRENCH SHALL BE EXCAVATED APPROXIMATELY 6 INCHES WIDE AND 8 INCHES DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER. THIS TRENCH SHALL BE BACKFILLED WITH WASHED GRAVEL.
- WHEN STANDARD STRENGTH FILTER FABRIC IS USED, A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 1 INCH LONG, TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 4 INCHES AND SHALL NOT EXTEND MORE THAN 24 INCHES ABOVE THE ORIGINAL GROUND SURFACE.
- THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 20 INCHES OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 24 INCHES ABOVE THE ORIGINAL GROUND SURFACE. FILTER FABRIC SHALL NOT BE STAPLED TO EXISTING TREES.
- WHEN EXTRA-STRENGTH FILTER FABRIC AND CLOSER POST SPACING IS USED, THE WIRE MESH SUPPORT FENCE MAY BE ELIMINATED. IN SUCH A CASE, THE FILTER FABRIC IS STAPLED OR WIRED DIRECTLY TO THE POSTS WITH ALL OTHER PROVISIONS OF ABOVE NOTES APPLYING.
- FILTER FABRIC FENCES SHALL NOT BE REMOVED BEFORE THE UPSLOPE AREA HAS BEEN PERMANENTLY STABILIZED.
- FILTER FABRIC FENCES SHALL BE INSPECTED IMMEDIATELY AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL. ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY.
- SILT FENCES WILL BE INSTALLED PARALLEL TO ANY SLOPE CONTOURS.
- CONTRIBUTING LENGTH TO FENCE WILL NOT BE GREATER THAN 100 FEET.
- DO NOT INSTALL BELOW AN OUTLET PIPE OR WEIR.
- INSTALL DOWNSLOPE OF EXPOSED AREAS.
- DO NOT DRIVE OVER OR FILL OVER SILT FENCES.

DEMOLITION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS FOR THE DEMOLITION AND REMOVAL OF ALL STRUCTURES, AS WELL AS FOR THE DECOMMISSIONING OF ALL ON-SITE WATER WELLS AND SEPTIC SYSTEMS AND TANKS PER THE REQUIREMENTS OF APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS.
- ALL DEMOLITION MATERIAL SHALL BE RECYCLED OR DISPOSED OF AT AN APPROVED WASTE HANDLING FACILITY. CONCRETE AND ASPHALT DEBRIS AT NO TIME SHALL BE UTILIZED AS FILL.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING DISCONNECTIONS AND REMOVAL OF ALL UTILITIES AND OBTAINING ALL NECESSARY PERMITS. ALL UTILITIES SHALL BE REMOVED TO EXISTING STRUCTURES, OR UNDERGROUND UTILITIES CUT AND CAPPED AT PROPERTY LINE UNLESS OTHERWISE NOTED.
- IF CONTRACTOR DETERMINES THERE ARE SIGNS OF POLLUTION AND/OR CONTAMINATION TO SITE SOILS, CONTRACTOR SHALL IMMEDIATELY CEASE WORK IN THE AFFECTED AREA AND CONTACT OWNER, ENGINEER, AND CITY OF GIG HARBOR INSPECTOR FOR CONSULTATION AND DIRECTION.
- ALL WORK TO BE ACCOMPLISHED IN STRICT ACCORDANCE WITH ALL LOCAL ORDINANCES, CITY OR STATE.
- WITHIN THE SUBJECT PROPERTY, THE INTENT IS TO HAVE A CLEAN, CLEAR SITE, FREE OF ALL EXISTING ITEMS NOTED TO BE REMOVED IN ORDER TO PERMIT THE CONSTRUCTION OF THE NEW PROJECT.
- BACKFILL ALL EXCAVATIONS RESULTING FROM THE DEMOLITION WORK TO MEET THE REQUIREMENTS FOR FILL OUTLINED IN THE SOILS REPORT.
- GENERAL CONTRACTOR IS RESPONSIBLE TO VERIFY, PRIOR TO THE FINAL CONTRACT EXECUTION, IF ANY BUILDING STRUCTURE THAT IS NOTED TO BE REMOVED HAS A BASEMENT. IF SO THE BUILDING STRUCTURE, BOTH FLOOR STRUCTURES, BASEMENT, FOUNDATION, ETC. ARE TO BE REMOVED AND BACKFILLED TO EXISTING GRADE ELEVATIONS SURROUNDING THE EXISTING STRUCTURE.

PLASTIC COVERING NOTES

- PLASTIC SHEETING SHALL HAVE A MINIMUM THICKNESS OF 6 MILS AND SHALL MEET THE REQUIREMENTS OF THE STATE STANDARD SPECIFICATIONS SECTION 9-14.5.
- COVERING SHALL BE INSTALLED AND MAINTAINED TIGHTLY IN PLACE BY USING SANDBAGS OR TIRES ON ROPES WITH A MAXIMUM 10-FOOT GRID SPACING IN ALL DIRECTIONS. ALL SEAMS SHALL BE TAPED OR WEIGHTED DOWN FULL LENGTH AND THERE SHALL BE A LEAST A 12 INCH OVERLAP OF ALL SEAMS.
- CLEAR PLASTIC COVERING SHALL BE INSTALLED IMMEDIATELY ON AREAS SEEDED BETWEEN NOVEMBER 1 AND MARCH 31 AND REMAIN UNTIL VEGETATION IS FIRMLY ESTABLISHED.
- WHEN THE COVERING IS USED ON UN-SEEDSLOPES, IT SHALL BE KEPT IN PLACE UNTIL THE NEXT SEEDING PERIOD.
- PLASTIC COVERING SHEETS SHALL BE BURIED TWO FEET AT THE TOP OF SLOPES IN ORDER TO PREVENT SURFACE WATER FLOW BENEATH SHEETS
- PROPER MAINTENANCE INCLUDES REGULAR CHECKS FOR RIPS AND DISLODGED ENDS.

LEVEL 2 EROSION CONTROL NOTES

THE FOLLOWING NOTES APPLY TO ALL SITE ACTIVITIES WITHIN THE TIME PERIOD SPECIFIED ON THIS PLAN FOR LEVEL 2 CONTROLS.

- ON SITES WHERE UNINTERRUPTED CONSTRUCTION ACTIVITY IS IN PROGRESS, THE CLEARING OF LAND, INCLUDING THE REMOVAL OF EXISTING VEGETATION OR OTHER GROUND COVER, SHALL BE LIMITED TO ONLY AS MUCH LAND AREA AS CAN RECEIVE APPROPRIATE PROTECTIVE COVER OR BE OTHERWISE STABILIZED WITHIN 15 DAYS AFTER HAVING BEEN CLEARED OR OTHERWISE DISTURBED. IN THE EVENT THAT ANY LAND AREA REMAINS UNPROTECTED OR HAS NOT BEEN APPROPRIATELY STABILIZED 15 DAYS AFTER HAVING BEEN CLEARED, ALL CONSTRUCTION ACTIVITY ON THE SITE, EXCEPT FOR APPROVED EROSION AND SEDIMENTATION CONTROL ACTIVITY, SHALL IMMEDIATELY CEASE UNTIL SUCH A TIME AS SAID LAND AREA HAS BEEN APPROPRIATELY PROTECTED OR STABILIZED.
- IN SITE AREAS WHERE NO FURTHER WORK IS ANTICIPATED WITHIN 48 HOURS, ALL AREAS STRIPPED OF VEGETATION OR OTHERWISE EXPOSED, INCLUDING ROADWAY EMBANKMENTS, SHALL BE IMMEDIATELY PROTECTED OR STABILIZED BY A METHOD APPROVED BY THE CITY.
- THE CONTRACTOR SHALL AT ALL TIME HAVE AVAILABLE FOR THE PROJECT SUFFICIENT QUANTITIES OF PROTECTIVE COVERING MATERIALS TO IMMEDIATELY STABILIZE ALL DISTURBED AREAS, IF DIRECTED TO DO SO BY THE PROJECT ENGINEER OR THE DIRECTOR.
- THE PROJECT ENGINEER SHALL VISIT THE DEVELOPMENT SITE A MINIMUM OF ONCE PER WEEK, WHILE LEVEL 2 CONTROLS ARE REQUIRED, FOR THE PURPOSE OF INSPECTING THE EROSION AND SEDIMENTATION CONTROL FACILITIES, REVIEWING THE PROGRESS OF CONSTRUCTION, AND VERIFYING THE EFFECTIVENESS OF THE EROSION CONTROL MEASURES BEING UNDERTAKEN. THE PROJECT ENGINEER SHALL IMMEDIATELY INFORM THE DIRECTOR OF ANY PROBLEMS OR POTENTIAL PROBLEMS OBSERVED DURING SAID SITE VISITS, AS WELL AS ANY RECOMMENDED CHANGES IN THE EROSION CONTROL MEASURES TO BE UNDERTAKEN. WHEN REQUESTED BY THE DIRECTOR, THE PROJECT ENGINEER SHALL PROVIDE THE DIRECTOR WITH WRITTEN RECORDS OF SAID WEEKLY SITE VISITS, INCLUDING DATES OF VISITS AND NOTED SITE OBSERVATIONS.
- WHEN LEVEL 2 CONTROLS HAVE BEEN RECOMMENDED BY THE PROJECT ENGINEER AND/OR REQUIRED BY THE CITY DURING THE PERIOD FROM OCTOBER 1 THROUGH APRIL 30 ONLY, AND CONSTRUCTION ON A SITE HAS COMPLETED AND APPROVED BY THE CITY BY OCTOBER 1 OF A GIVEN YEAR OR EXPOSED GROUND SURFACES ARE NOTED PERMANENTLY STABILIZED BY THAT DATE, NO WORK SHALL BE PERMITTED ON THE PROJECT SITE OTHER THAN FOR THE INSTALLATION OR MAINTENANCE OF APPROVED EROSION AND SEDIMENTATION CONTROL FACILITIES UNTIL SUCH A TIME AS A LEVEL 2 EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN APPROVED BY THE CITY AND LEVEL 2 CONTROLS HAVE BEEN IMPLEMENTED ON THE PROJECT SITE.

LEVEL 1 EROSION CONTROL NOTES

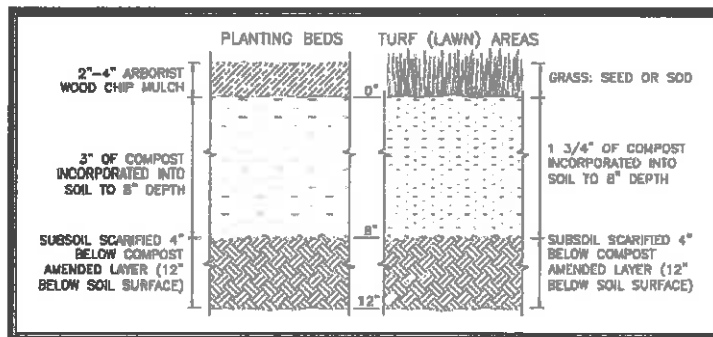
THE FOLLOWING NOTES APPLY TO ALL SITE ACTIVITIES WITHIN THE TIME PERIOD SPECIFIED ON THIS PLAN FOR LEVEL 1 CONTROLS.

- THE CLEARING OF LAND, INCLUDING THE REMOVAL OF EXISTING VEGETATION OR OTHER GROUND COVER, MUST BE LIMITED TO ONLY AS MUCH LAND AREA AS CAN RECEIVE APPROPRIATE PROTECTIVE COVER OR BE OTHERWISE STABILIZED, AFTER HAVING BEEN CLEARED OR OTHERWISE DISTURBED, BY NO LATER THAN SEPTEMBER 30 OF A GIVEN YEAR. UNLESS IMMEDIATE STABILIZATION IS SPECIFIED IN THE LEVEL 1 EROSION AND SEDIMENTATION CONTROL PLAN, ALL AREAS CLEARED OR OTHERWISE DISTURBED MUST BE APPROPRIATELY STABILIZED. UNLESS OTHERWISE APPROVED BY THE DIRECTOR, SEEDING, FERTILIZING, AND MULCHING OF CLEARED OR OTHERWISE DISTURBED AREAS SHALL BE PERFORMED DURING THE FOLLOWING PERIODS: MARCH 1 TO MAY 15 AND AUGUST 15 TO OCTOBER 1. PERMISSION TO SEED AFTER OCTOBER 1 WILL ONLY BE GIVEN WHEN PHYSICAL COMPLETION OF THE PROJECT IS IMMINENT AND THE ENVIRONMENTAL CONDITIONS ARE CONDUCTIVE TO SATISFACTORY GROWTH. IN THE EVENT THAT PERMANENT STABILIZATION IS NOT POSSIBLE, AN ALTERNATIVE METHOD OF GROUND COVER (SUCH AS MULCHING, NETTING, PLASTIC SHEETING, EROSION BLANKETS, ETC.) MUST BE INSTALLED BY NO LATER THAN OCTOBER 1.
- IN THE EVENT THAT CONSTRUCTION ACTIVITIES OR OTHER SITE DEVELOPMENT ACTIVITIES ARE DISCONTINUED FOR 15 CONSECUTIVE DAYS OR MORE, THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE INSPECTION OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES IMMEDIATELY AFTER SIGNIFICANT STORM EVENTS, AND AT LEAST ONCE EVERY 15 DAYS. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION AND SEDIMENTATION CONTROL FACILITIES.
- DURING PERIODS OF INCLEMENT WEATHER, THE OWNER OR CONTRACTOR SHALL HAVE THE MATERIALS READILY AVAILABLE TO STABILIZE DENOTED AREAS.

AMENDED SOILS NOTE

ALL AREAS SUBJECT TO CLEARING AND GRADING WHICH HAVE NOT BEEN COVERED BY IMPERVIOUS SURFACING, INCORPORATED INTO A DRAINAGE FACILITY, OR ENGINEERED AS STRUCTURAL FILL OR SLOPE SHALL BE AMENDED TO MEET POST-CONSTRUCTION SOIL QUALITY AND DEPTH PER THE FIGURE 1 BELOW.

FIGURE 1, SOIL AMENDMENT



MULCHING NOTES

- HAY OR STRAW: USE STRAW WHERE MULCH EFFECT IS TO BE MAINTAINED FOR MORE THAN 3 MONTHS. HAY AND STRAW ARE SUBJECT TO WIND BLOWING UNLESS KEPT MOIST OR TIED DOWN. THEY ARE THE MOST COMMON AND WIDELY USED MATERIAL; GOOD FOR EROSION CONTROL IN CRITICAL AREAS. ANCHOR BY CRIMPING, DICING, ROLLING OR FURROWING INTO SOIL, COVERING WITH NETTING, SPRAYING WITH CHEMICAL OR FIBER BINDER OR BY KEEPING MOIST.
- WOOD FIBER CELLULOSE (PARTY-DIGESTED WOOD FIBERS): WHEN USED FOR EROSION CONTROL ON CRITICAL AREAS, THE APPLICATION SHOULD BE DOUBLED. APPLY WITH HYDROMULCHER. NO TIE DOWN IS REQUIRED. PACKAGED IN 100-LB. BAGS NOT RECOMMENDED FOR HIGHLY ERODIBLE SOILS IN HOT WEATHER.
- MULCHES SHOULD BE USED FOLLOWING TEMPORARY OR PERMANENT SEEDING.
- MULCHING SHOULD IMMEDIATELY FOLLOW SEEDING IN AREAS WITH SLOPES STEEPER THAN 2:1.
- MULCHES SHOULD BE USED IN CLEARED AREAS THAT CANNOT BE SEEDS BECAUSE OF THE SEASON.
- MULCHES SHOULD BE USED ON EXPOSED SOILS (INCLUDING STOCKPILES WHICH ARE NOT FINAL GRADED WITHIN 15 DAYS) UNLESS COVERED WITH PLASTIC SHEETING.
- MULCHED AREAS SHOULD BE CHECKED PERIODICALLY, ESPECIALLY FOLLOWING SEVERE STORMS, WHEN DAMAGED AREAS OF MULCH OR TIE-DOWN MATERIAL SHOULD BE REPAIRED.

| GUIDE TO MULCH MATERIALS, RATES & USES | | | | | |
|--|--|--|--------------------------------|-----------------|--|
| MULCH MATERIALS | QUALITY STANDARDS | PER 1,000 SQ. FEET | PER ACRE | MULCH MATERIALS | MULCH MATERIALS |
| GRAVEL CRUSHED STONE | WASHED 3/4 TO 1-1/2 INCH | 9 CY | 400 CY | 3 INCHES | GOOD FOR SHORT SLOPE AND AROUND WOODY PLANTS AND CRANBERRIES. USE WHERE SUBJECT TO FOOT TRAFFIC. |
| HAY OR STRAW | ATR DRY. FREE FROM WEED SEED AND COARSE MATERIALS. | 75 TO 100 POUNDS (APPROX 2-INCHES THICK) | 1.5 TO 2.5 TONS (90-120 BALES) | MIN. 2-INCHES | USE WHERE NEEDED FOR MORE THAN 3 MOS. SUBJECT TO BLOWING-KEEP MOIST OR TIED DOWN. |
| WOOD FIBER CELLULOSE (PARTLY DIGESTED WOOD FIBERS) | NO GROWTH ORGANISM INHIBITING FACTORS | 25 TO 30 POUNDS | 1000 TO 1500 POUNDS | 2 INCHES | WHEN USED ON CRITICAL AREAS, DOUBLE APPLICATION RATE. APPLY WITH HYDROMULCHER. NO TIE-DOWN REQUIRED. |

GENERAL NOTES (EROSION CONTROL)

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY OF GIG HARBOR STANDARDS AND (OR THE LATEST EDITION) STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (WSDOT/APWA).
- TEMPORARY EROSION/WATER POLLUTION MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH SECTION 1.07.15 OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS AND AS FOLLOWS:
 - SOIL EROSION AND WATER POLLUTION/FLOOD CONTROL PLANS SHALL BE SUBMITTED TO THE CITY, APPROVED BY THE CITY, AND IMPLEMENTED BY THE CONTRACTOR PRIOR TO DISTURBING ANY SOIL ON THE SITE. SUBMITTAL AND APPROVAL OF THESE PLANS SHALL PRECLUDE ANY CONSTRUCTION ACTIVITY ON THE SITE.
 - ALL PERMANENT STORAGE AND RETENTION/DETENTION AREAS USED AS PART OF THE TEMPORARY EROSION CONTROL AND WATER POLLUTION/FLOOD ACTIVITIES AND CONVEYANCE SYSTEMS SHALL BE CLEANED OF ALL SILTS, SAND, AND OTHER MATERIALS FOLLOWING COMPLETION OF CONSTRUCTION AND THE PERMANENT FACILITIES SHALL THEN BE COMPLETED INCLUDING PERMANENT INFILTRATION AREAS.
- COMPLY WITH ALL OTHER PERMITS AND OTHER REQUIREMENTS BY THE CITY OF GIG HARBOR OR OTHER GOVERNING AUTHORITY OR AGENCY.
- A PRECONSTRUCTION MEETING SHALL BE HELD WITH THE CITY OF GIG HARBOR PRIOR TO THE START OF CONSTRUCTION.
- ALL STORM MAINS AND RETENTION/DETENTION AREAS SHALL BE STAKED FOR GRADE AND ALIGNMENT BY AN ENGINEERING OR SURVEYING FIRM CAPABLE OF PERFORMING SUCH WORK. STORM DRAIN PIPE SHALL MEET THE FOLLOWING REQUIREMENTS:
 - PLAIN CONCRETE PIPE CONFORMING TO THE REQUIREMENTS OF ASHTO M 86, CLASS 2.
 - REINFORCED CONCRETE PIPE CONFORMING TO THE REQUIREMENTS OF ASHTO M 170.
 - PVC PIPE CONFORMING TO ASTM D 3034 SDR OR ASTM F 789 WITH JOINTS AND GASKETS CONFORMING TO ASTM D 3212 AND ASTM F 477.
 - DUCTILE IRON PIPE CONFORMING TO THE REQUIREMENTS OF AWWA C 151, THICKNESS CLASS AS SHOWN ON THE PLANS.
 - POLYETHYLENE SMOOTH WALL PIPE PER ADVANCED DRAINAGE SYSTEMS (ADS) N-12 CONSTRUCTED PER WSDOT/APWA STANDARD SPECIFICATIONS 7-04.
- SPECIAL STRUCTURES, OIL/WATER SEPARATORS AND OUTLET CONTROLS SHALL BE INSTALLED PER PLANS AND MANUFACTURERS RECOMMENDATIONS.
- ALL DISTURBED AREAS SHALL RECEIVE PERMANENT EROSION CONTROL IN THE FORM OF VEGETATION ESTABLISHMENT SUCH AS GRASS SEEDING AS SHOWN ON THE PLANS. A MEANS SHALL BE ESTABLISHED TO PROTECT THE PERMANENT STORM DRAIN SYSTEM PRIOR TO ESTABLISHMENT OF THE PERMANENT EROSION CONTROL MEASURES. THIS METHOD SHALL BE INCLUDED IN THE SOIL EROSION AND WATER POLLUTION/FLOOD CONTROL PLANS.
- PROVIDE TRAFFIC CONTROL PLAN(S) AS REQUIRED IN ACCORDANCE WITH MUTCD.
- CALL UNDERGROUND LOCATE LINE 1-800-424-5555 A MINIMUM 48 HOURS PRIOR TO ANY EXCAVATIONS.
- WHERE CONNECTIONS REQUIRE "FIELD VERIFICATIONS," CONNECTION POINTS WILL BE EXPOSED BY CONTRACTOR AND FITTINGS VERIFIED 48 HOURS PRIOR TO DISTRIBUTING SHUT-DOWN NOTICES.

GRADING NOTES

- THE CONTRACTOR SHALL NOTIFY THE ENGINEER IN THE EVENT OF DISCOVERY OF POOR SOILS, GROUNDWATER OR DISCREPANCIES IN THE EXISTING CONDITIONS AS NOTED ON THE PLANS.
- MAXIMUM SLOPE STEEPNESS SHALL BE 2:1 HORIZONTAL: VERTICAL FOR CUT AND FILL SLOPES.
- UNLESS OTHERWISE SPECIFIED, ALL EMBANKMENTS IN THE PLAN SET SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 2-03.3(1-4) B OF THE WSDOT STANDARD SPECIFICATIONS. EMBANKMENT COMPACTIONS SHALL CONFORM TO SECTION 2-03.3(1-4) C, METHOD B OF SAID STANDARD SPECIFICATIONS.
- EMBANKMENTS DESIGNED TO IMPOUND WATER SHALL BE COMPACTED TO 95% MAXIMUM DENSITY PER SECTION 2-03.3(1-4) C, METHOD C OF WSDOT STANDARD SPECIFICATIONS.
- ALL AREAS RECEIVING FILL MATERIAL SHALL BE PREPARED BY REMOVING VEGETATION, NONCOMPLIANT FILL, TOPSOIL AND OTHER UNSUITABLE MATERIAL, BY SCRAPING/SURFACE TO PROVIDE A BOND WITH THE NEW FILL, AND WHERE SLOPES ARE STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL AND THE HEIGHT IS GREATER THAN 5 FT., BY BENCHING INTO SOUND COMPETENT MATERIAL AS DETERMINED BY A SOILS ENGINEER.

SEEDING NOTE

- PERMANENT EROSION CONTROL SEEDING SHALL BE INSTALLED AS FOLLOWS
- SEEDING SHOULD BE DONE IMMEDIATELY AFTER FINAL SHAPING IF COMPLETED DURING THE PERIOD OF MARCH 1 THROUGH SEPTEMBER 30 (IF PLANTED BETWEEN MAY 15 AND AUGUST 15, IRRIGATION MAY BE REQUIRED). SITES WHICH CANNOT BE SEEDD DURING THIS TIME PERIOD SHOULD BE PROTECTED UNTIL THE NEXT SEEDING PERIOD WITH MULCHING;
- SITE PREPARATION SHOULD INCLUDE TOP SOILING AND THE INSTALLATION OF SURFACE RUNOFF CONTROL MEASURES. THE SEEDBED SHOULD BE FIRM WITH A FAIRLY FINE SURFACE;
- IF CONSTRUCTION FILLS HAVE LEFT PROPOSED SEEDBED WITH A LOOSE, ROUGH, OR IRREGULAR SURFACE, SURFACE SHOULD BE "TRACK WALKED" UP THE SLOPE OR SMOOTHED WITH A BLADE AND ROLLED PRIOR TO PLANTING. "TRACK-WALKING" IS DRIVING A CRAWLER TRACTOR UP AND DOWN THE SLOPE, LEAVING A PATTERN OF CLEAT IMPRINTS PARALLEL TO SLOPE CONTOURS;
- IF PROPOSED SEEDBED HAS TIGHTLY COMPACTED SURFACE, BREAK WITH CHISEL PLOW OR OTHER SUITABLE IMPLEMENT;
- SOIL AMENDMENTS/FERTILIZERS SHOULD BE APPLIED AS RECOMMENDED BY SUPPLIERS. PROJECT SITES ADJACENT TO BODIES OF WATER MUST USE NON-PHOSPHORUS FERTILIZERS;
- APPLY AN APPROPRIATE SEED MIXTURE TO THE PREPARED SEED BED AT A RATE OF 120 LBS. PER ACRE. TABLE BELOW GIVES RECOMMENDED SEED APPLICATIONS.

| Name | Preparation By Weight | Percent Purity | Percent Germination |
|---|-----------------------|----------------|---------------------|
| Urban Application: Kentucky Bluegrass (Adelphi, Bama or Fytting) | 30% | 85% | 80% |
| Croeping Red Fescue (Pozzanti) | 40% | 98% | 90% |
| Perennial Rye (Darby, Pennant) | 30% | 85% | 90% |
| Rural Application: Kentucky Bluegrass (Poa pratensis) (Barka, Majestic or Sydeport) | 15% | 85% | 80% |
| Tall Fescue (Festuca arvensis) (Acid, Jaguar or Rubel) | 40% | 95% | 90% |
| Perennial Rye (Lolium perenne) (Darby or Pennant) | 30% | 95% | 90% |
| Chewings Fescue (Danvers) | 15% | 95% | 90% |

* Apply at a rate of 120 lbs/acre. Cover seed with topsoil or mulch no deeper than 1/2-inch.



Know what's below.
Call before you dig.

| REVISIONS |
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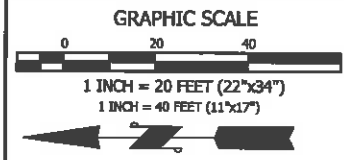
CONTOUR
 ENGINEERING • LLC
 CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS
 PO Box 949 Gig Harbor, WA 98335
 Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourllc.com

| | |
|--------------|-------------|
| DESIGNED BY: | M. GOULARTE |
| DRAWN BY: | A. KING |
| CHECKED BY: | B. ALLEN |
| APPROVED BY: | B. ALLEN |
| SCALE: | AS NOTED |
| OTHER: | |

DEVITA SFR

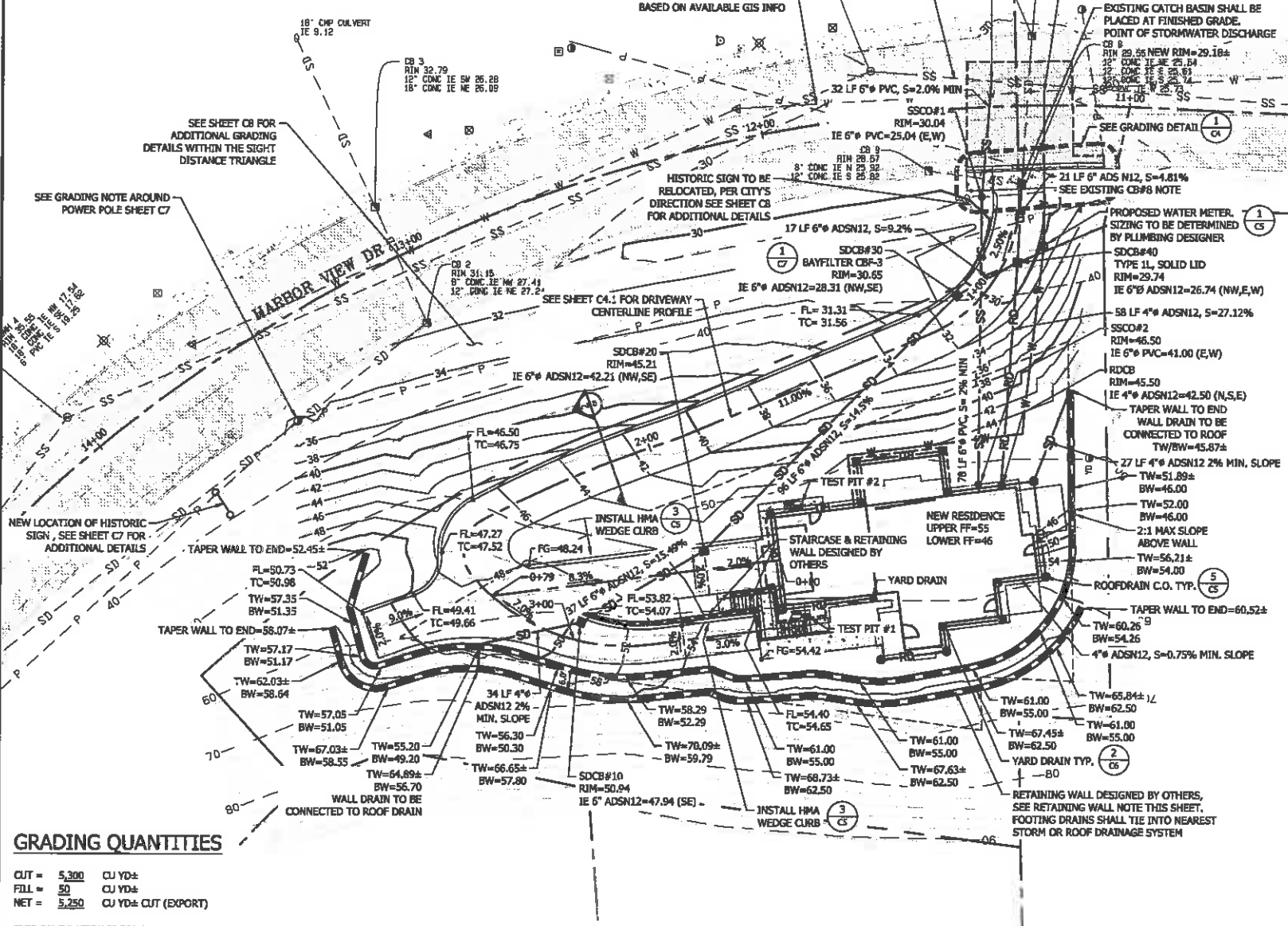
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| JANUARY 12TH, 2023 | | PERMIT NO. BD-20-0096 |
| TESC PLAN, NOTES & DETAILS | | DRAWING NO. 19-144 |
| SHEET | OF | |
| C3 | 10 | |
| 12 January 2023 | | |

A PORTION OF GOVERNMENT LOT 2 IN THE NE 1/4 OF THE SE 1/4 OF SECTION 6, TOWNSHIP 21 NORTH, RANGE 2 EAST OF THE WILLAMETTE MERIDIAN, CITY OF GIG HARBOR, PIERCE COUNTY WASHINGTON



NOTE
WALLS OVER 4 FEET IN HEIGHT SHALL BE CONSTRUCTED UNDER SEPARATE BUILDING PERMIT.

NOTE
PRIVATE BAYFILTER CLEANING FREQUENCY SHALL COMPLY WITH MANUFACTURER'S SPECIFICATIONS AND SHALL BE THE SOLE RESPONSIBILITY OF THE HOMEOWNER.



GRADING QUANTITIES

| | |
|-------------|---------------------|
| CUT = 5,300 | CU YD± |
| FILL = 30 | CU YD± |
| NET = 5,250 | CU YD± CUT (EXPORT) |

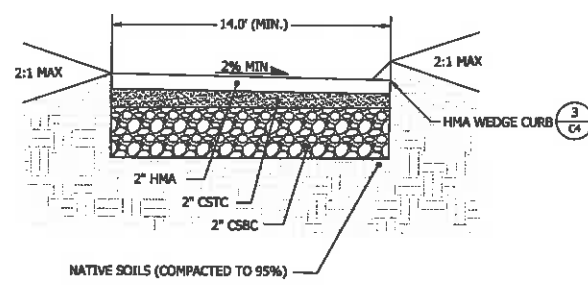
THIS CALCULATION IS FOR REVIEW AND PERMITTING PURPOSES ONLY. THE NUMBERS SHOWN ARE GENERATED FROM THE FINISHED GROUND SURFACE (I.E. TOP OF PAVEMENT, TOP OF CONCRETE, TOP OF PAD, ETC.) TO THE EXISTING SURVEYED GROUND SURFACE. CONTRACTOR SHALL DO THEIR OWN CALCULATION BASED ON THE INFORMATION PROVIDED WITHIN THESE PLANS.

- THE QUANTITIES MAY VARY BASED ON THE FOLLOWING FACTORS:
- SHRINK/SWELL OF EXISTING SOILS
 - VARIANCE OF VEGETATION THICKNESS AND UNSUITABLE TOPSOIL
 - SUBBASE REQUIREMENTS FOR THE ROAD SECTIONS
 - SUBBASE REQUIREMENTS FOR THE BUILDING FOUNDATION BASED ON THE FINAL STRUCTURAL DESIGN
 - TRENCHING EXCAVATION FOR PROPOSED UTILITIES
 - ADDITIONAL CUT/FILL MAY BE REQUIRED FOR FUTURE UTILIZATION OF THE SITE

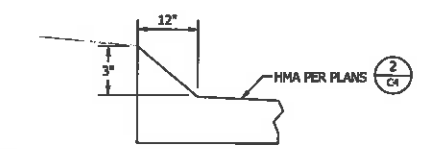
→ APPROXIMATE TEST PIT LOCATION
TEST PITS DONE BY GEORESOURCES. SEE GEOTECHNICAL REPORT FOR DETAILS.

RETAINING WALL NOTE
RETAINING WALL GRADES SHALL BE ADJUSTED AT TIME OF STRUCTURAL DESIGN. CURRENT GRADING SHOWN IS COMPLETED PRIOR TO ANY STRUCTURAL DESIGNS. CONTACT PROJECT ENGINEER AT TIME OF STRUCTURAL DESIGN TO VERIFY GRADING SHOWN.

SLOPE NOTE
ALL PROPOSED GRADING SHALL NOT EXCEED A 2:1 (H:V) SLOPE.



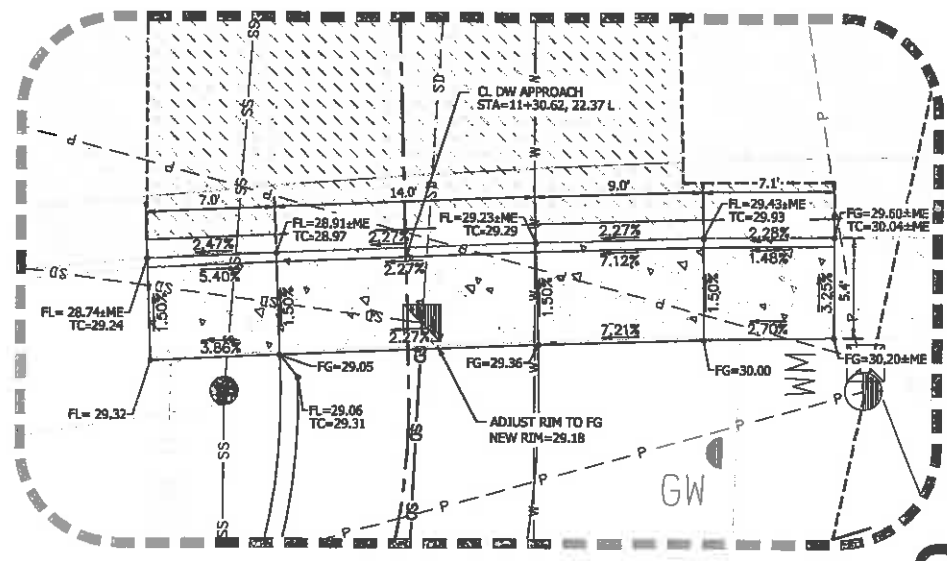
2 NEW ASPHALT DRIVEWAY SECTION
NOT TO SCALE



3 HOT MIX ASPHALT WEDGE CURB
NOT TO SCALE

- GRADING ACRONYMS**
- BC = BOTTOM OF CURB
 - TC = TOP OF CURB
 - EG = EXISTING GRADE
 - ME = MATCH EXISTING GRADE
 - BW = BOTTOM OF WALL
 - TW = TOP OF WALL
 - LP = LOW POINT
 - FP = FINISH FLOOR
 - FL = FLOW LINE
 - HP = HIGH POINT
 - EF = EXTEND FOUNDATION

EXISTING CB#8 NOTE
EX. CB#8 HAS A 6" PVC LINE TO THE WEST. THIS LINE SHALL BE REPLACED AND USED AS THE POINT OF CONNECTION FOR THIS PROJECT. CONTRACTOR SHALL VERIFY THE ROUTING OF THIS LINE AND IF THE LINE HAS ANY UPSTREAM AREAS CONNECTED TO IT. CONTRACTOR SHALL CONTACT PROJECT ENGINEER IF THE WESTERN PIPE IS FOUND TO HAVE ANY UPSTREAM AREAS CONNECTED TO IT FOR FURTHER DESIGN REQUIREMENTS.



1 PROPOSED DRIVEWAY APPROACH
SCALE: 1" = 5'

NOTE: INSTALL NEW DRIVEWAY APPROACH PER WSDOT STD PLAN F-80.10.04

TRENCH NOTE
IF WORKERS ENTER ANY TRENCH OR OTHER EXCAVATION FOUR OR MORE FEET IN DEPTH THAT DOES NOT MEET THE OPEN PIT REQUIREMENTS OF WSDOT SECTION 2-09.3(3)(8), IT SHALL BE SHORED AND CRIBBED. THE CONTRACTOR IS ALONE RESPONSIBLE FOR WORKER SAFETY. ALL TRENCH SAFETY SYSTEMS SHALL MEET THE REQUIREMENTS OF THE WASHINGTON INDUSTRIAL SAFETY AND HEALTH ACT, CHAPTER 49.17 RCW.

FILL SPECIFICATION
FILL MATERIAL SHALL NOT CONTAIN PETROLEUM PRODUCTS, OR SUBSTANCES WHICH ARE HAZARDOUS, DANGEROUS, TOXIC, OR WHICH OTHERWISE VIOLATE ANY STATE, FEDERAL, OR LOCAL LAW ORDINANCE, CODE, REGULATION, RULE, ORDER, OR STANDARD. ONLY EARTH MATERIAL SHALL BE PLACED IN FILLS.

EXISTING UTILITY NOTE
IT IS THE RESPONSIBILITY OF THE APPLICANT TO CONFIRM THE LOCATION OF EXISTING UTILITIES WHERE NECESSARY. IF ANY EXISTING UTILITIES REQUIRE RELOCATION AS A RESULT OF THE PROPOSED DEVELOPMENT, THE APPLICANT SHALL BE RESPONSIBLE FOR THE DESIGN AND RELOCATION OF SUCH UTILITIES. SEE ALSO VERIFICATION NOTE.

TOPSOIL/DUFF NOTE
EXCESS STRIPINGS SHOULD BE KEPT ON SITE FOR LANDSCAPING IF AT ALL POSSIBLE. SEE SOIL AMENDMENT NOTE ON SHEET C3.

UTILITY NOTES
EXISTING UTILITY INFORMATION DEPICTED ON THESE PLANS WAS OBTAINED FROM BEST AVAILABLE SOURCES AT THE TIME OF DESIGN. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE RELOCATION OF EXISTING UNDERGROUND CONFLICTING UTILITIES DEPICTED OR NOT DEPICTED ON THESE PLANS.

SDCB INLET NOTE
ALL SDCB'S SHALL HAVE INLET GRATE UNLESS OTHERWISE NOTED ON THE PLANS

ROOF/YARD DRAINAGE NOTES

- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF DOWNSPOUTS.
- ALL ROOF/YARD DRAIN PIPE SHALL BE 4" HAVING A MINIMUM SLOPE OF 0.5% UNLESS OTHERWISE SPECIFIED ON PLANS.
- PIPE SHALL HAVE A MINIMUM COVER OF 1.0' IN NON-Traffic BEARING AREAS AND 2.0' IN TRAFFIC BEARING AREAS UNLESS OTHERWISE SPECIFIED ON PLANS.
- PIPE SHALL BE ADS N12 OR APPROVED EQUIVALENT UNLESS COVER IS LESS THAN 2.0' IN TRAFFIC BEARING AREAS. IN THIS CASE, DUCTILE IRON PIPE, HOPE, OR APPROVED EQUIVALENT SHALL BE USED.
- THE ROOF AND YARD DRAIN SYSTEM SHOWN IS A RECOMMENDED SOLUTION. CONTRACTOR CAN ADJUST SYSTEM AND ADD SDCB'S AND YARD DRAINS AS NEEDED SO TO COLLECT ALL ROOF AND YARD DRAINAGE AND CONVEY TO INFILTRATION TRENCH IDENTIFIED ON THE PLAN. CONTACT PROJECT ENGINEER IF CONFLICTS ARISE.
- YARD DRAINS SHALL BE ADDED AS NEEDED, BASED ON LANDSCAPING AND FINAL GRADES, TO ENSURE THAT NO STANDING WATER. YARD DRAINS SHALL BE PER DETAIL 2 ON SHEET C6 (OR APPROVED EQUIVALENT) AND BE CONNECTED TO ROOF DRAINAGE SYSTEM.
- ALL SDCB'S AND COVERS LOCATED IN TRAFFIC AREAS SHALL BE TRAFFIC BEARING

HEIGHT RESTRICTION NOTE
THE PROPOSED RESIDENCE IS MAPPED WITHIN A HEIGHT RESTRICTION AREA PER GPMC 17.62. MAXIMUM HEIGHT FOR ANY STRUCTURE SHALL BE 16.0' ABOVE CALCULATED HIGHEST POINT WITHIN BUILDING SETBACK.

GRADING NOTES

- SPOT ELEVATIONS SHOWN ARE FOR FINISHED GRADE ELEVATIONS UNLESS OTHERWISE SPECIFIED.
- CONTOUR LINES ARE FOR VISUAL REFERENCE. GRADING SHALL BE PER SPOT ELEVATIONS.
- UNLESS OTHERWISE SPECIFIED WITHIN BUILDING PLANS, FINISH GRADE AROUND BUILDING PERIMETER SHALL BE TYPICALLY 6" BELOW FINISH FLOOR ELEVATION. HOWEVER, THIS IS NOT APPLICABLE TO PATIOS, WALKS AND/OR LANDINGS ADJACENT TO EXTERIOR DOOR UNLESS APPROPRIATE STEPS AND/OR RAMP IS SPECIFIED

DRIVEWAY RESTORATION NOTE
CONTRACTOR SHALL RESTORE REMOVED CONCRETE DRIVEWAY SECTION TO ORIGINAL CONDITION. BASE MATERIAL SHALL CONSIST OF CRUSHED SURFACING BASE COURSE COMPACTED TO 95% DRY DENSITY PER ASTM D1557. PAVING SHALL CONSIST OF MIN. 3,000 PSI PORTLAND CEMENT CONCRETE. FINISHED DEPTHS SHALL MATCH EXISTING CONCRETE PAVEMENT.

VERIFICATION NOTE
ALL EXISTING UTILITIES IN THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND VERIFIED FOR DEPTH AND LOCATION PRIOR TO ANY CONSTRUCTION ACTIVITIES SO TO IDENTIFY ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.

PRIOR TO ANY CONSTRUCTION ACTIVITIES, VERIFY EXISTING TOPOGRAPHY IS CONSISTENT WITH WHAT IS SHOWN ON PLANS AND IF THERE ARE ANY POTENTIAL CONFLICTS WITH PROPOSED CONSTRUCTION ACTIVITIES. CONTACT PROJECT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE IDENTIFIED.



REVISIONS

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Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourllc.com

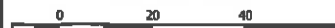
DESIGNED BY: M. GOULARTE
DRAWN BY: A. KING
CHECKED BY: B. ALLEN
APPROVED BY: B. ALLEN
SCALE: AS NOTED
OTHER:

DEVITA SFR

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|------------------------|--------------------------|
| JANUARY 12TH, 2023 | PERMIT NO. BD-20-0096 |
| GRADING & UTILITY PLAN | DRAWING NO. 19-144 |
| SHEET OF C4 10 | 12 January 2023 |

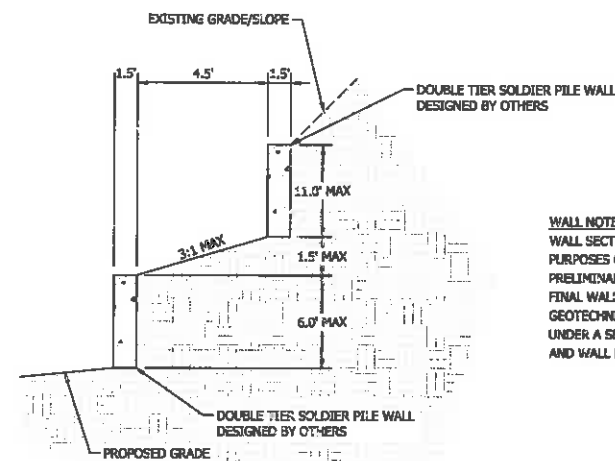


GRAPHIC SCALE



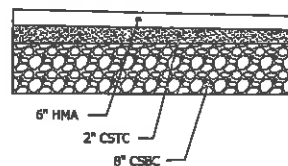
1 INCH = 20 FEET (22"x34")
1 INCH = 40 FEET (11"x17")

A PORTION OF GOVERNMENT LOT 2 IN THE NE 1/4 OF THE SE 1/4 OF SECTION 6, TOWNSHIP 21 NORTH,
RANGE 2 EAST OF THE WILLAMETTE MERIDIAN, CITY OF GIG HARBOR, PIERCE COUNTY WASHINGTON



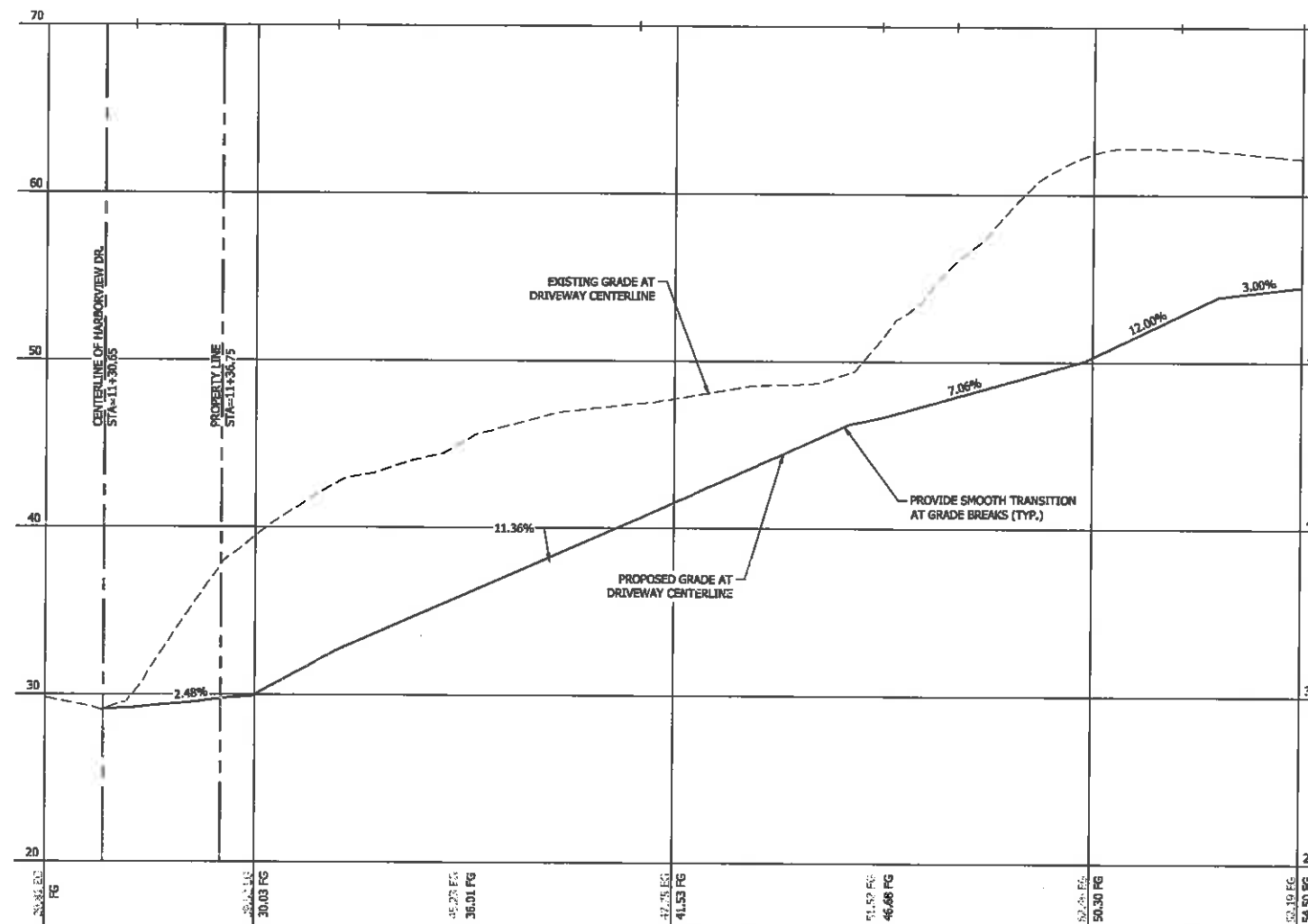
WALL NOTE
WALL SECTION SHOWN IS PROVIDED FOR PERMITTING PURPOSES ONLY. DIMENSIONS GIVEN ON THIS PLAN ARE PRELIMINARY IN NATURE AND SHALL BE VERIFIED WITH FINAL WALL DESIGN. WALL DESIGN SHALL BE PER THE GEOTECHNICAL ENGINEER'S DESIGN AND IS PERMITTED UNDER A SEPARATE PERMIT. SEE GEOTECHNICAL REPORT AND WALL BUILDING PERMIT FOR SPECIFIC WALL DESIGN.

1 WALL CROSS SECTION
NOT TO SCALE



DRIVEWAY SECTION NOTE
DRIVEWAY SECTION SHOWN IS PROVIDED PER THE GEOTECHNICAL ENGINEER'S RECOMMENDATION. REFER TO THE GEOTECHNICAL REPORT AND CITY OF GIG HARBOR RESTORATION STANDARDS FOR PAVED AREAS.

2 NEW ASPHALT SECTION - HARBORVIEW DRIVE
NOT TO SCALE



MAIN DRIVEWAY
HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=5'

VERIFICATION NOTE
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Know what's below.
Call before you dig.

| REVISIONS |
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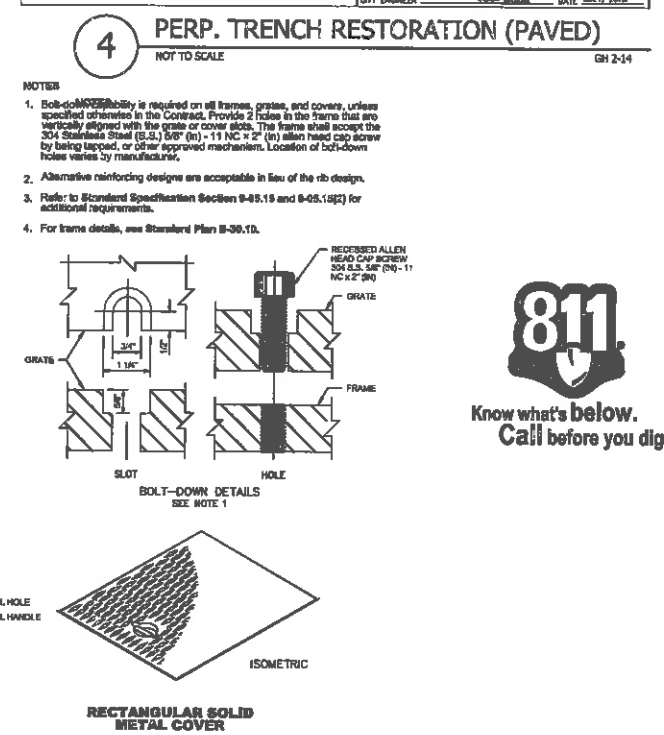
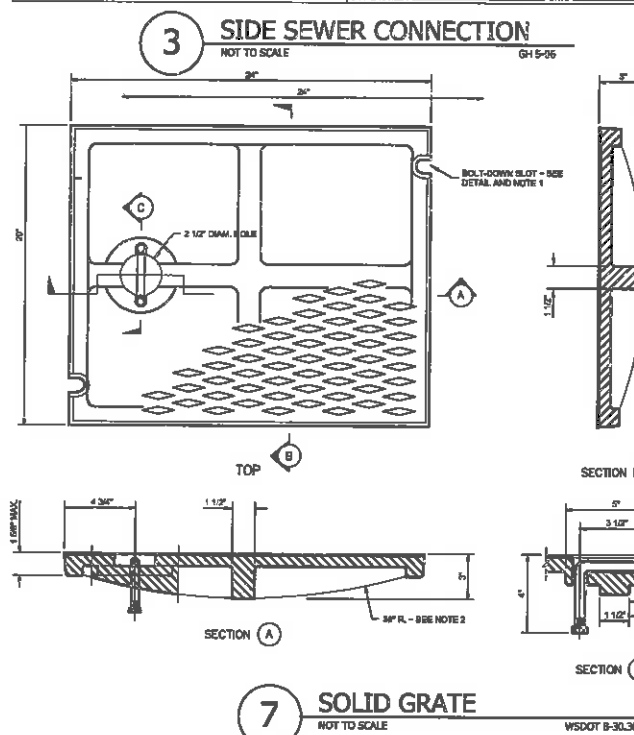
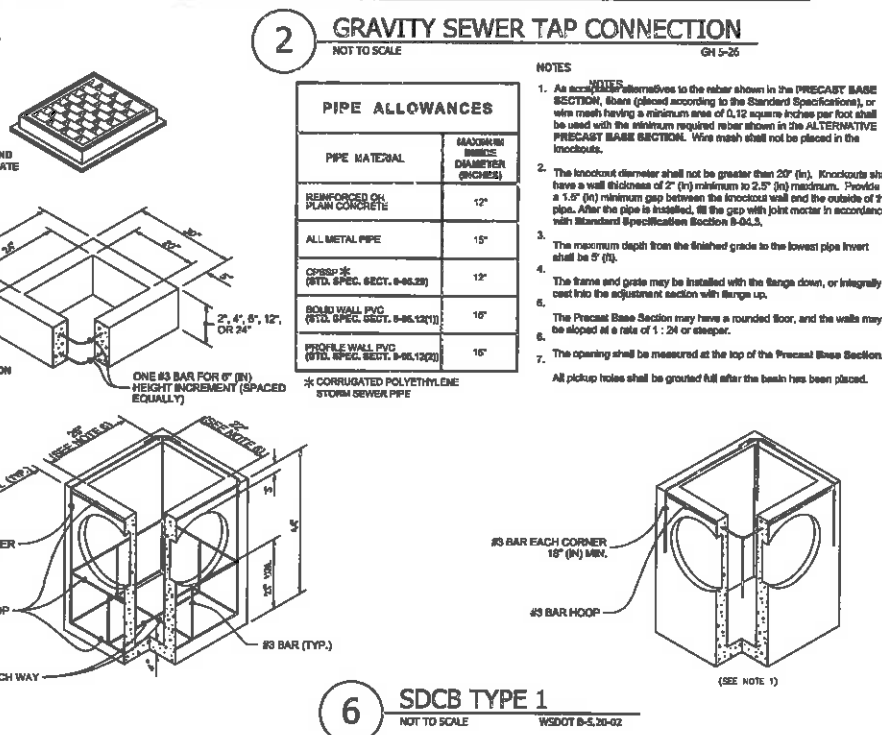
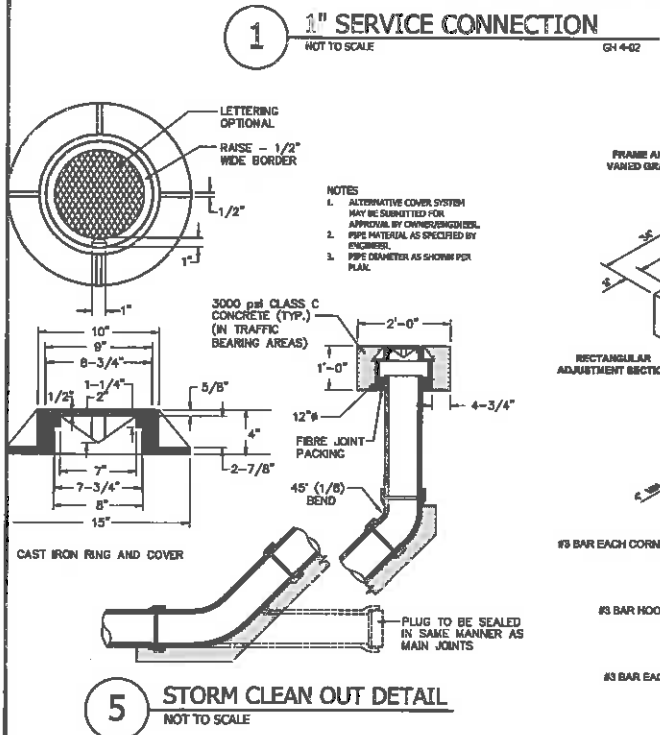
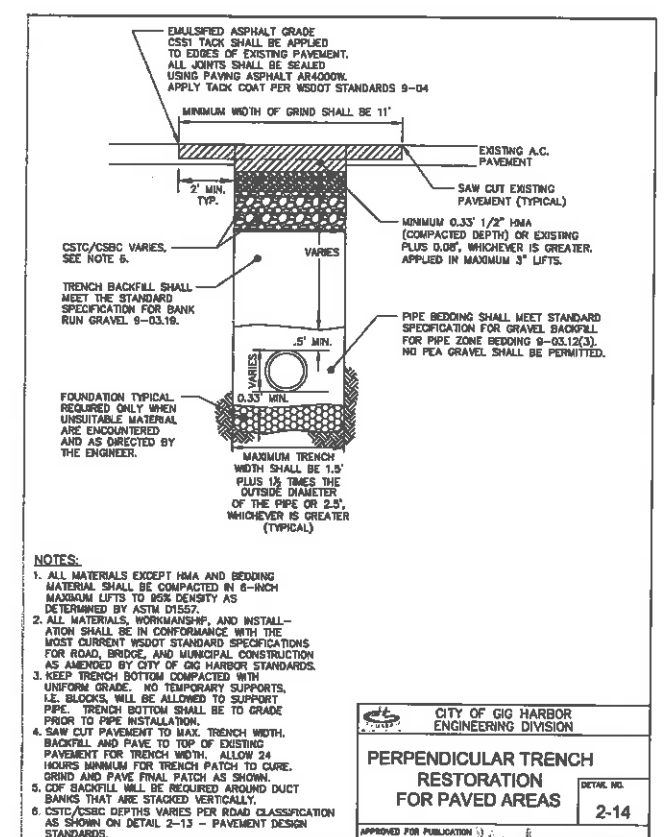
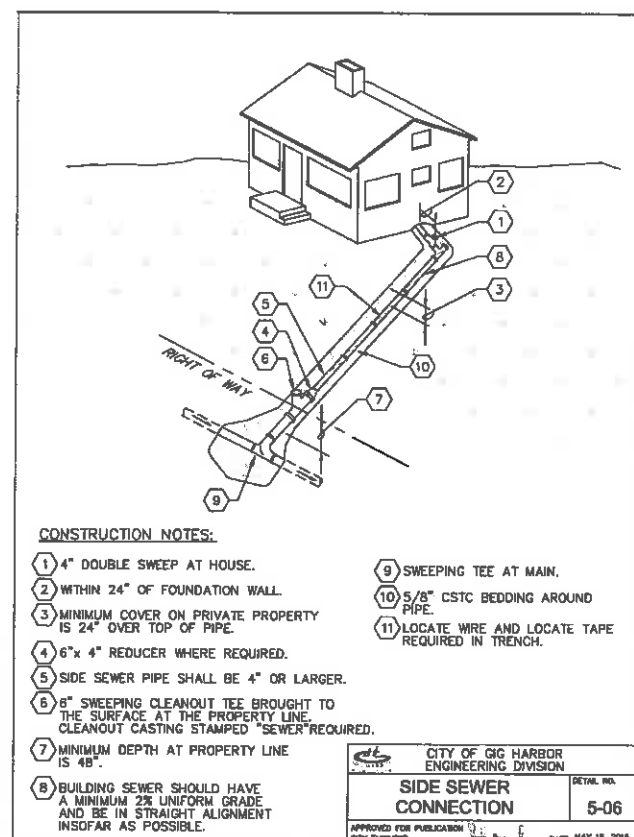
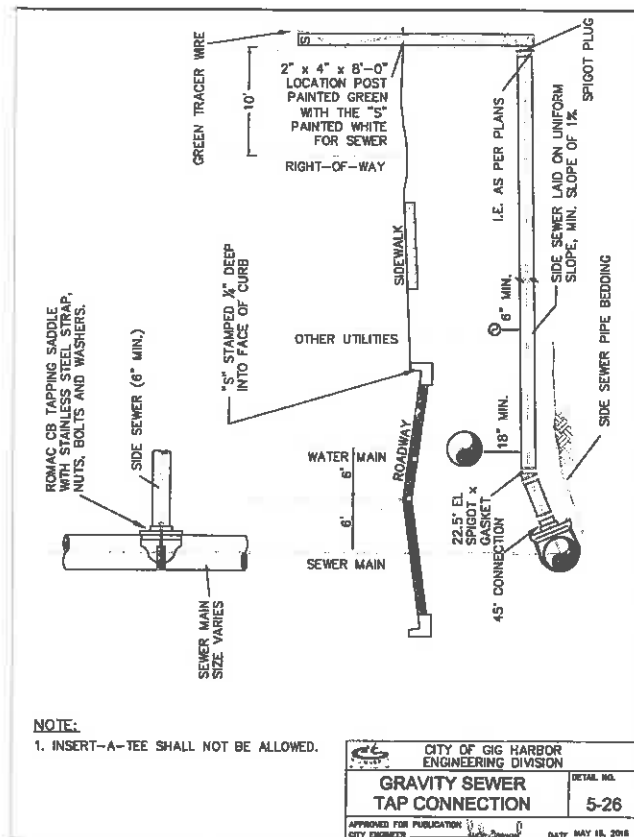
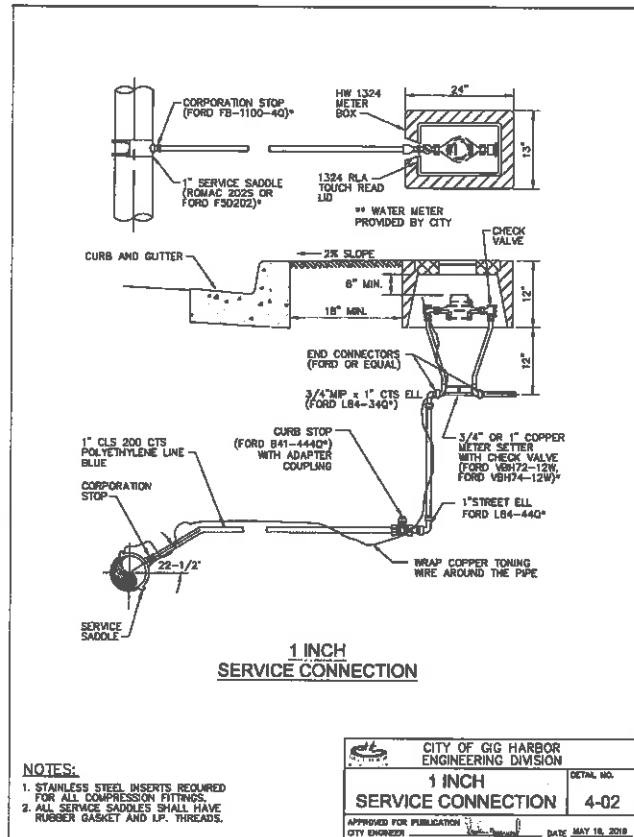
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PO Box 949 Gig Harbor, WA 98335
Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourpllc.com

| | |
|--------------|-------------|
| DESIGNED BY: | M. GOULARTE |
| DRAWN BY: | A. KING |
| CHECKED BY: | B. ALLEN |
| APPROVED BY: | B. ALLEN |
| SCALE: | AS NOTED |
| OTHER: | |

DEVITA SFR

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|------------------------|--------------------------|-----------------|
| JANUARY 12TH, 2023 | PERMIT NO. BD-20-0096 | |
| GRADING & UTILITY PLAN | DRAWING NO. 19-144 | |
| | SHEET OF C4.1 10 | |
| | | 12 January 2023 |

A PORTION OF GOVERNMENT LOT 2 IN THE NE 1/4 OF THE SE 1/4 OF SECTION 6, TOWNSHIP 21 NORTH, RANGE 2 EAST OF THE WILLAMETTE MERIDIAN, CITY OF GIG HARBOR, PIERCE COUNTY WASHINGTON



| NO. | REVISIONS |
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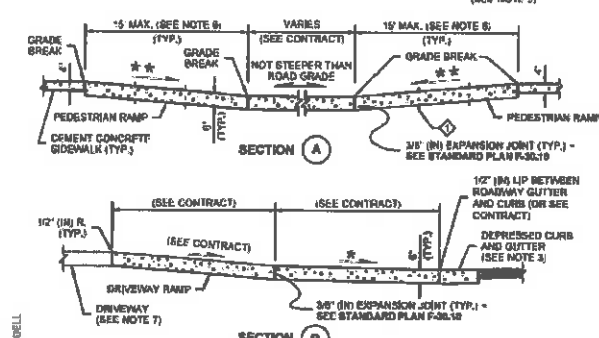
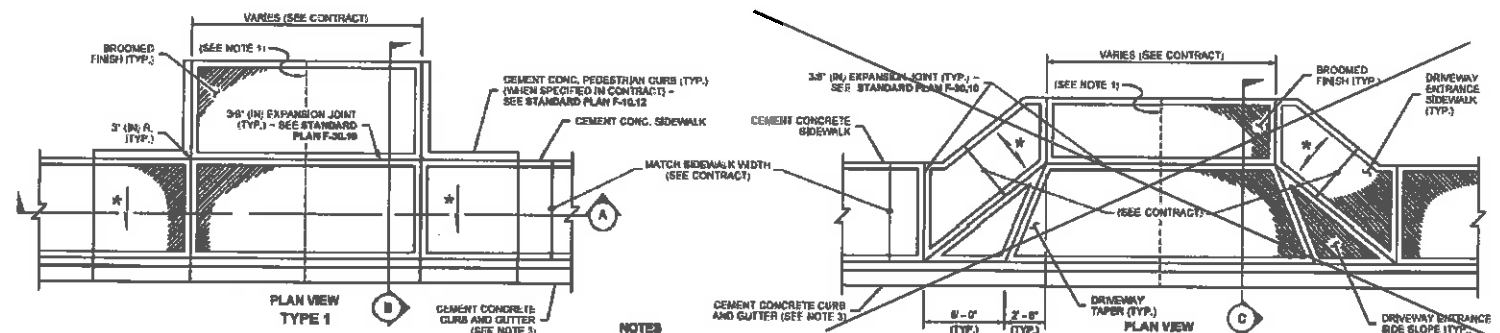
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DESIGNED BY: M. GOULARTE
 DRAWN BY: A. KING
 CHECKED BY: B. ALLEN
 APPROVED BY: B. ALLEN
 SCALE: AS NOTED
 OTHER:

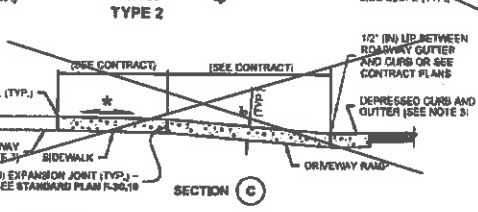
DEVITA SFR

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| 02/27/18 | PERMIT NO. BD-20-0096 | |
| JANUARY 12TH, 2023 | DRAWING NO. 19-144 | |
| NOTES & DETAILS | SHEET OF C5 10 | |
| DATE: 02/27/18 | | 12 January 2023 |

A PORTION OF GOVERNMENT LOT 2 IN THE NE 1/4 OF THE SE 1/4 OF SECTION 6, TOWNSHIP 21 NORTH, RANGE 2 EAST OF THE WILLAMETTE MERIDIAN, CITY OF GIG HARBOR, PIERCE COUNTY WASHINGTON

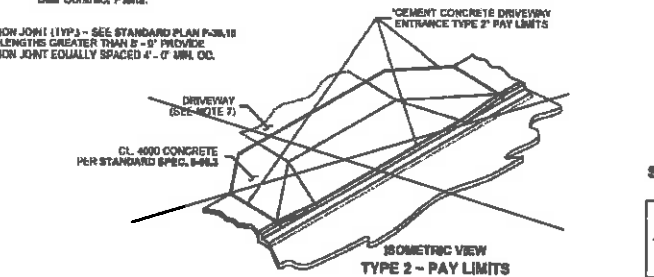
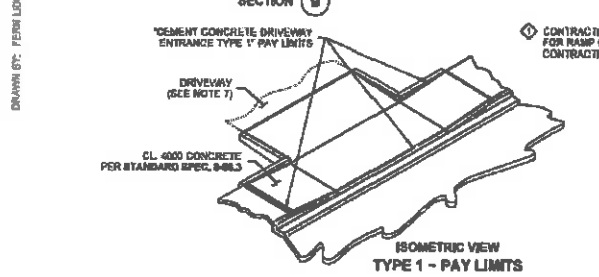


- NOTES**
- When the driveway width exceeds 15' (ft), construct a full depth expansion joint with 3/8" (in) joint filler along the driveway centerline. See Standard Plan F-30.10. Construct expansion joints parallel with the centerline as required at 15' (ft) maximum spacing when driveway widths exceed 30' (ft).
 - See Standard Plan F-30.10 for sidewalk details.
 - Curb and Gutter shown, see the Contract Plans for the curb design specified. See Standard Plan F-10.12 for Curb Details.
 - Avoid placing drainage structures, junction boxes or other obstructions in front of driveway entrances.
 - Where "GRADE BREAK" is called out, the entire length of the line between the two adjacent surface planes shall be flush.
 - The Pedestrian Ramp length is not required to exceed 15 feet (unless otherwise shown in the Contract Plans). When applying the 15-foot max. length (measured from back of sidewalk) the running slope of the pedestrian ramp is allowed to exceed 8.3%. Use a single constant slope from bottom of ramp to top of ramp to match into the sidewalk over a horizontal distance of 15 feet.
 - Beyond limits shown, Play lawn does not include driveway. See Contract Plans.



- LEGEND**
- SLOPE IN EITHER DIRECTION
 - 1.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (2% MAX.)
 - 7.5% OR FLATTER RECOMMENDED FOR DESIGN/FORMWORK (8.3% MAX.) (SEE NOTE 6)

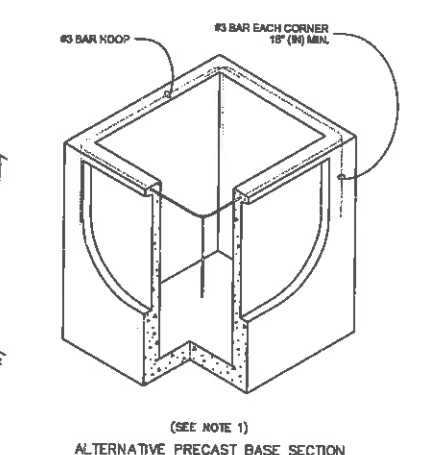
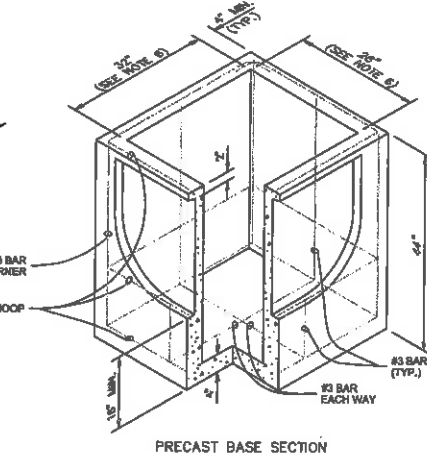
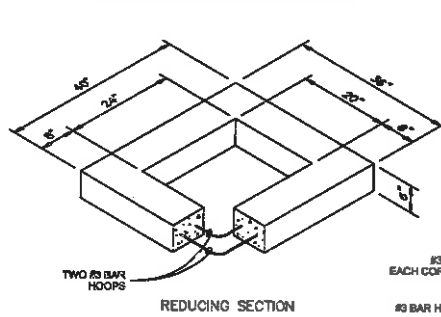
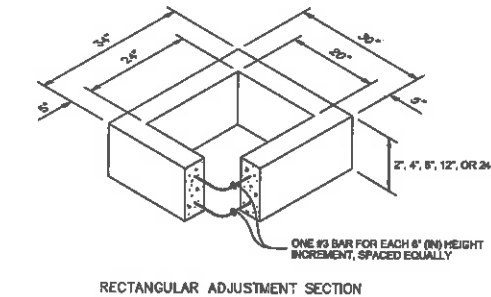
SCOTT ZELMER
PROFESSIONAL ENGINEER
No. 122014
Date Recd. 10/12/2014 4:26 PM
CEMENT CONCRETE DRIVEWAY ENTRANCE TYPES 1, 2, 3, & 4
STANDARD PLAN F-80.10-04
SHEET 1 OF 2 SHEETS
APPROVED FOR PUBLICATION
C. King
1/13/2023 11:00 AM
CITY ENGINEER
Washington State Department of Transportation



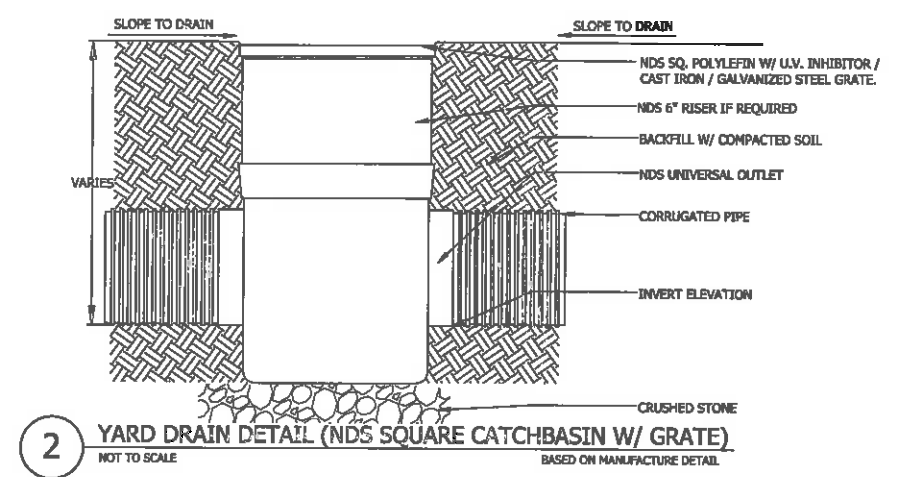
| PIPE ALLOWANCES | |
|--|----------------------------------|
| PIPE MATERIAL | MAXIMUM INSIDE DIAMETER (INCHES) |
| REINFORCED OR PLAIN CONCRETE | 18" |
| ALL METAL PIPE | 21" |
| CRSP* (STD. SPEC. SECT. 9-05.20) | 18" |
| SOLID WALL PVC (STD. SPEC. SECT. 9-05.12(1)) | 21" |
| PROFILE WALL PVC (STD. SPEC. SECT. 9-05.12(2)) | 21" |

* CORRUGATED POLYETHYLENE STORM SEWER PIPE

- NOTES**
- As acceptable alternatives to the rebar shown in the PRECAST BASE SECTION, fibers (placed according to the Standard Specifications), or wire mesh having a minimum area of 0.12 square inches per foot, shall be used with the minimum required rebar shown in the ALTERNATIVE PRECAST BASE SECTION. Wire mesh shall not be placed in the knockouts.
 - The knockout shall not be greater than 26" (in), in any direction. Knockout shall have a wall thickness of 2" (in) minimum to 2.5" (in) maximum. Provide a 1.5" (in) minimum gap between the knockout wall and the outside of the pipe. After the pipe is installed, fill the gap with joint mortar in accordance with Standard Specification Section 9-04.3.
 - The maximum depth from the finished grade to the lowest pipe invert shall be 5' (ft).
 - The frame and grate may be installed with the flange down or integrally cast into the adjustment section with flange up.
 - The Precast Base Section may have a rounded floor, and the walls may be sloped at a rate of 1 : 24 or steeper.
 - The opening shall be measured at the top of the Precast Base Section.
 - All pickup holes shall be grouted full after the basin has been placed.



3 WSDOT TYPE 1L CATCH BASIN
NOT TO SCALE
B-5.40-02



2 YARD DRAIN DETAIL (NDS SQUARE CATCHBASIN W/ GRATE)
NOT TO SCALE
BASED ON MANUFACTURE DETAIL



REVISIONS

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Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourpllc.com

DESIGNED BY: M. GOULARTE
DRAWN BY: A. KING
CHECKED BY: B. ALLEN
APPROVED BY: B. ALLEN
SCALE: AS NOTED
OTHER:

DEVITA SFR

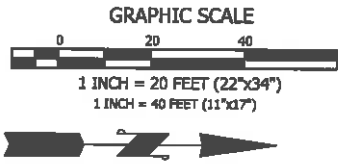
JANUARY 12TH, 2023

NOTES & DETAILS

PERMIT NO.
BD-20-0096
DRAWING NO.
19-144
SHEET OF
C6 10



12 January 2023



A PORTION OF GOVERNMENT LOT 2 IN THE NE 1/4 OF THE SE 1/4 OF SECTION 6, TOWNSHIP 21 NORTH, RANGE 2 EAST OF THE WILLAMETTE MERIDIAN, CITY OF GIG HARBOR, PIERCE COUNTY WASHINGTON

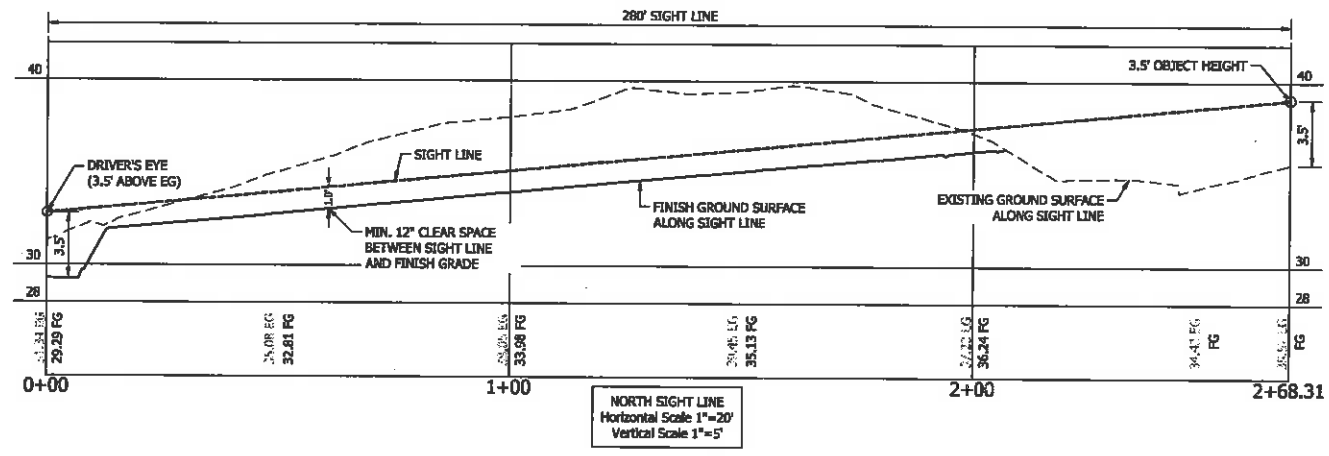
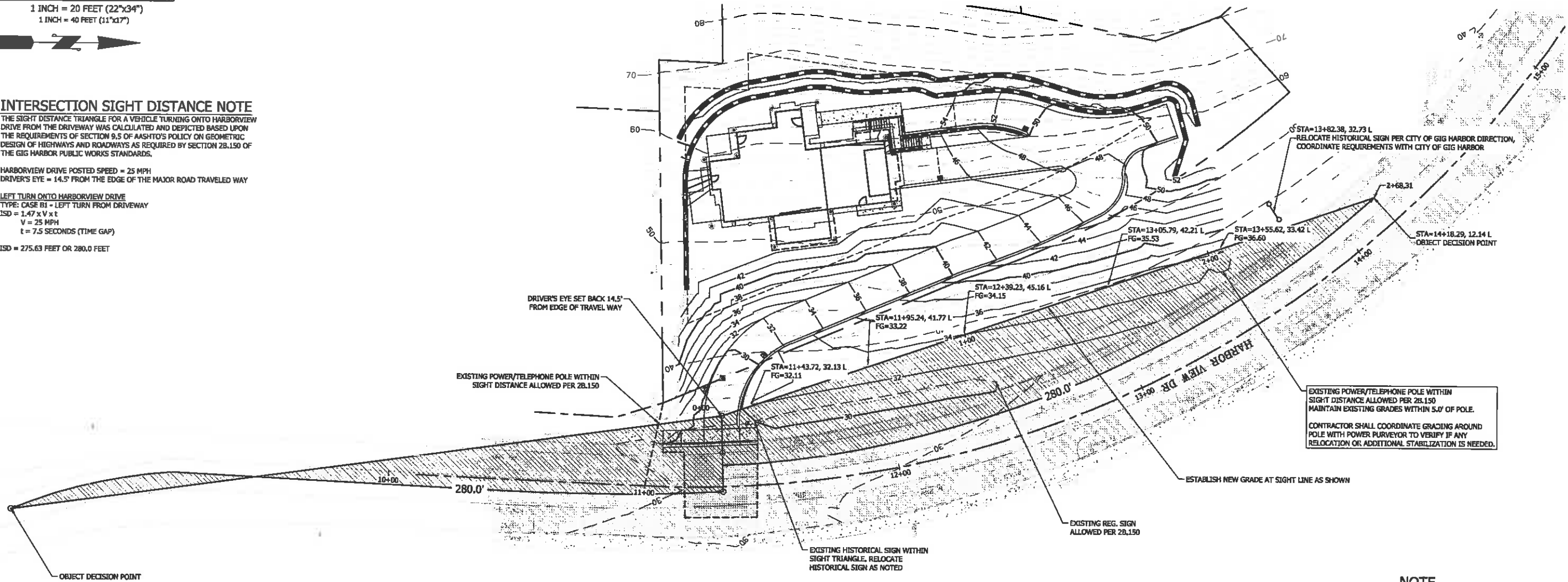
INTERSECTION SIGHT DISTANCE NOTE

THE SIGHT DISTANCE TRIANGLE FOR A VEHICLE TURNING ONTO HARBORVIEW DRIVE FROM THE DRIVEWAY WAS CALCULATED AND DEPICTED BASED UPON THE REQUIREMENTS OF SECTION 9.5 OF AASHTO'S POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND ROADWAYS AS REQUIRED BY SECTION 28.150 OF THE GIG HARBOR PUBLIC WORKS STANDARDS.

HARBORVIEW DRIVE POSTED SPEED = 25 MPH
DRIVER'S EYE = 14.5' FROM THE EDGE OF THE MAJOR ROAD TRAVELED WAY

LEFT TURN ONTO HARBORVIEW DRIVE
TYPE: CASE B1 - LEFT TURN FROM DRIVEWAY
 $ISD = 1.47 \times V \times t$
 $V = 25 \text{ MPH}$
 $t = 7.5 \text{ SECONDS (TIME GAP)}$

ISD = 275.63 FEET OR 280.0 FEET



NOTE
NO OBSTRUCTIONS PER THE AASHTO (2018, 7TH EDITION) REMAIN WITHIN THE VISION TRIANGLE.

VERIFICATION NOTE
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| REVISIONS |
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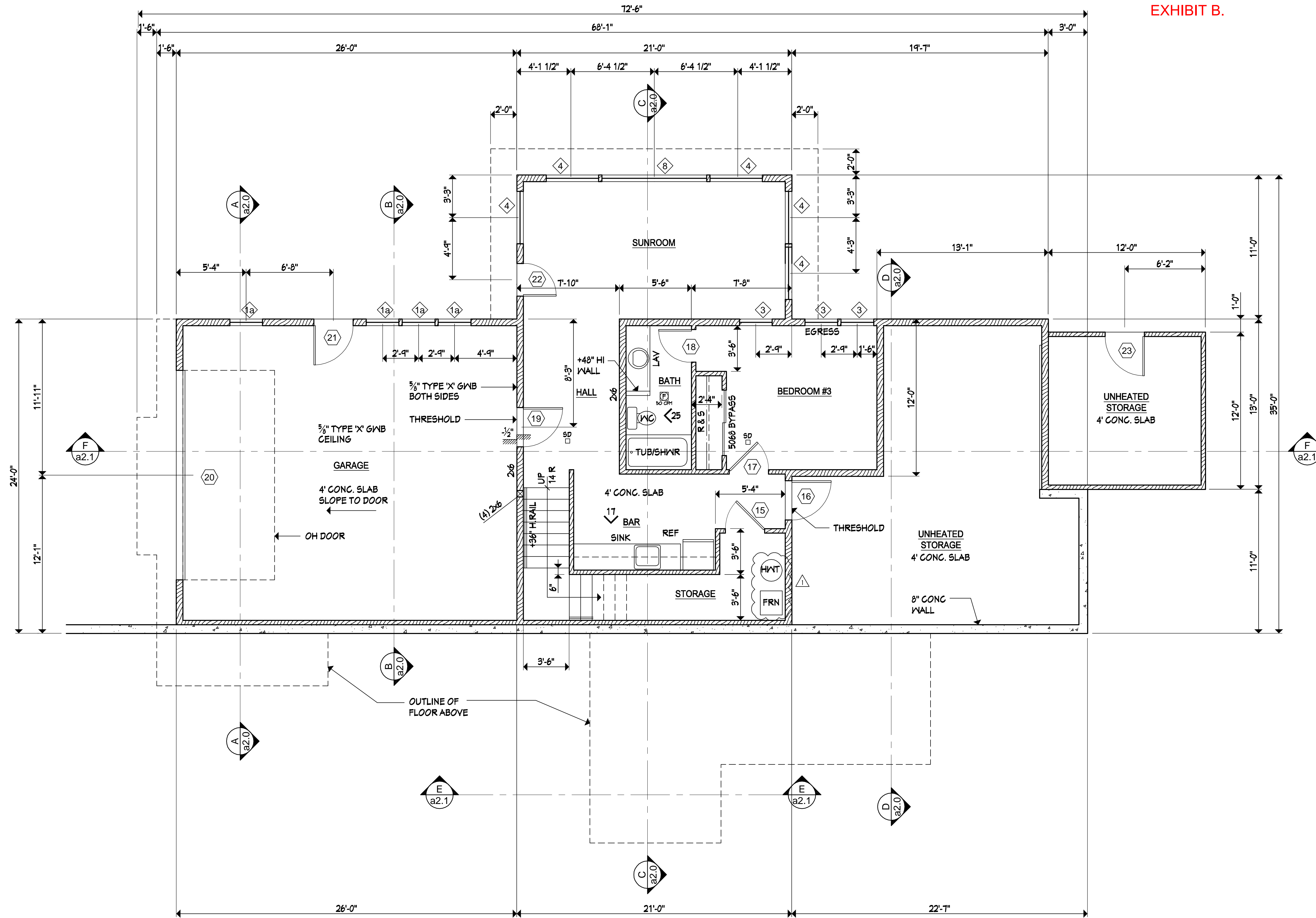
DESIGNED BY: M. GOULARTE
DRAWN BY: A. KING
CHECKED BY: B. ALLEN
APPROVED BY: B. ALLEN
SCALE: AS NOTED
OTHER:

DEVITA SFR

JANUARY 12TH, 2023
SIGHT DISTANCE TRIANGLE
PLAN AND PROFILE

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| PERMIT NO. BD-20-0096 | |
| DRAWING NO. 19-144 | |
| SHEET OF C8 10 | |

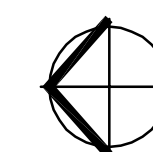
12 January 2023



| 2018 ENERGY CODE CREDITS: | | |
|---------------------------|---|---------|
| HEATING OPTIONS | DESCRIPTION | CREDITS |
| 2 | HEAT PUMP | 1.0 |
| ENERGY OPTIONS | | |
| 1.4 | EFFICIENT BUILDING ENVELOPE | 1.0 |
| 2.2 | AIR LEAKAGE CONTROL & EFFICIENT VENTILATION | 1.0 |
| 4.1 | HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM | 0.5 |
| 5.5 | EFFICIENT WATER HEATING | 2.0 |
| 7.1 | APPLIANCE PACKAGE OPTION | 0.5 |
| | TOTAL CREDITS: | 6.0 |

Lower Floor Plan

1/4" = 1'-0"



| ROOM | FLOOR | | WALLS | | | | CEILING | | HT. |
|-----------|----------|-------|---------|---------|---------|---------|---------|--------|-----|
| | FINISH | BASE | N | W | S | E | CEILING | | |
| GARAGE | CONC/SLR | VINYL | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 8'-0" | |
| HALL | TILE | VINYL | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 8'-0" | |
| SUN ROOM | TILE | VINYL | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 8'-0" | |
| BAR | TILE | VINYL | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 8'-0" | |
| BEDROOM 3 | CARPET | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 8'-0" | |
| BATH | TILE | TILE | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 8'-0" | |
| STAIR | CARP/ND | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | VARIES | |

ABBREVIATIONS:
 CONC CONCRETE
 CPT CARPET
 G/NB GYPSUM WALL BOARD
 PT PAINT
 SLR SEALER
 ST STAIN
 WD WOOD

| Revisions | Date |
|-----------|------------|
| 1 | 3/23/2020 |
| 2 | 3/4/2022 |
| 3 | 5/24/2022 |
| 4 | 10/13/2022 |

Project Number:
 File Name:
 Architect:
 Staff:

2709 REGISTERED ARCHITECT
 Kenneth D. Snodgrass
 STATE OF WASHINGTON

4123 REGISTERED ARCHITECT
 David J. Freeman
 STATE OF WASHINGTON

DeVita Residence
 Gig Harbor, Washington 98335

LOWER FLOOR PLAN

sfa architects

7195 Wagner Way, Suite 210
 Gig Harbor, WA 98335
 (253) 851-6383 (fax) 851-6395
 www.sfaarchitects.com

date: 6/5/2020
 SHEET:

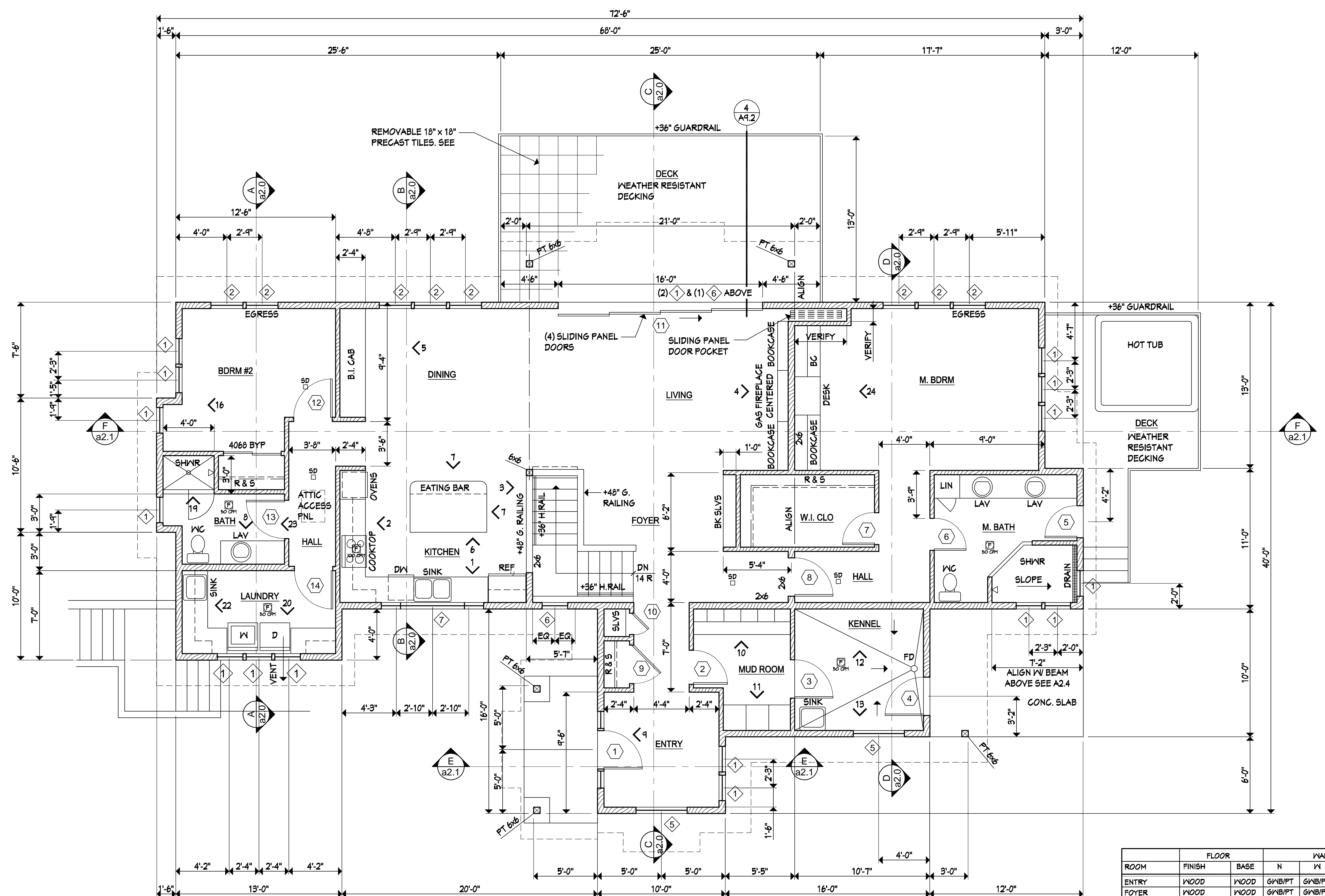
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|------------|------------|
| Revisions: | Date: |
| 1 | 3/23/2020 |
| 2 | 3/4/2022 |
| 4 | 10/13/2022 |

Project Number:
 File Name:
 Architect:
 Staff:

2709 REGISTERED ARCHITECT
 Kenneth D. Snodgrass
 STATE OF WASHINGTON

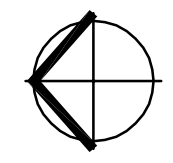
4123 REGISTERED ARCHITECT
 David J. Freeman
 STATE OF WASHINGTON



2018 ENERGY CODE CREDITS:

| HEATING OPTIONS | DESCRIPTION | CREDITS |
|-----------------------|---|------------|
| 2 | HEAT PUMP | 1.0 |
| ENERGY OPTIONS | | |
| 1.4 | EFFICIENT BUILDING ENVELOPE | 1.0 |
| 2.2 | AIR LEAKAGE CONTROL & EFFICIENT VENTILATION | 1.0 |
| 4.1 | HIGH EFFICIENCY HVAC DISTRIBUTION SYSTEM | 0.5 |
| 5.5 | EFFICIENT WATER HEATING | 2.0 |
| 7.1 | APPLIANCE PACKAGE OPTION | 0.5 |
| TOTAL CREDITS: | | 6.0 |

Main Floor Plan
 1/4" = 1'-0"



| ROOM | FLOOR | | WALLS | | | | CEILING | |
|------------|---------|-------|---------|---------|---------|---------|---------|--------|
| | FINISH | BASE | N | W | S | E | CEILING | HT. |
| ENTRY | WOOD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | WOOD | VARIES |
| FOYER | WOOD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | WOOD | VARIES |
| STAIR | CARP/WD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | WOOD | VARIES |
| LIVING | WOOD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | WOOD | VARIES |
| HALL | WOOD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | WOOD | VARIES |
| W.I.C. | WOOD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 9'-0" |
| M. BEDROOM | WOOD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | WOOD | VARIES |
| M. BATH | TILE | TILE | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | WOOD | VARIES |
| MUD ROOM | VINYL | VINYL | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 9'-0" |
| KENNEL | VINYL | VINYL | FRP | FRP | FRP | FRP | G/NB/PT | 9'-0" |
| DINING | WOOD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | WOOD | VARIES |
| KITCHEN | WOOD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | WOOD | VARIES |
| HALL | WOOD | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 9'-0" |
| LAUNDRY | TILE | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 9'-0" |
| BATH | TILE | TILE | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 9'-0" |
| BEDROOM 2 | CARPET | WOOD | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | G/NB/PT | 9'-0" |

Room Finish Schedule

ABBREVIATIONS:

| | |
|------|-------------------|
| CONC | CONCRETE |
| CPT | CARPET |
| G/NB | GYPSUM WALL BOARD |
| PT | PAINT |
| SLR | SEALER |
| ST | STAIN |
| WD | WOOD |

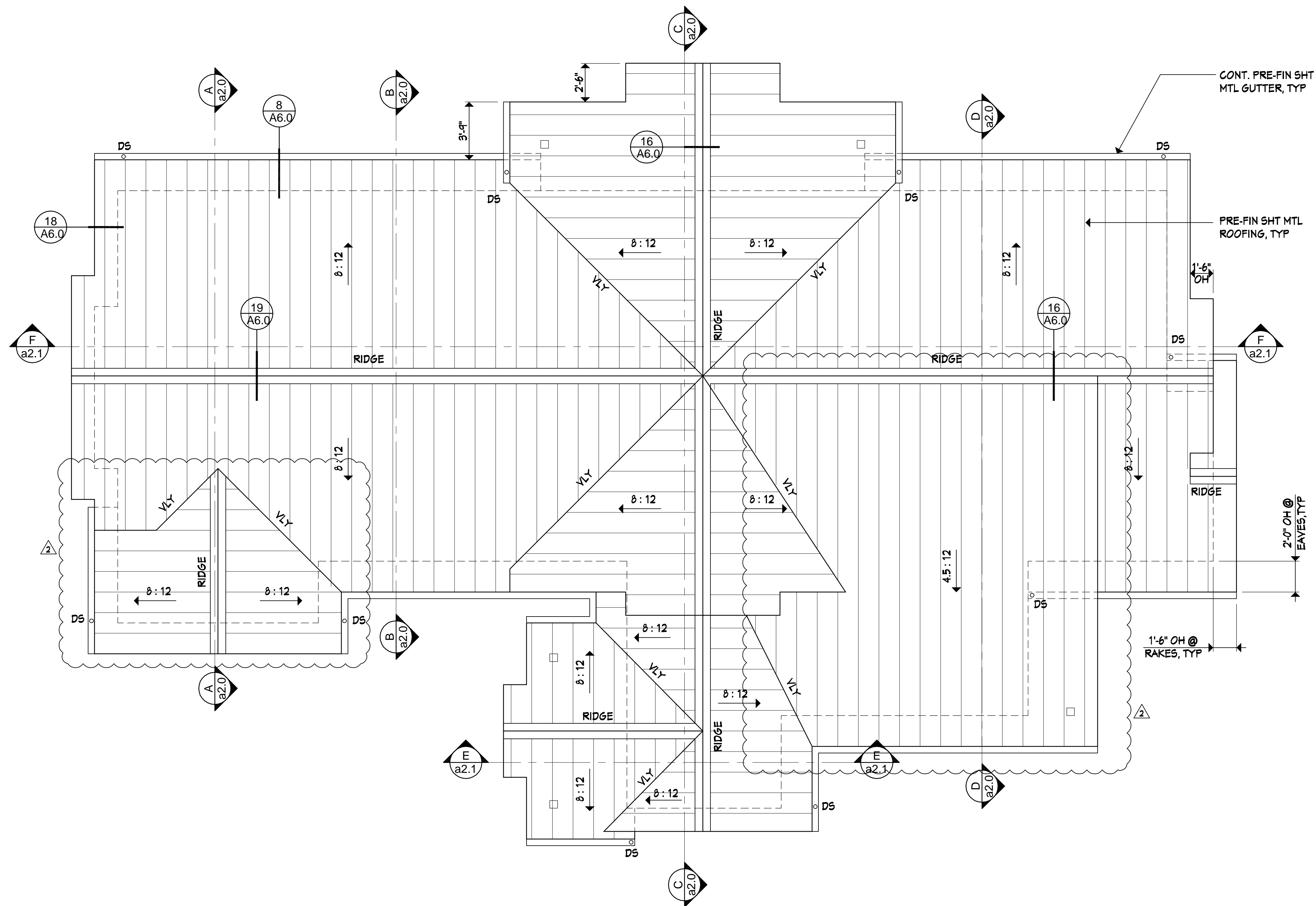
MAIN FLOOR PLAN

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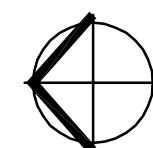
7195 Wagner Way, Suite 210
 Gig Harbor, WA 98335
 (253) 851-6333 (fax) 851-6335
 www.sfaarchitects.com

date: **6/5/2020**
 SHEET:

al.l



Roof Plan
 1/4" = 1'-0"



DeVita Residence
 Gig Harbor, Washington 98335

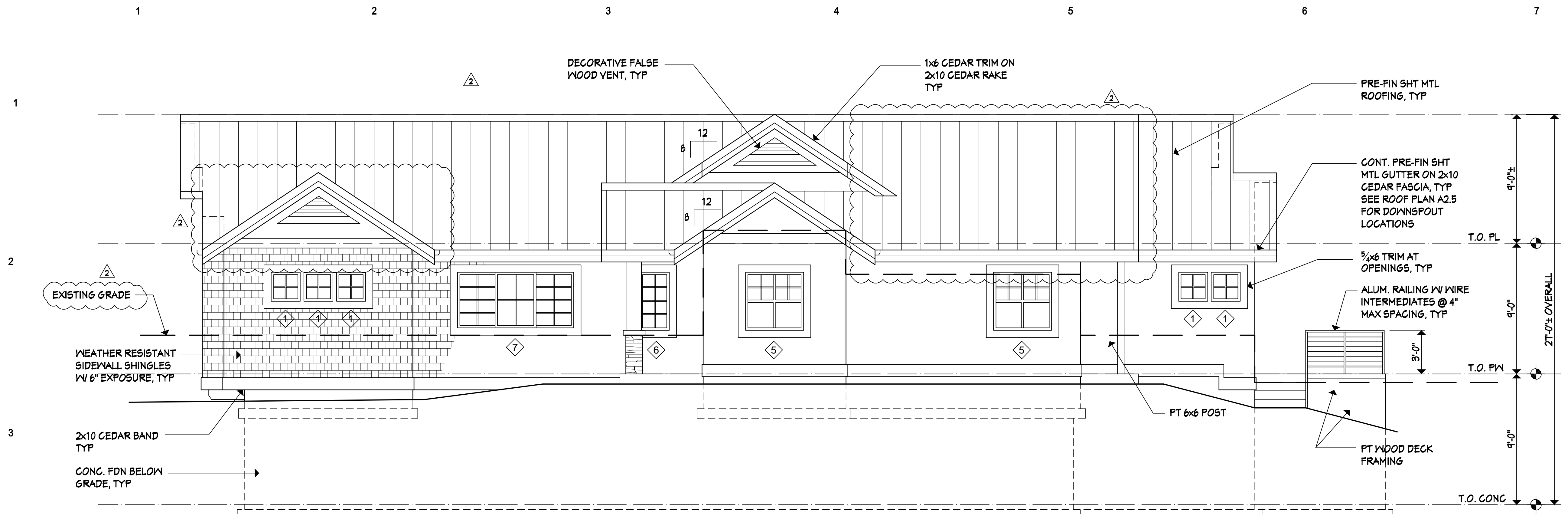
ROOF PLAN



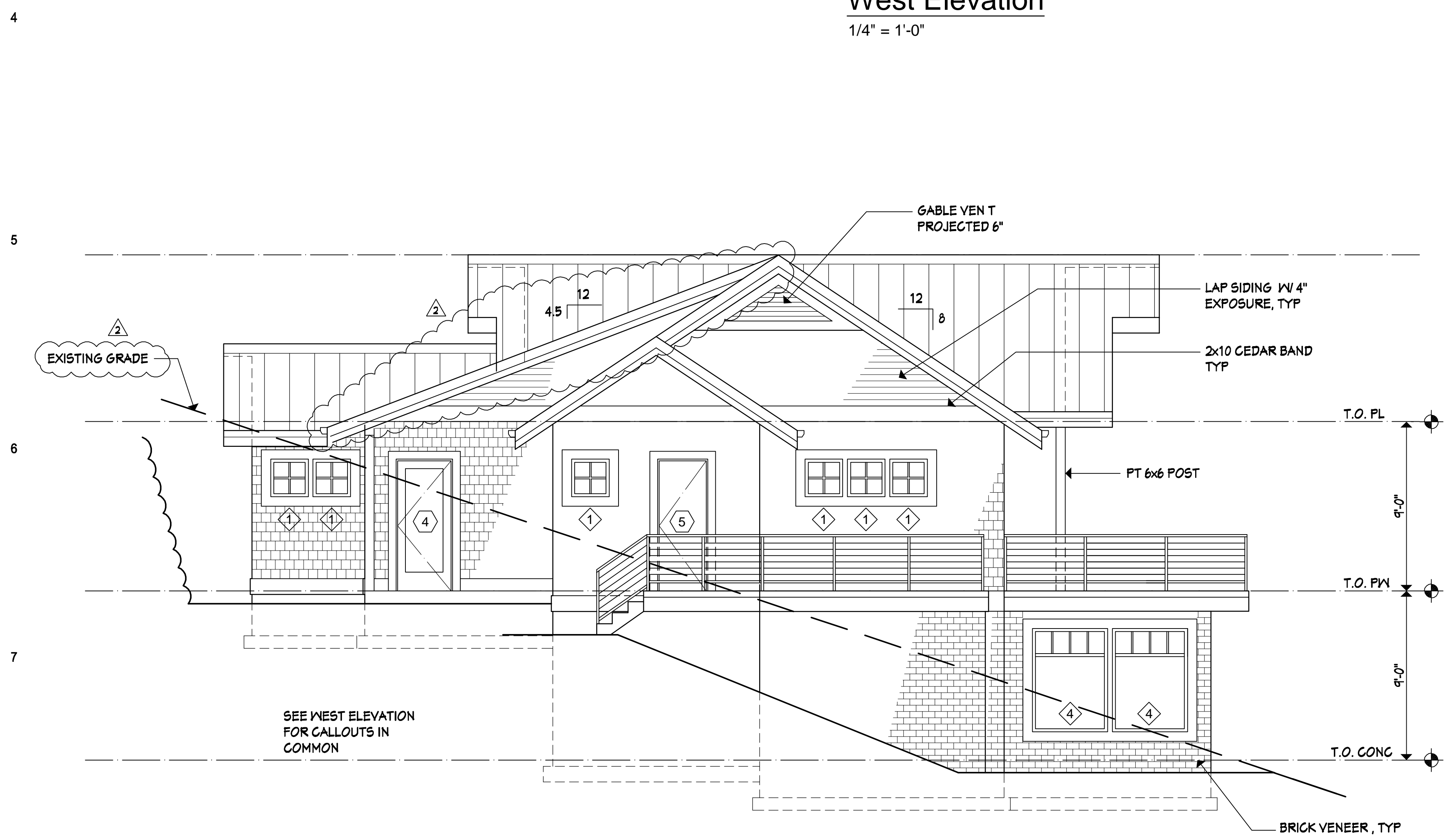
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date: 6/5/2020
 SHEET:

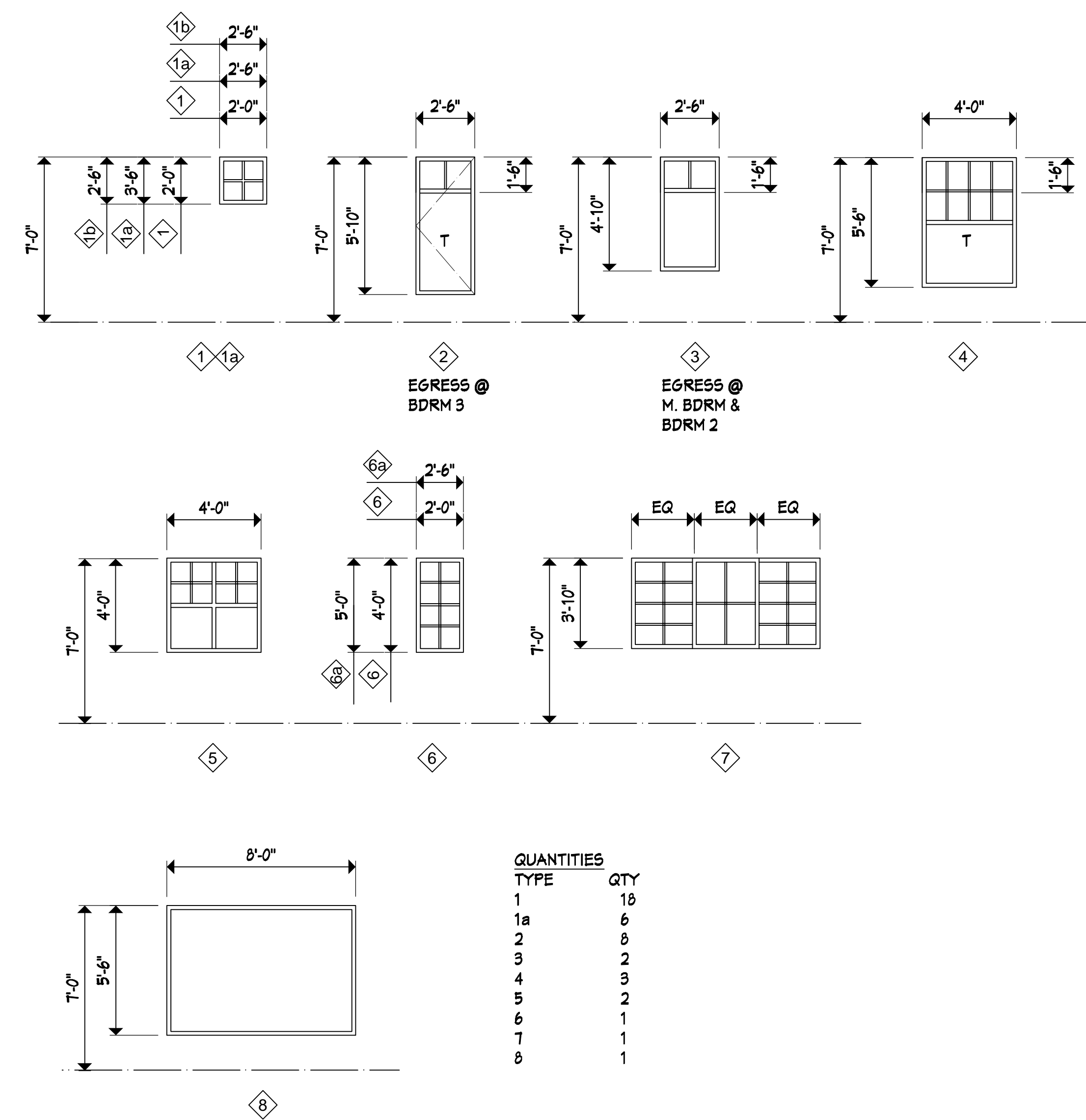
al.2



West Elevation
 1/4" = 1'-0"



South Elevation
 1/4" = 1'-0"



| TYPE | QTY |
|------|-----|
| 1 | 18 |
| 1a | 6 |
| 2 | 8 |
| 3 | 2 |
| 4 | 3 |
| 5 | 2 |
| 6 | 1 |
| 7 | 1 |
| 8 | 1 |

Window Schedule/Elevations
 1/4" = 1'-0"

NOTES
 1. T = TEMPERED
 2. VINYL WINDOWS U = 0.28

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 Gig Harbor, Washington 98335

ELEVATIONS &
 WINDOW
 SCHEDULE

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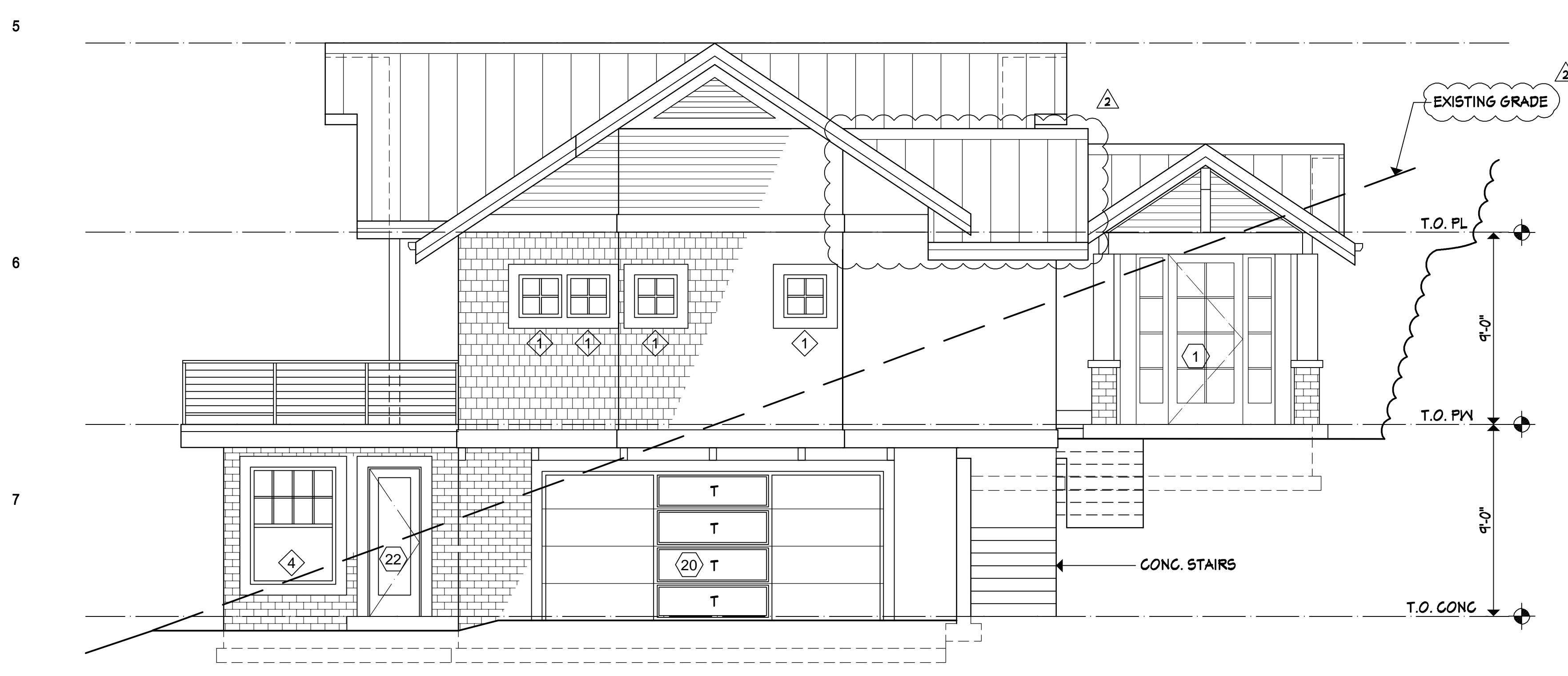
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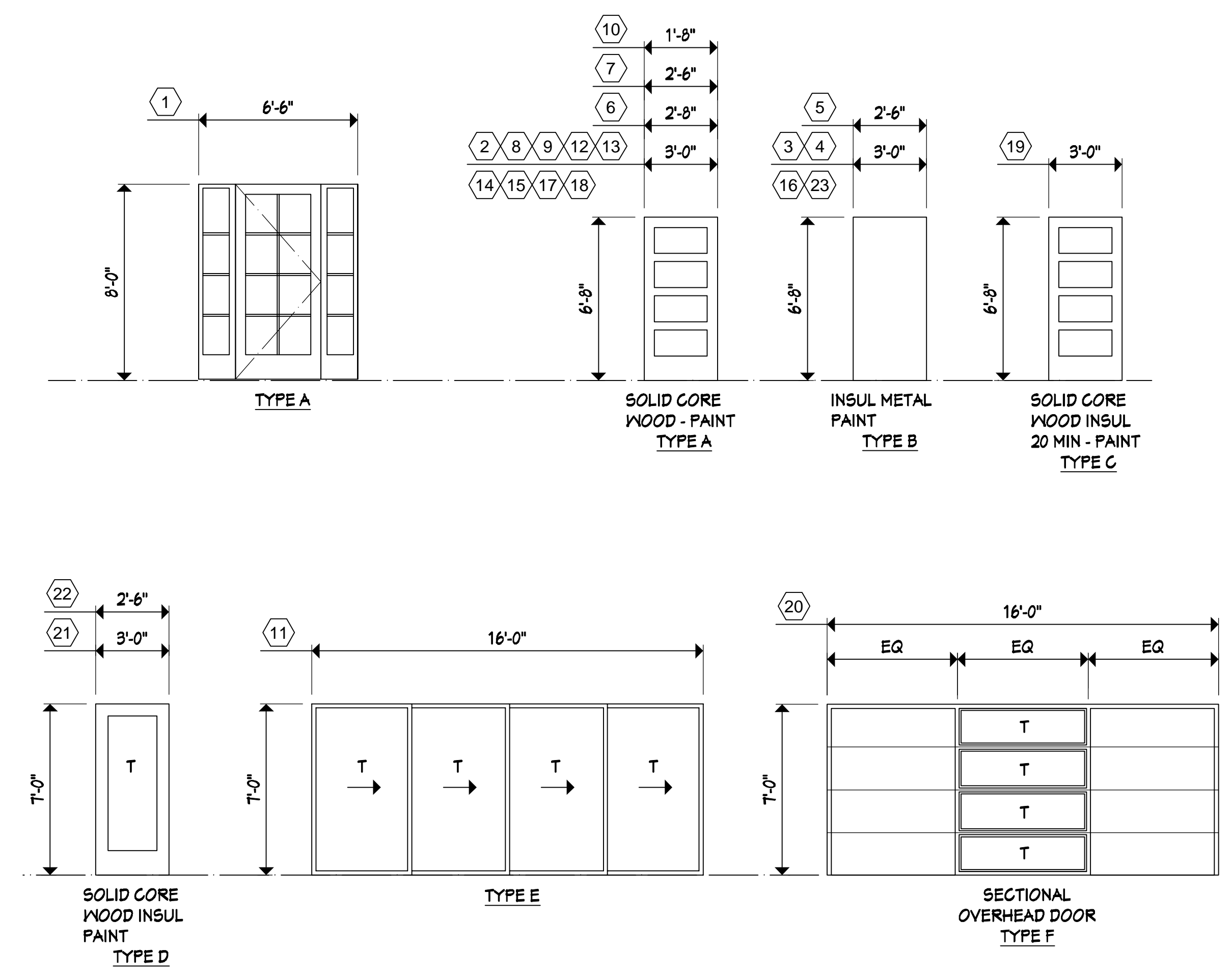
East Elevation
 1/4" = 1'-0"

SEE A2.0 FOR
 CALLOUTS IN
 COMMON



North Elevation
 1/4" = 1'-0"

SEE A2.0 FOR
 CALLOUTS IN
 COMMON



Door Elevations
 1/4" = 1'-0"

NOTE: T = TEMPERED

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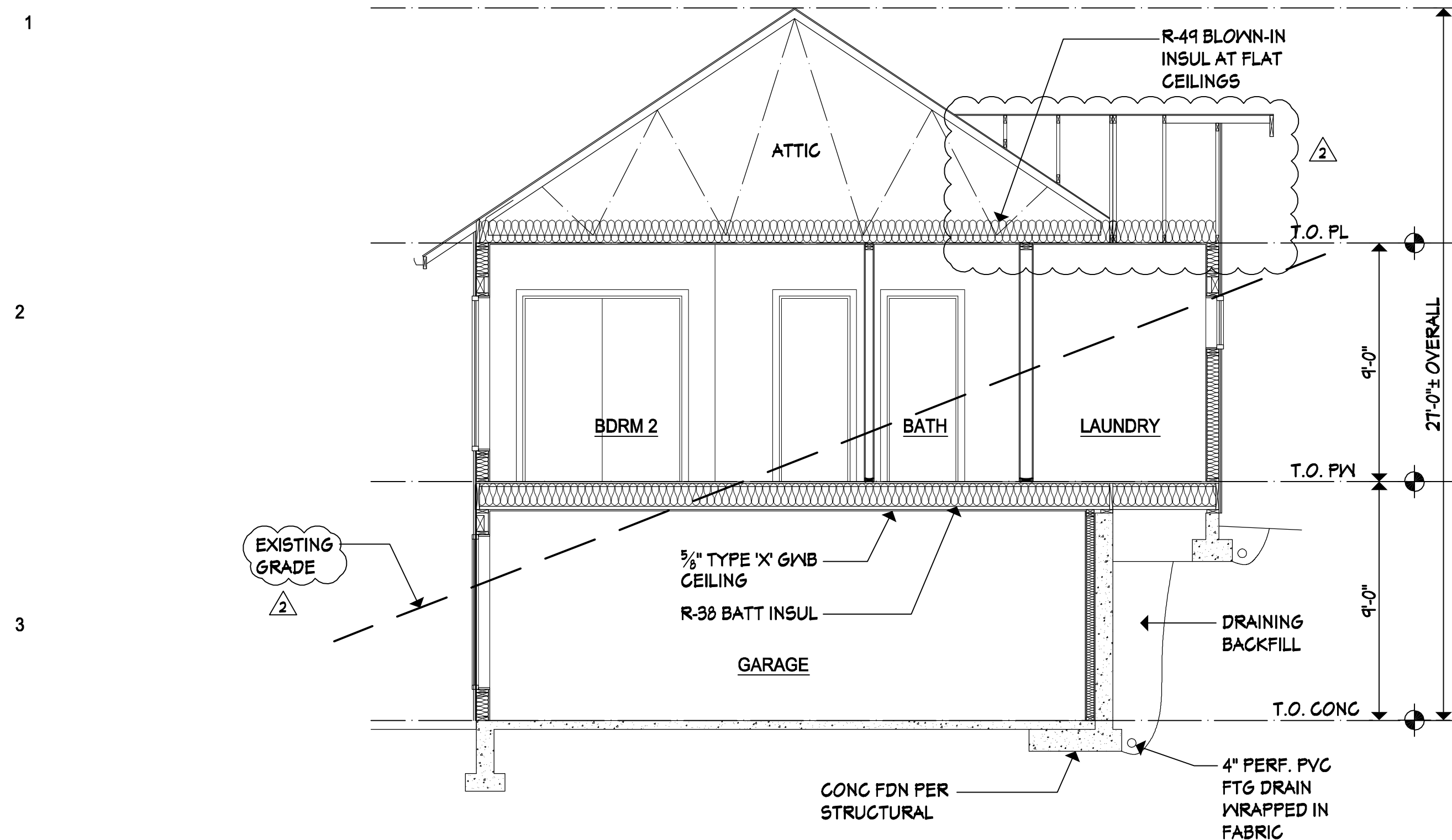
ELEVATIONS &
 DOOR
 SCHEDULE

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 architects

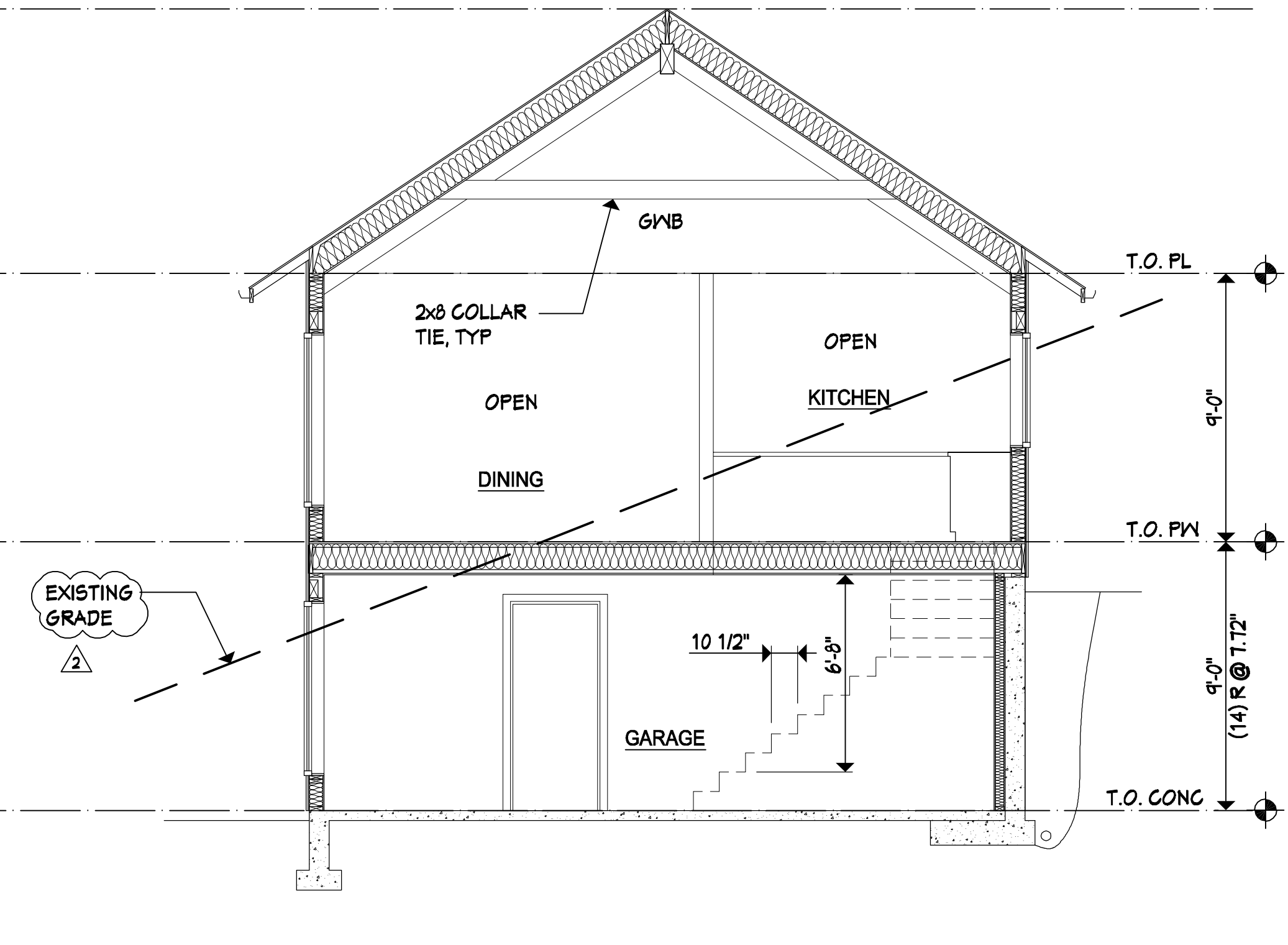
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 SHEET:

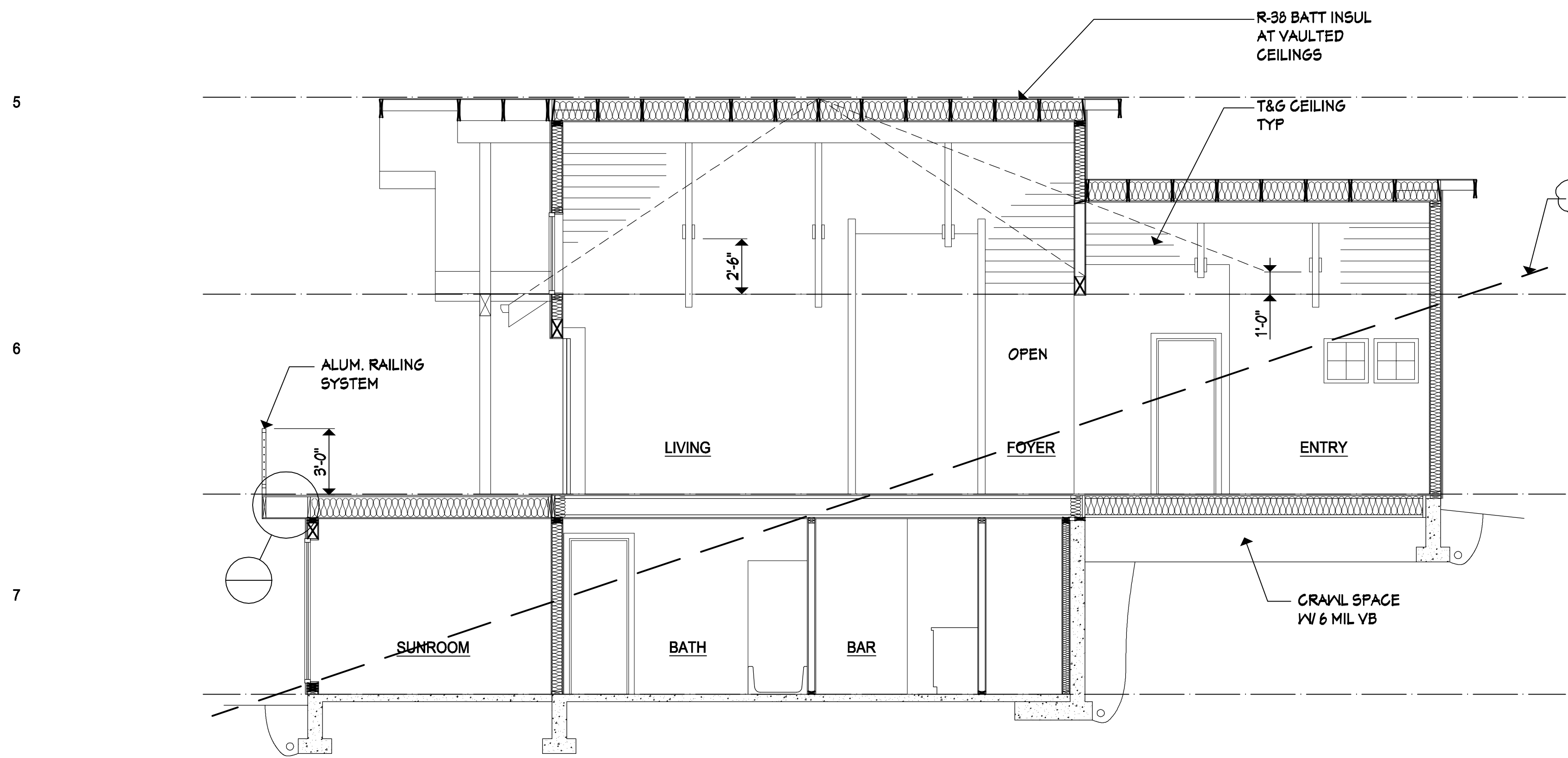
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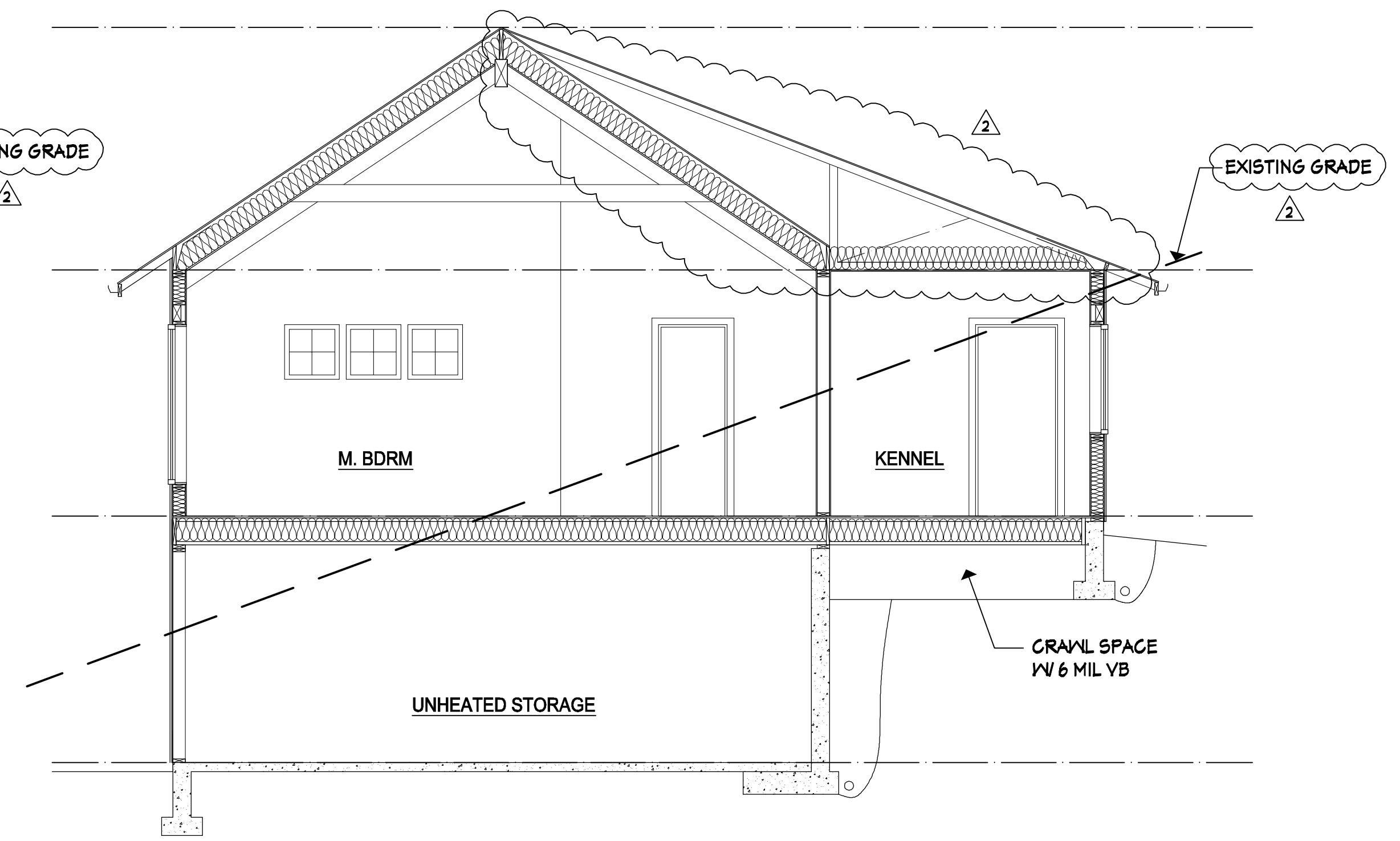
Building Section A
 1/4" = 1'-0"



Building Section B
 1/4" = 1'-0"



Building Section C
 1/4" = 1'-0"



Building Section D
 1/4" = 1'-0"

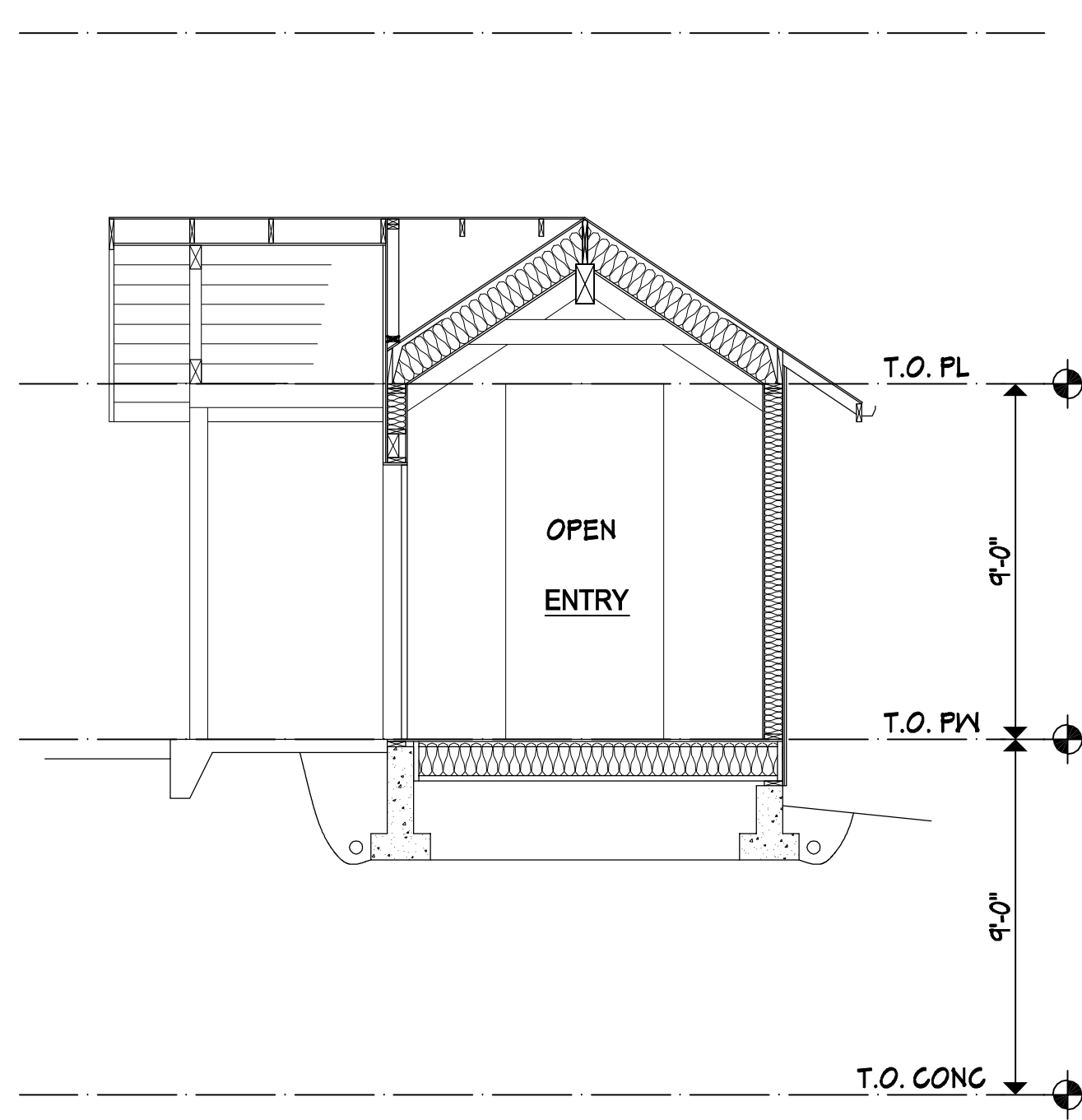
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BUILDING SECTIONS

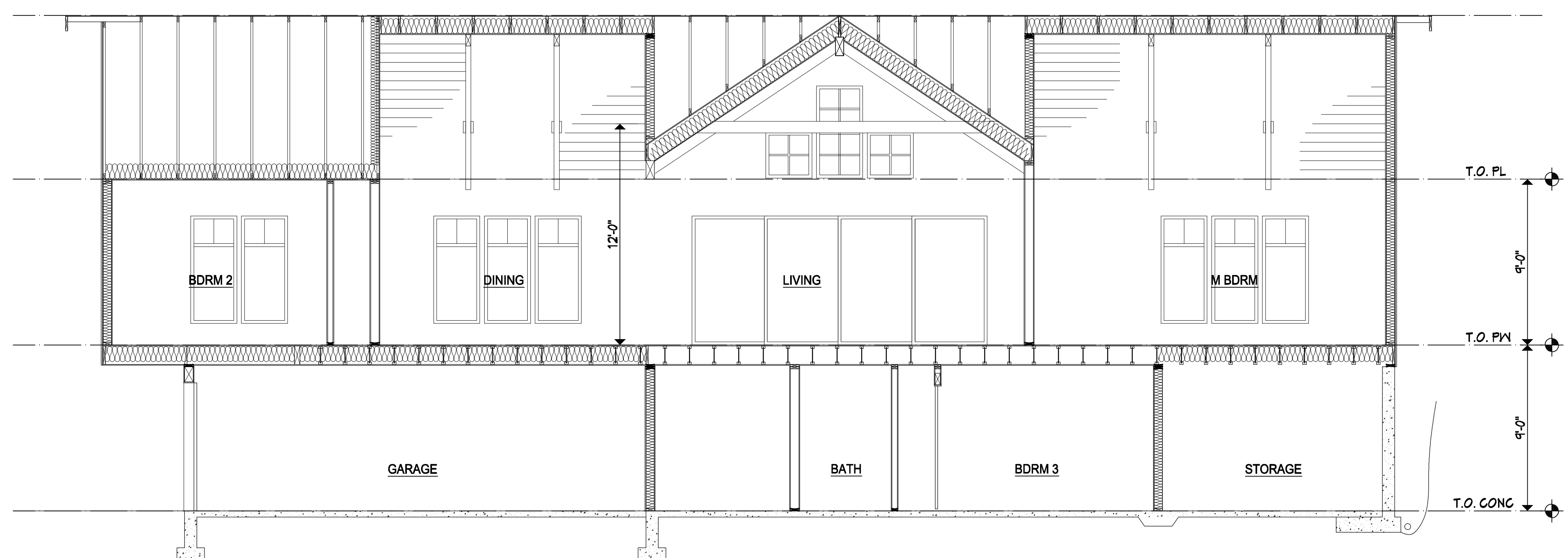
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date: 6/5/2020
 SHEET:

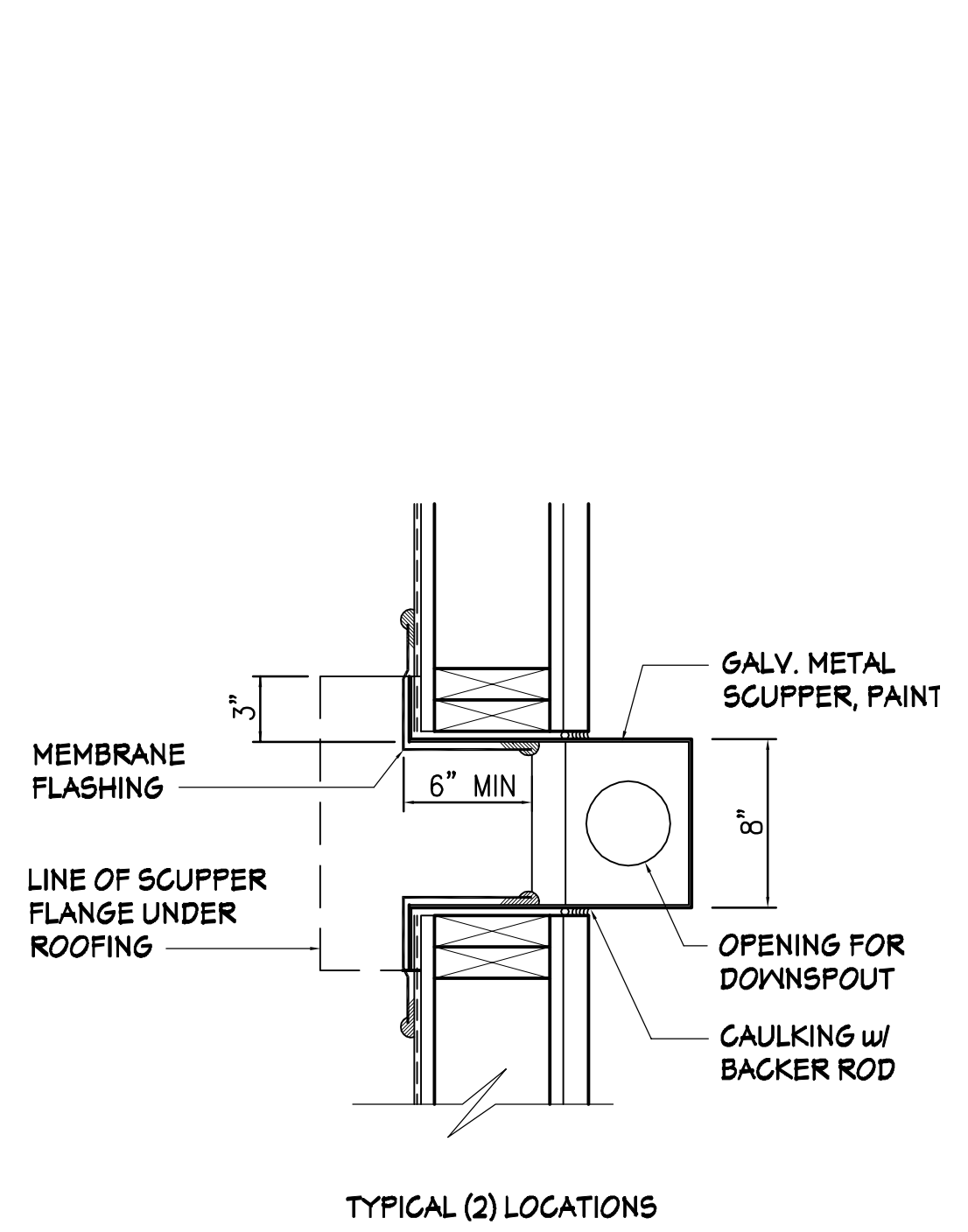
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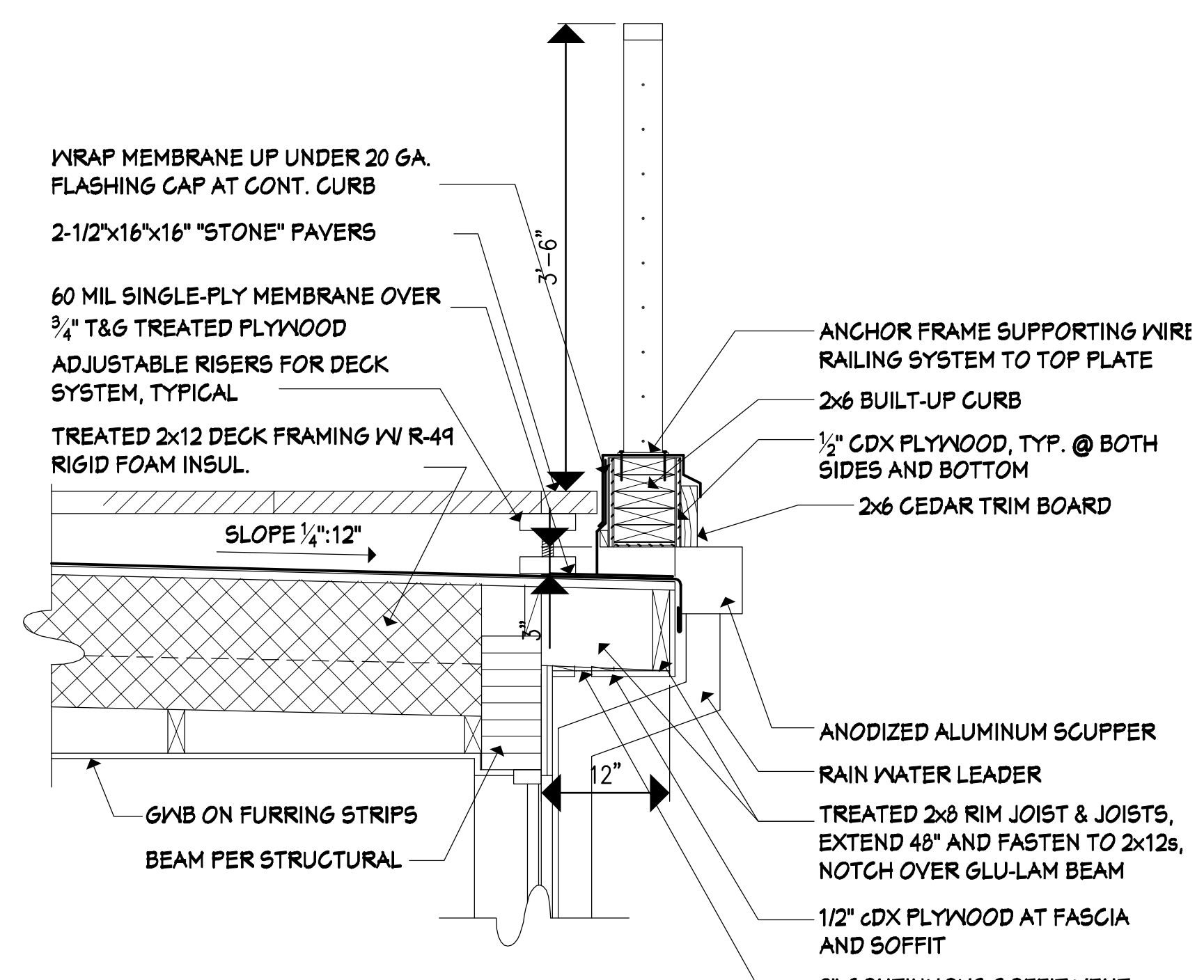
Building Section E
 1/4" = 1'-0"



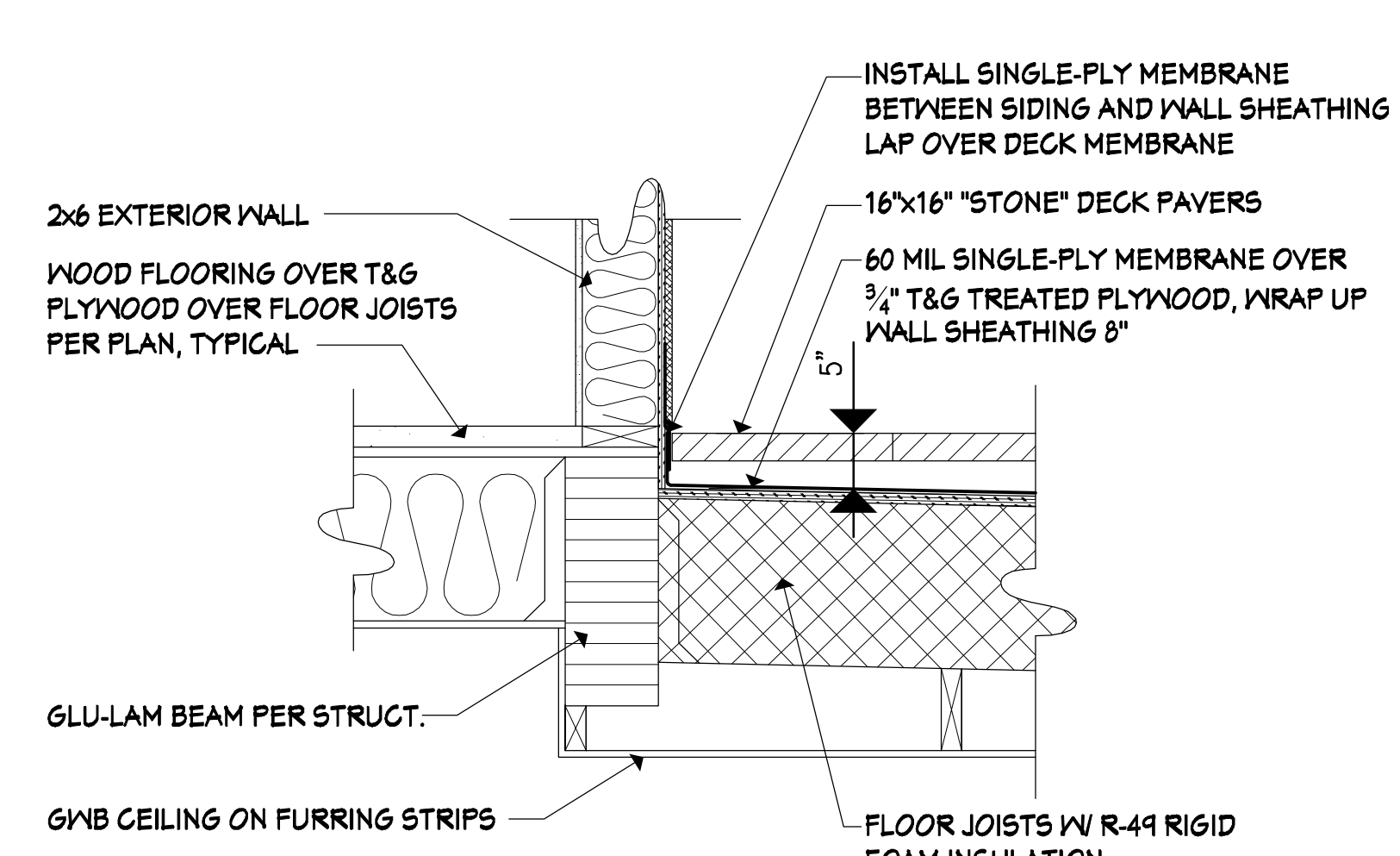
Building Section F
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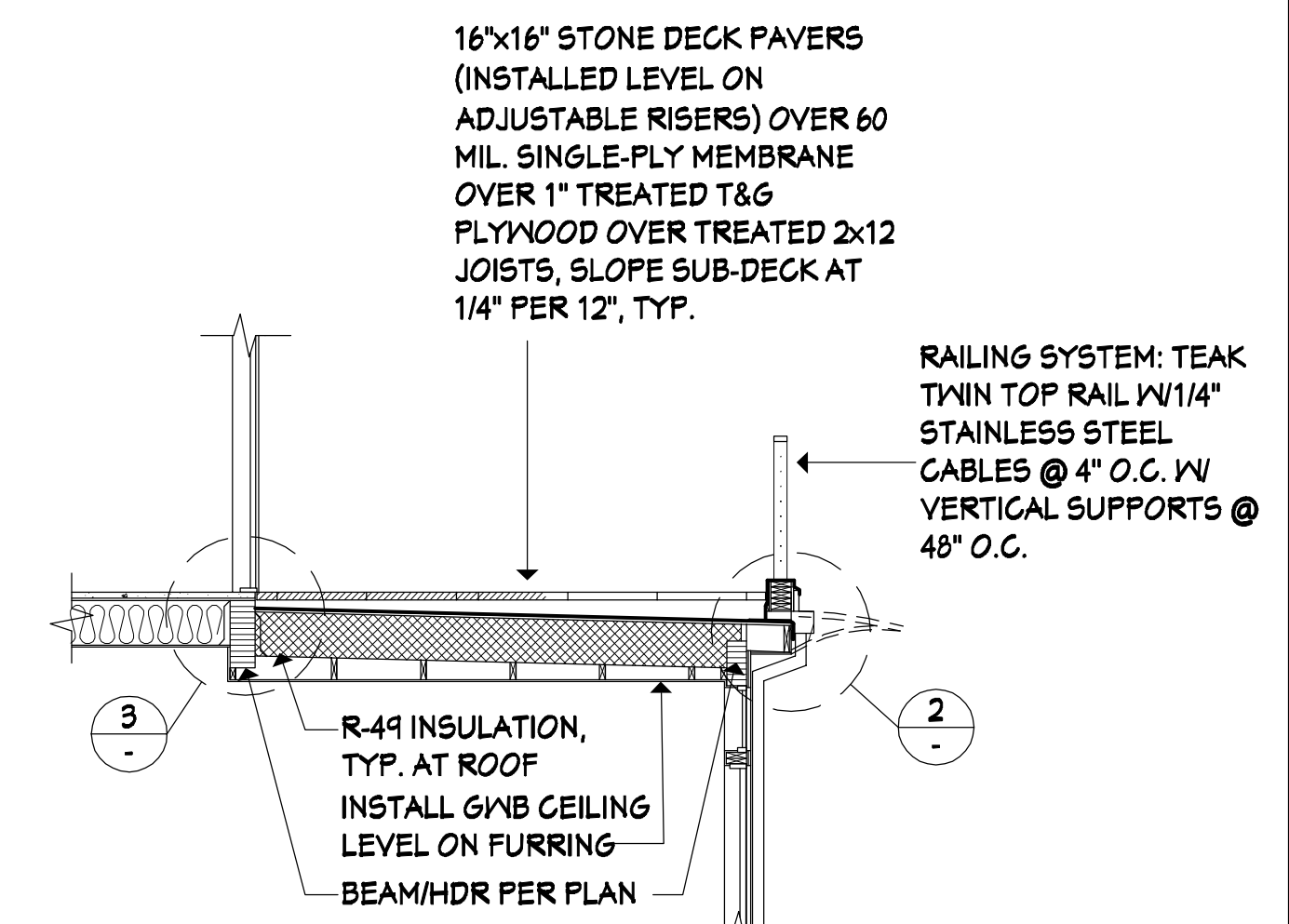
1 SCUPPER PLAN DETAIL
 SCALE: 3/4" = 1'-0"



2 SCUPPER SECTION DETAIL
 SCALE: 3/4" = 1'-0"

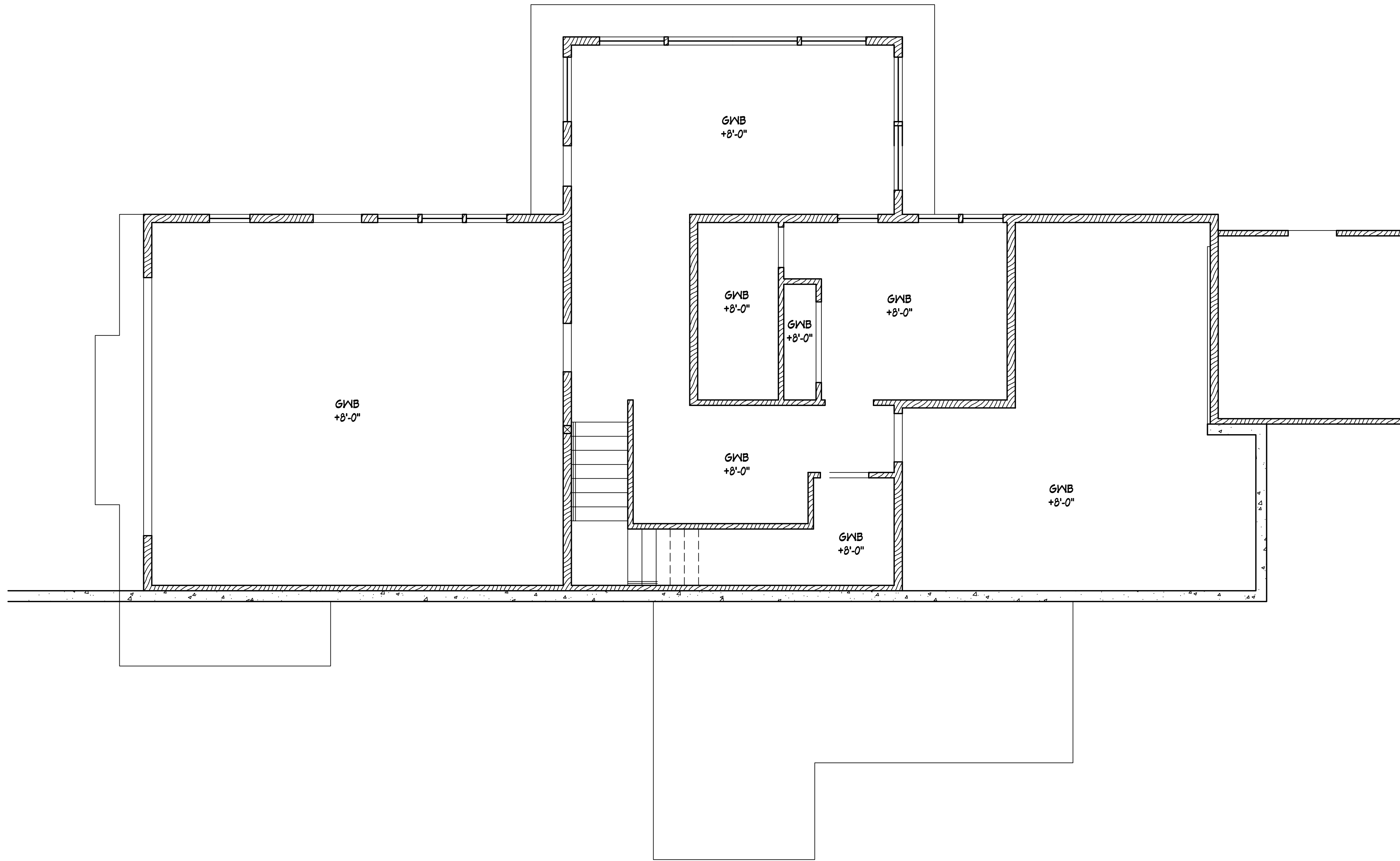


3 FLOOR/DECK TRANSITION DETAIL
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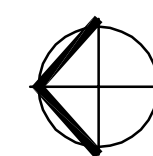


4 FLOOR/DECK SECTION
 SCALE: 1/4" = 1'-0"

DeVita Residence
 Gig Harbor, Washington 98335



Lower Reflected Ceiling Plan
 1/4" = 1'-0"



Revisions: _____ Date: _____

 Project Number: _____
 File Name: _____
 Architect: _____
 Staff: _____
 2709 REGISTERED ARCHITECT
 Kenneth D. Snodgrass
 STATE OF WASHINGTON
 4123 REGISTERED ARCHITECT
 David J. Freeman
 STATE OF WASHINGTON

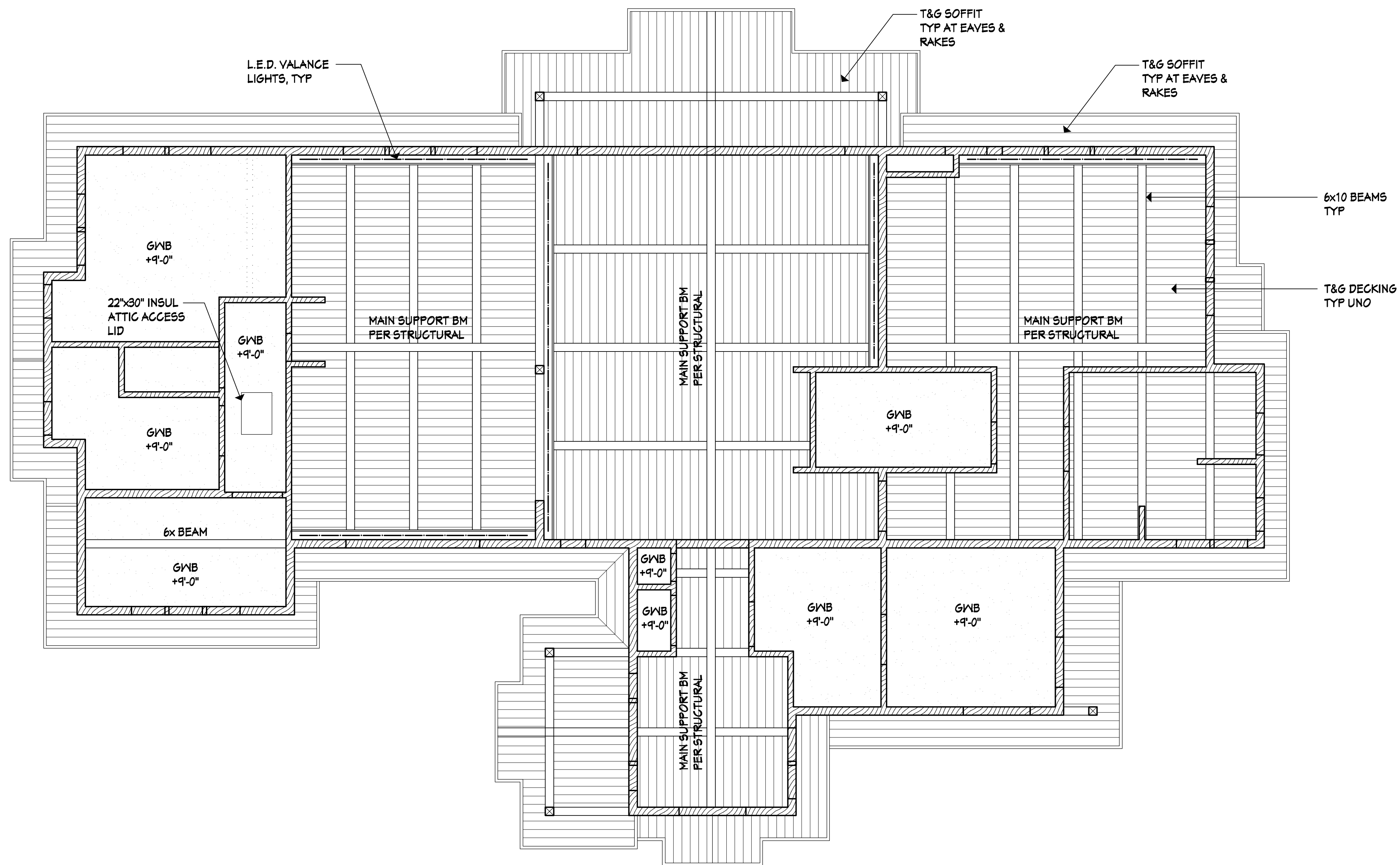
DeVita Residence
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LOWER REFLECTED CEILING PLAN

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date: 6/5/2020
 SHEET:

a4.0



Main Reflected Ceiling Plan 

1/4" = 1'-0"

Revisions: _____ Date: _____
 Project Number: _____
 File Name: _____
 Architect: _____
 Staff: _____

2709 REGISTERED ARCHITECT
 Kenneth D. Snodgrass
 STATE OF WASHINGTON

4123 REGISTERED ARCHITECT
 David J. Freeman
 STATE OF WASHINGTON

DeVita Residence
 Gig Harbor, Washington 98335

MAIN REFLECTED CEILING PLAN

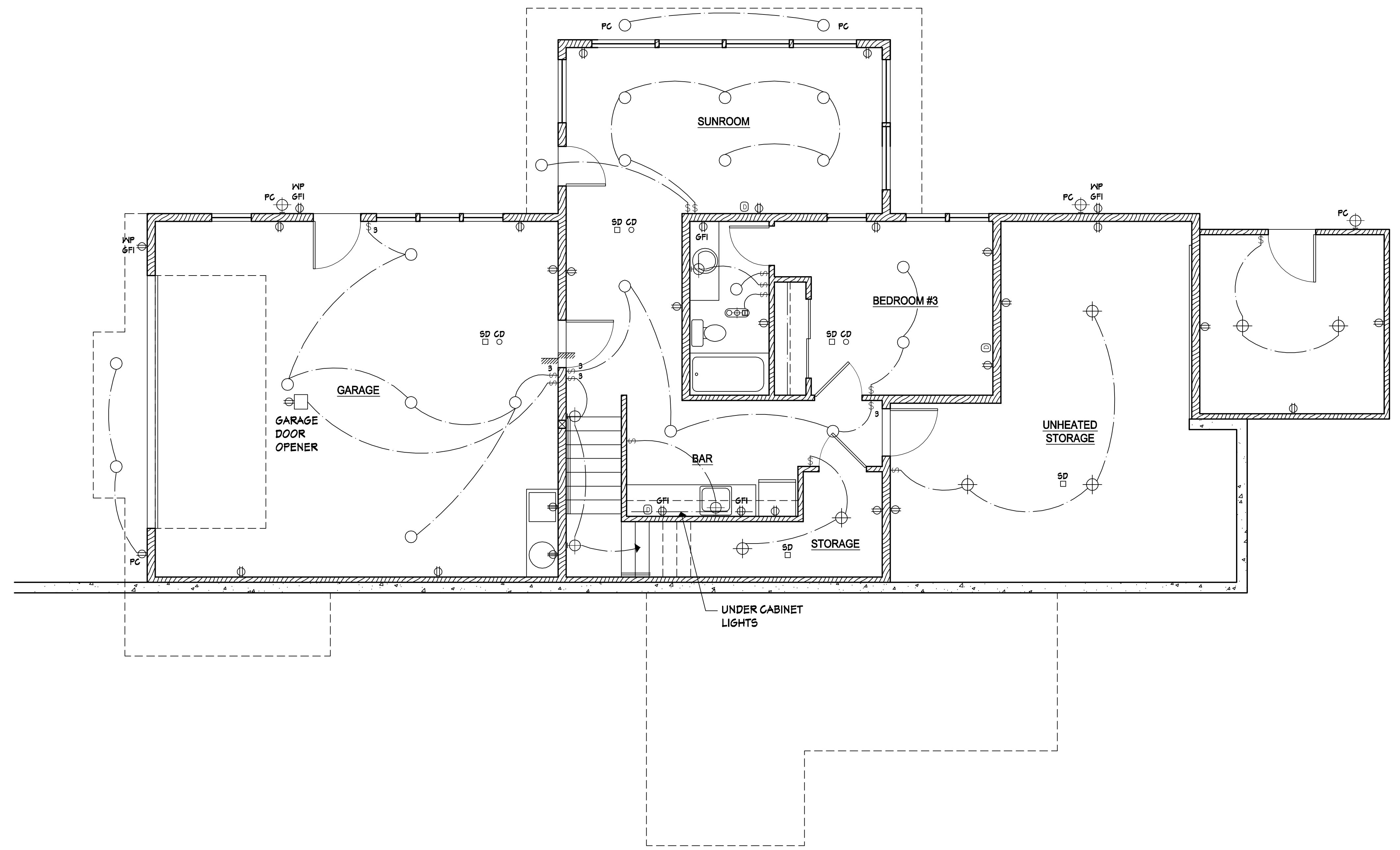
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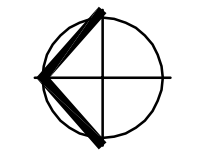
date: 6/5/2020
 SHEET:

a4.1

- LEGEND
- ⊙⊙⊙ FAN /LIGHT/ HEAT
 - ⊕ WALL MT.
 - ⊕ CEILING MT.
 - RECESSED CLG.
 - ⊗ SPOT LIGHT
 - ⊕ DUPLEX OUTLET
GFI WHERE REQ'D
 - ⊕ 220v OUTLET
 - ⊕ WEATHERPROOF OUTLET
 - ⊕ TV / COMM / DATA
 - SD SMOKE DETECTOR
 - CD CARBON MONOXIDE DETECTOR
 - ⊕ SWITCH
 - P PENDANT
 - PC PHOTO CELL



Lower Floor Power & Lighting Plan
1/4" = 1'-0"



LOWER FLOOR
POWER &
LIGHTING PLAN

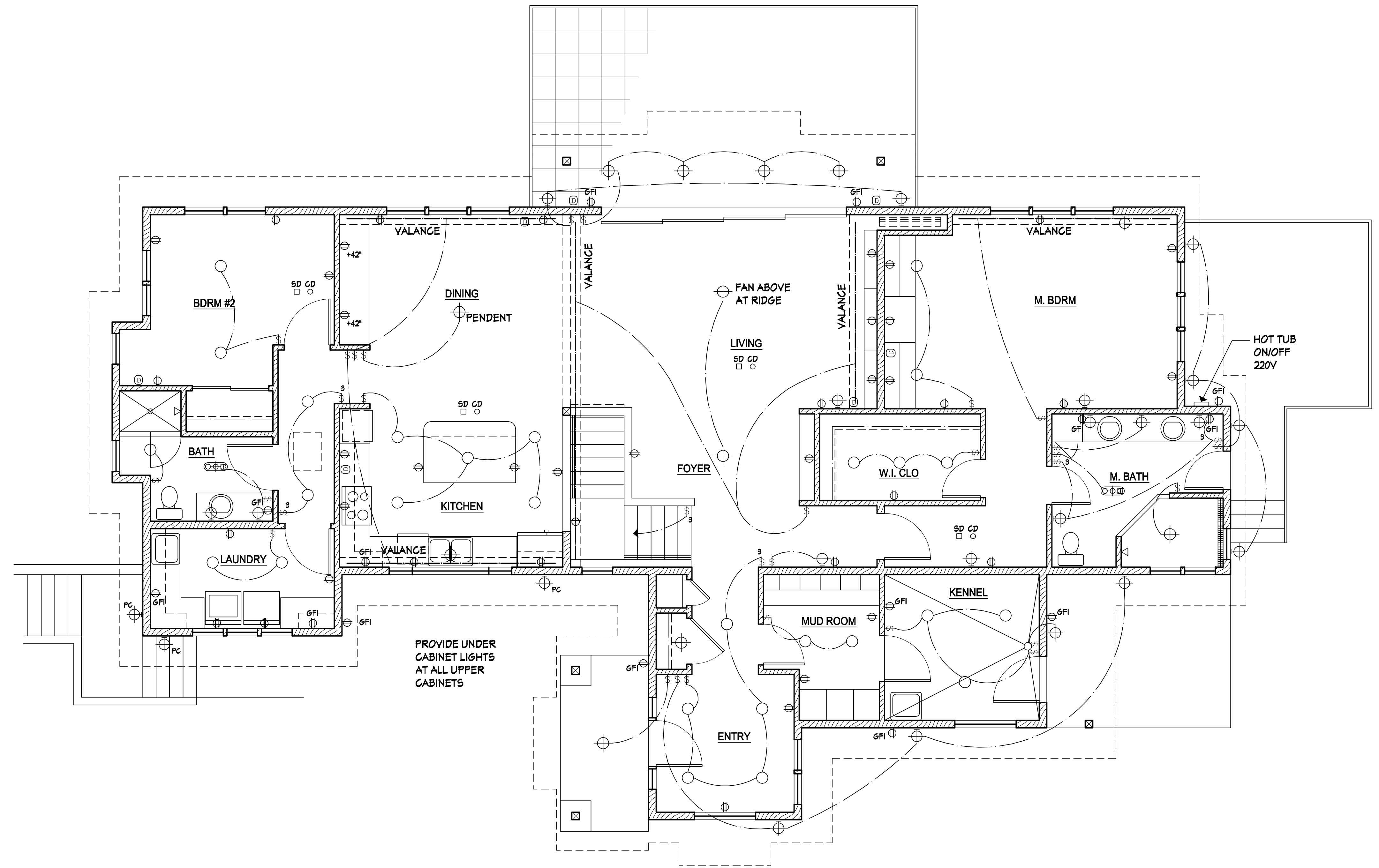


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date: 6/5/2020
SHEET:

a5.0

- LEGEND
- ⊕ FAN / LIGHT / HEAT
 - ⊗ WALL MT.
 - ⊙ CEILING MT.
 - RECESSED CLG.
 - ⊗ SPOT LIGHT
 - ⊕ DUPLEX OUTLET
GFI WHERE REQ'D
 - ⊕ 220V OUTLET
 - ⊕ WEATHERPROOF OUTLET
 - ⊕ TV / COMM / DATA
 - ⊕ SMOKE DETECTOR
 - ⊕ CARBON MONOXIDE DETECTOR
 - ⊕ SWITCH
 - P PENDANT
 - PC PHOTO CELL



Main Floor Power & Lighting Plan 
1/4" = 1'-0"

DeVita Residence
Gig Harbor, Washington 98335

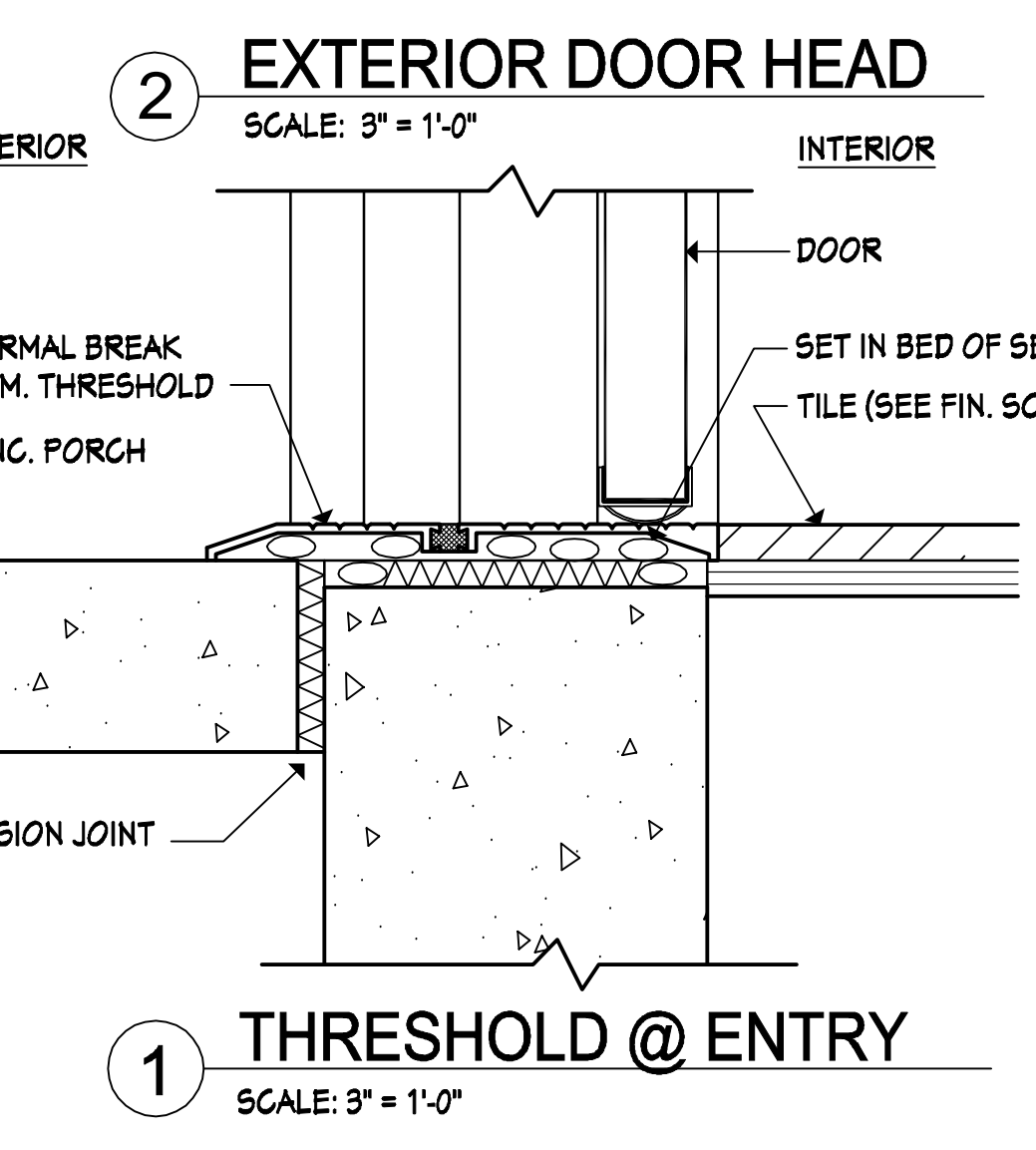
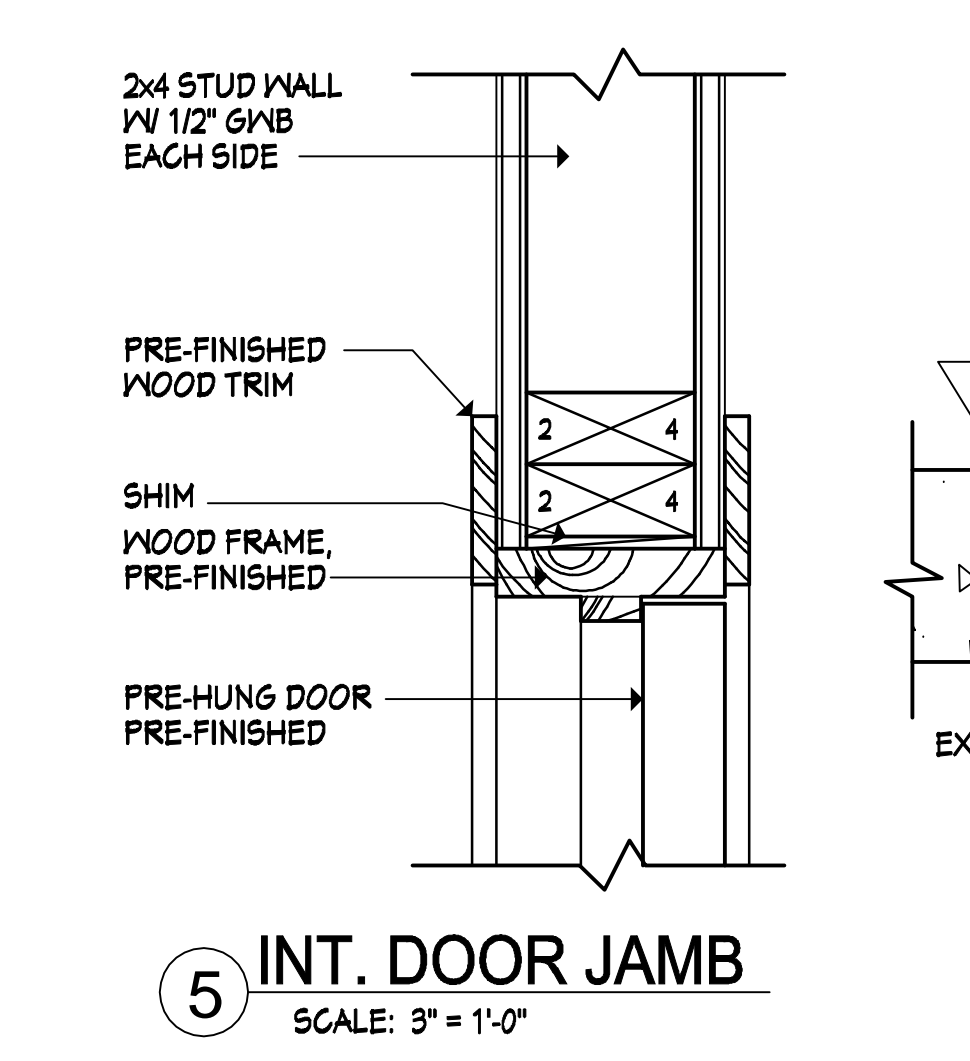
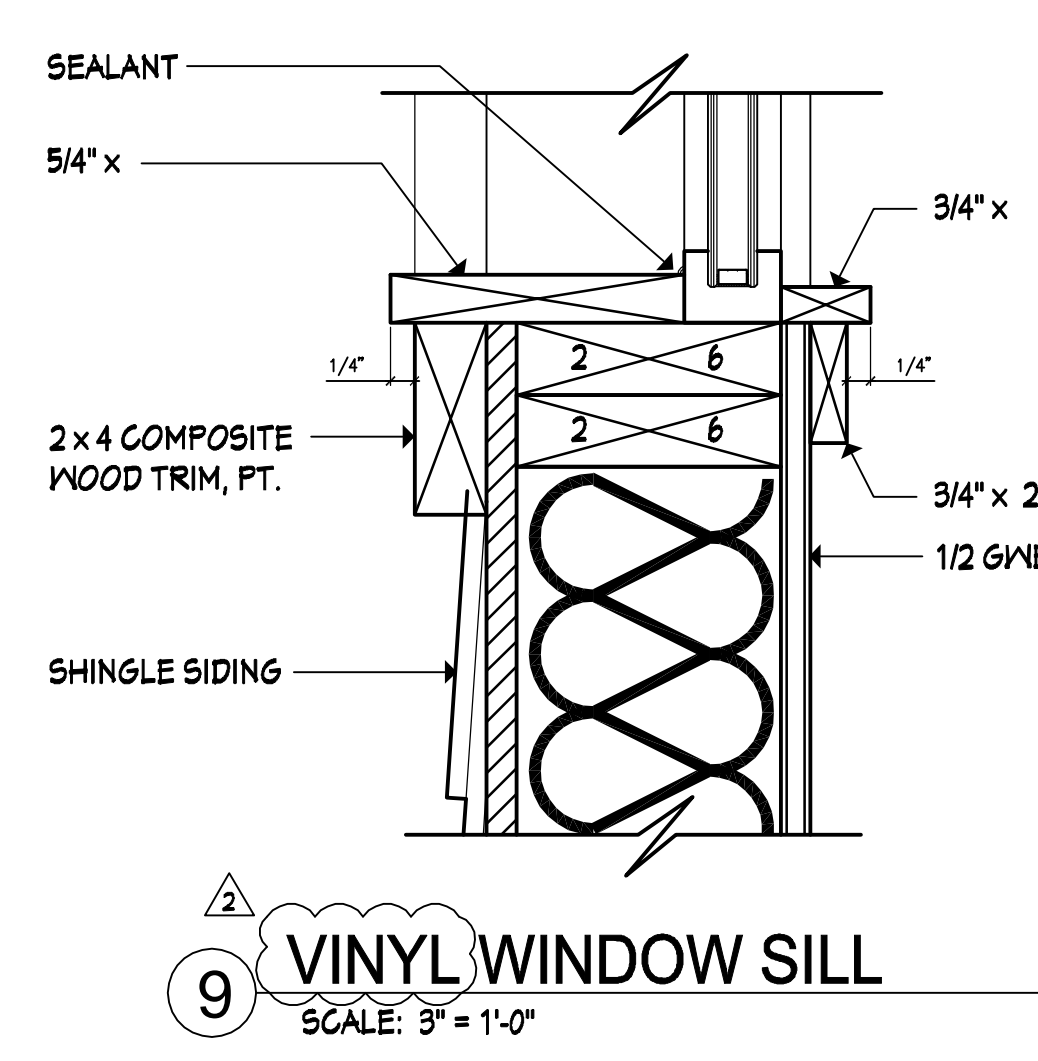
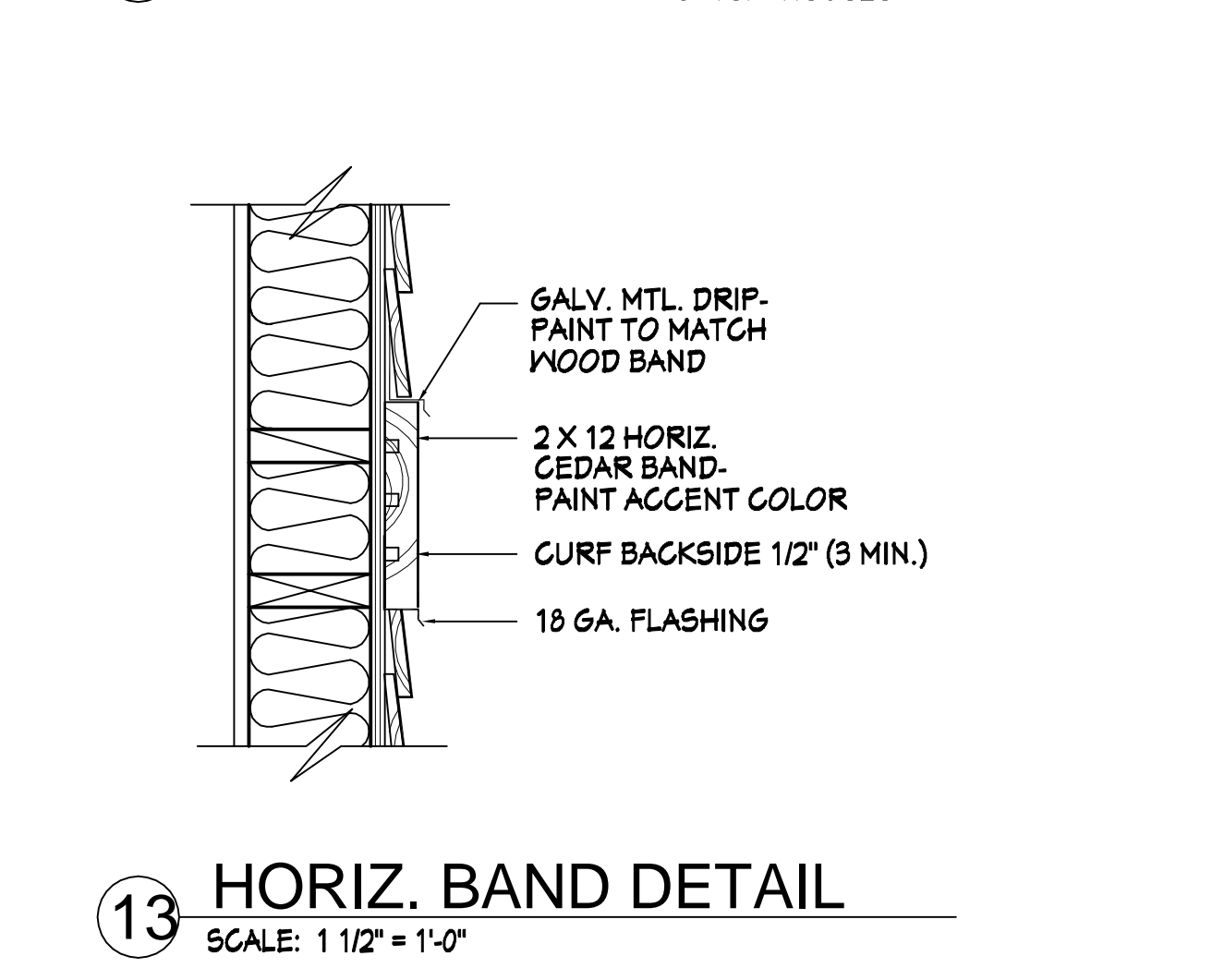
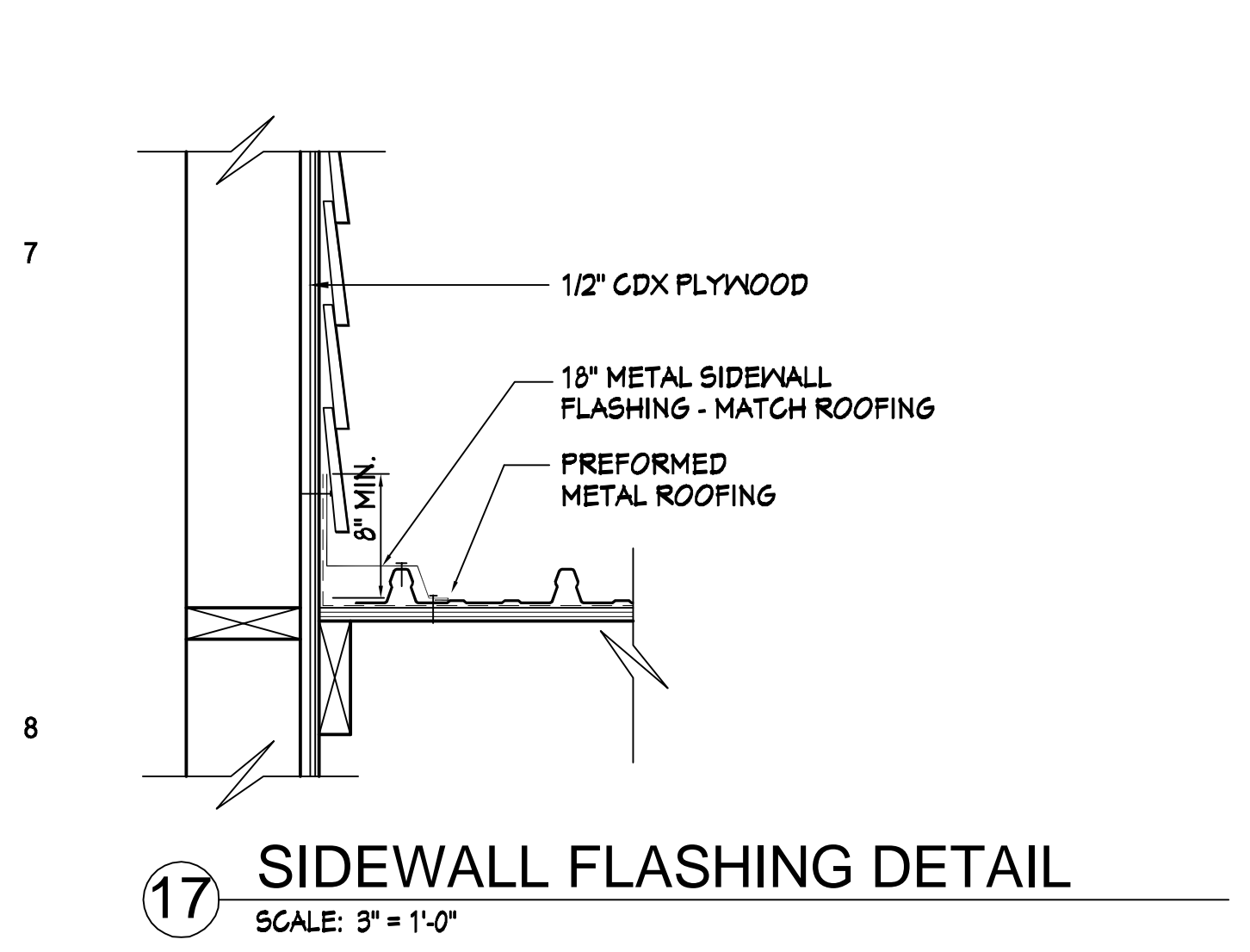
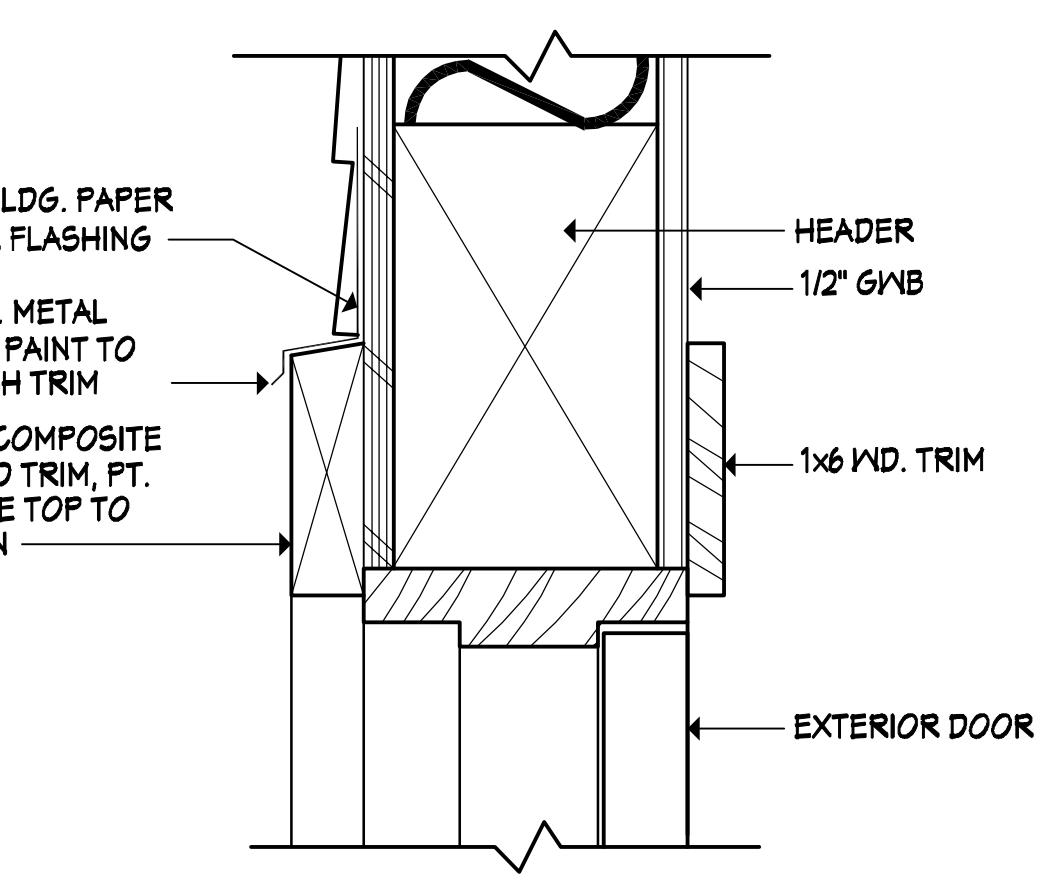
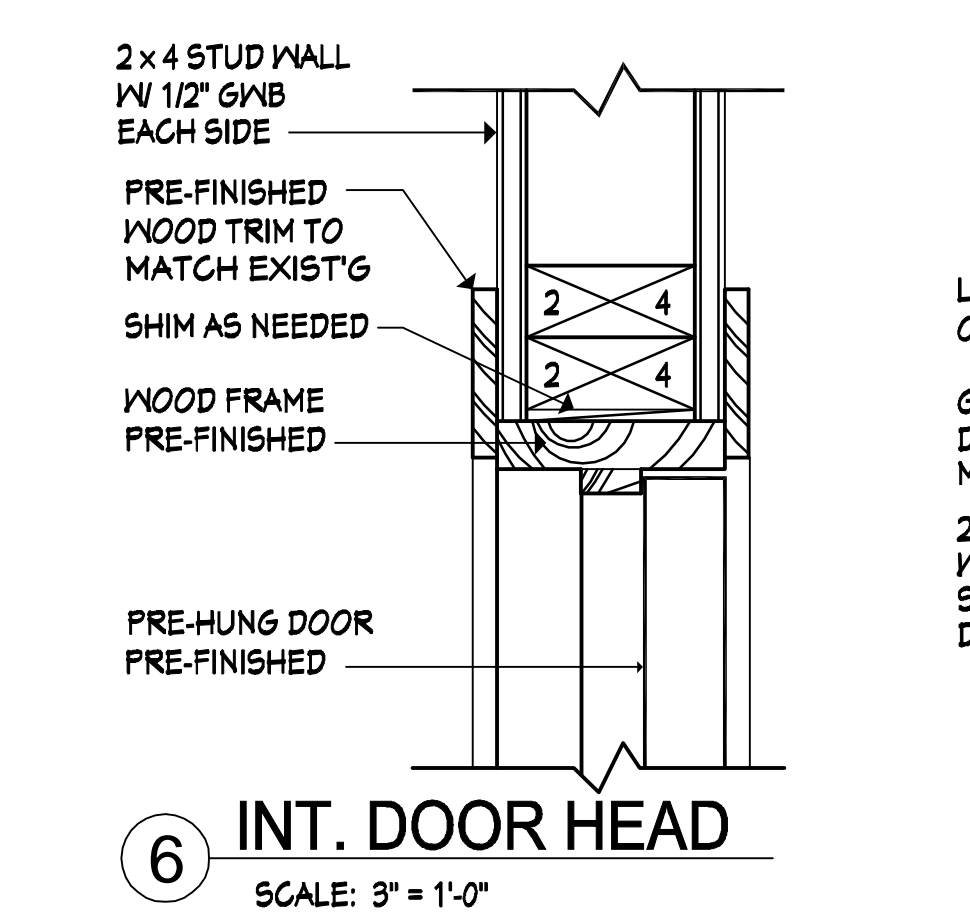
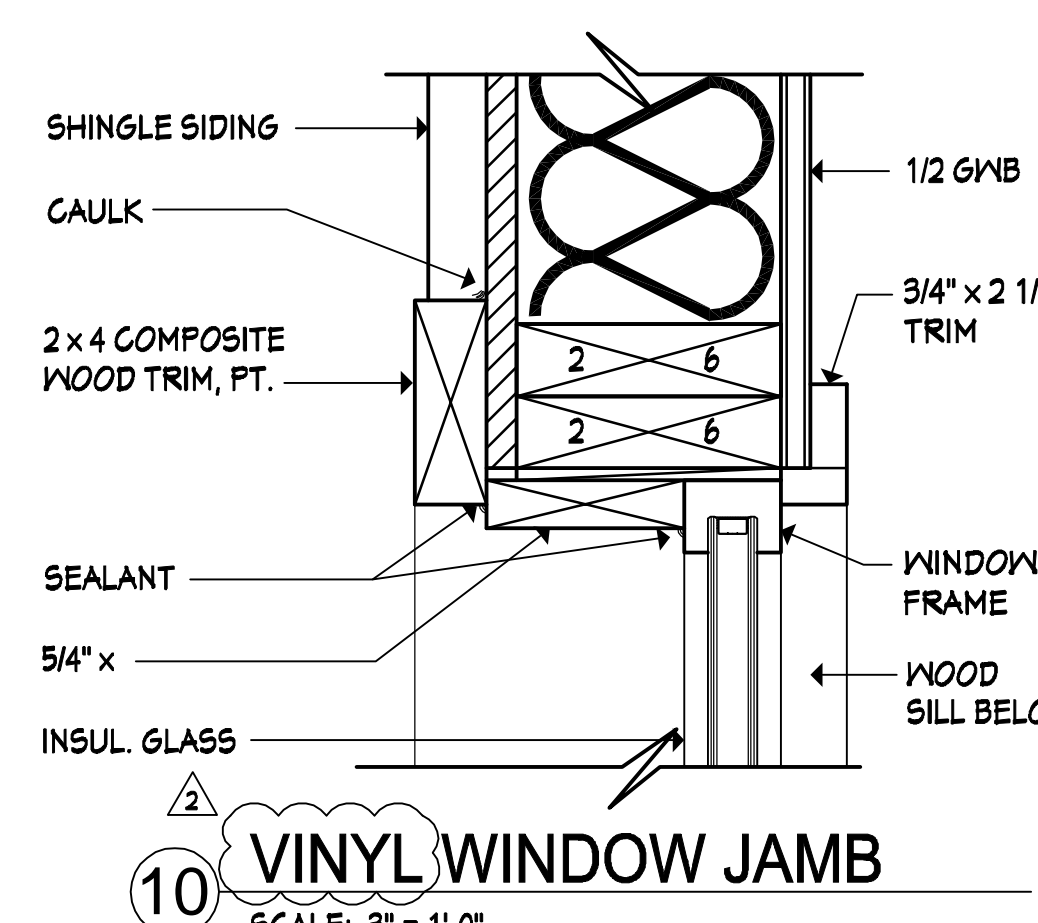
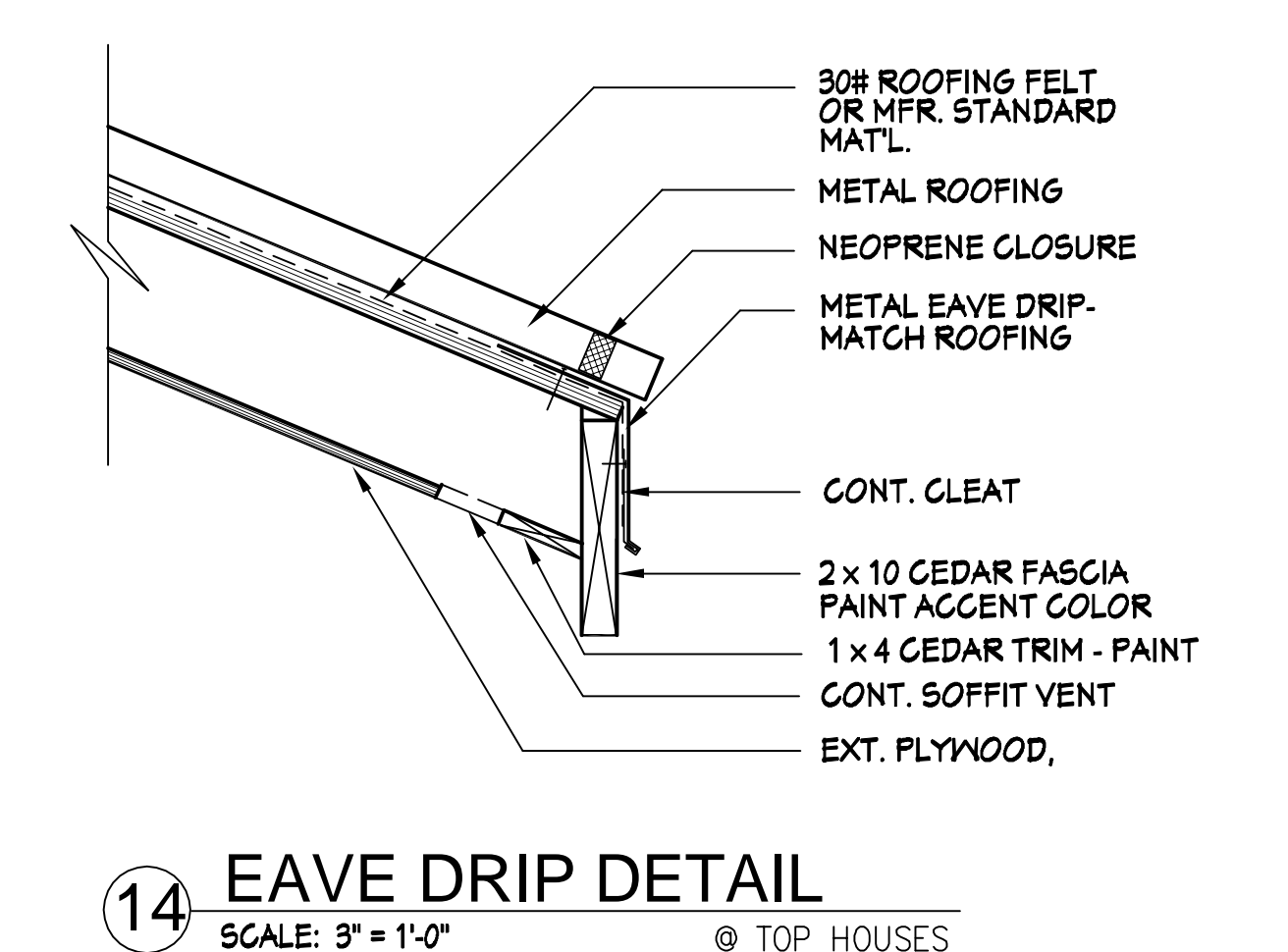
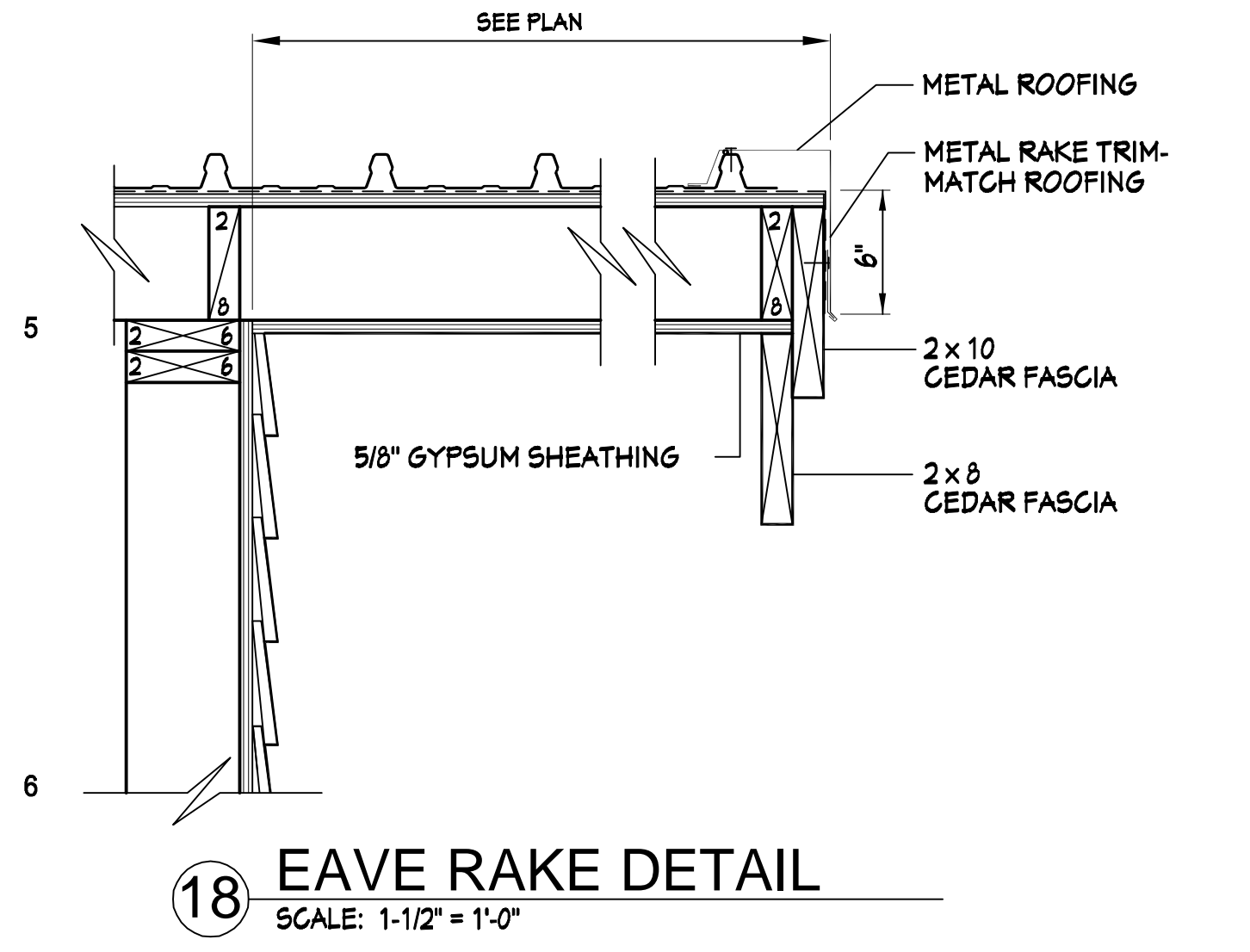
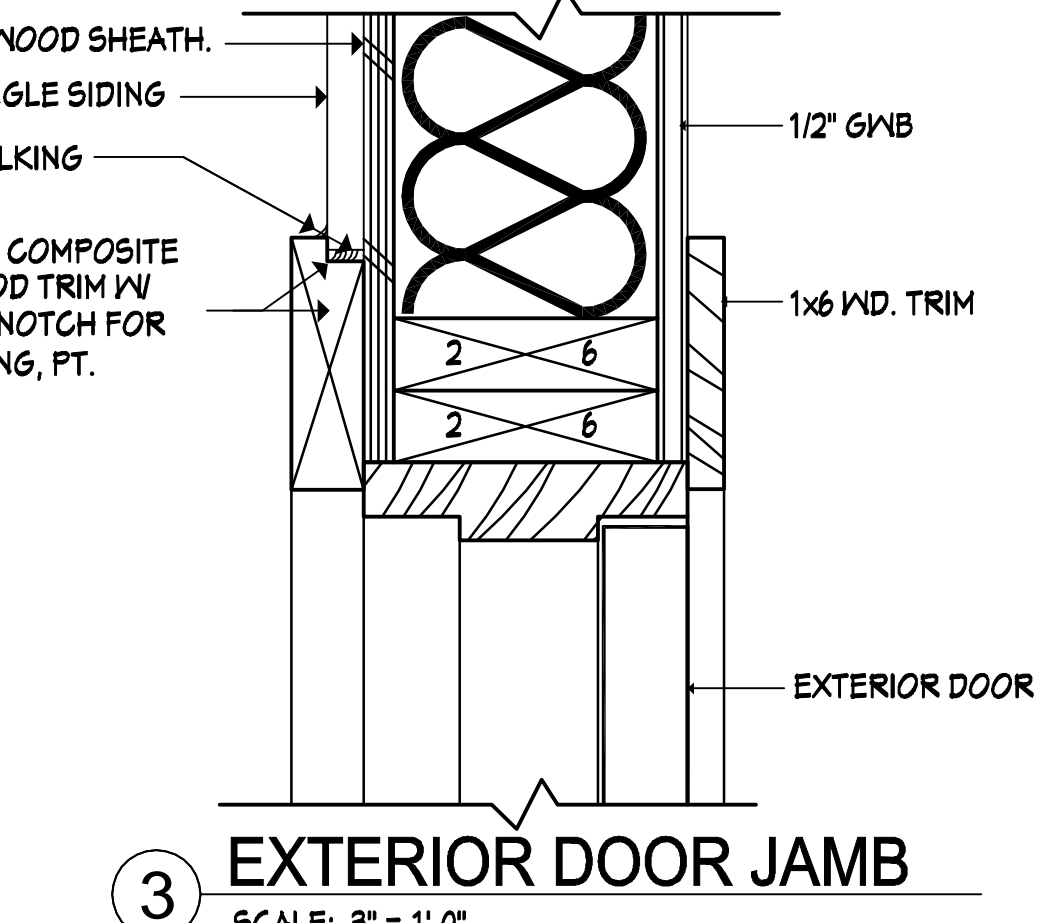
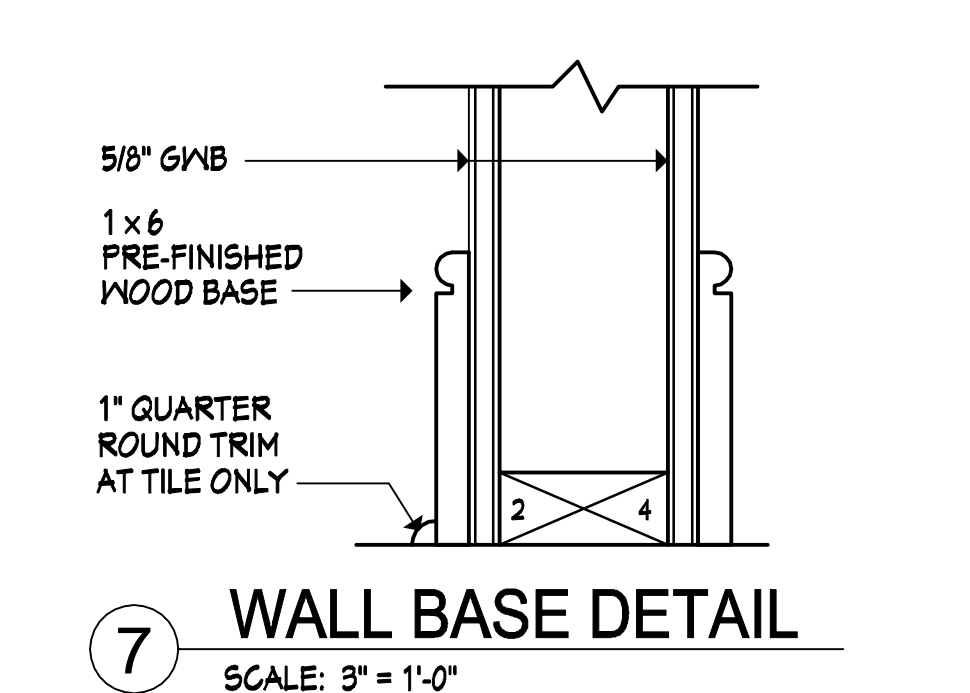
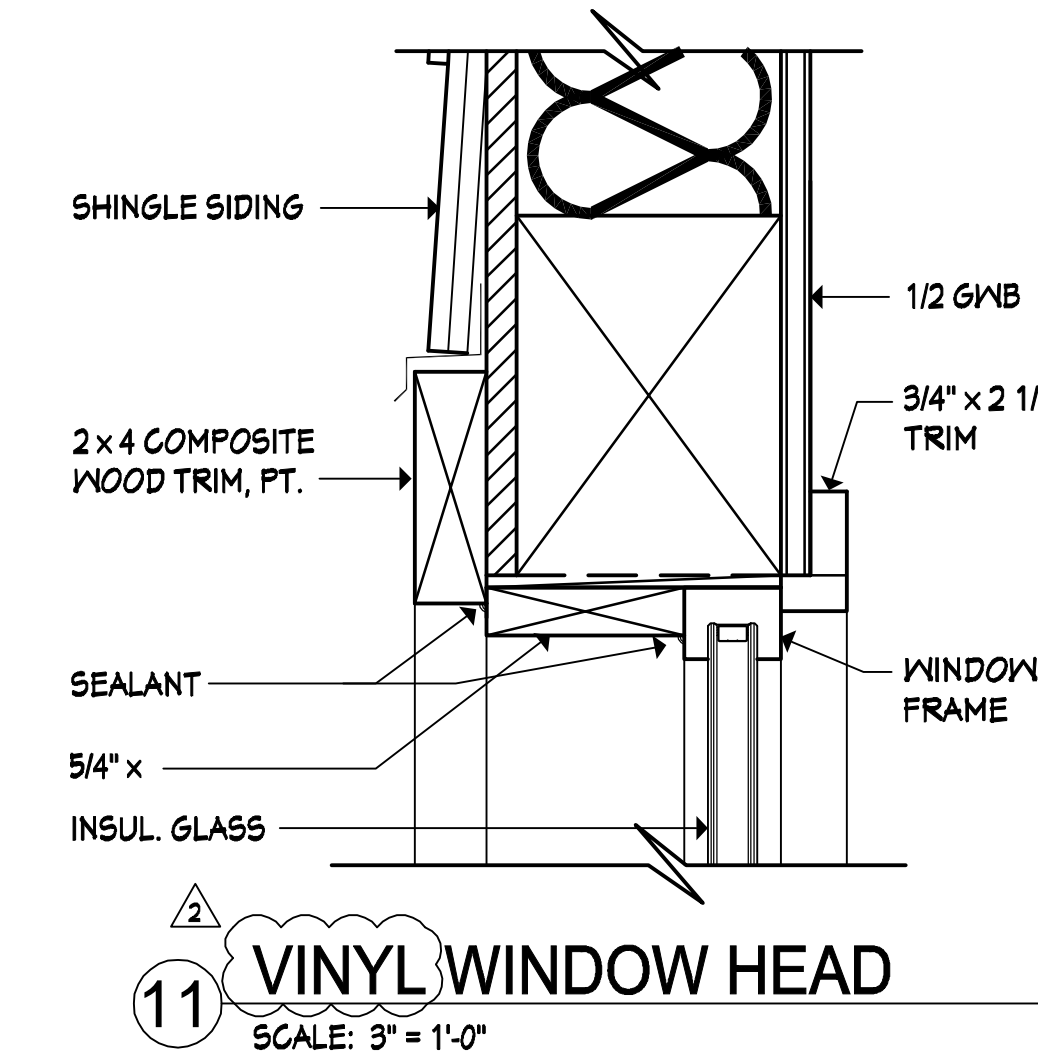
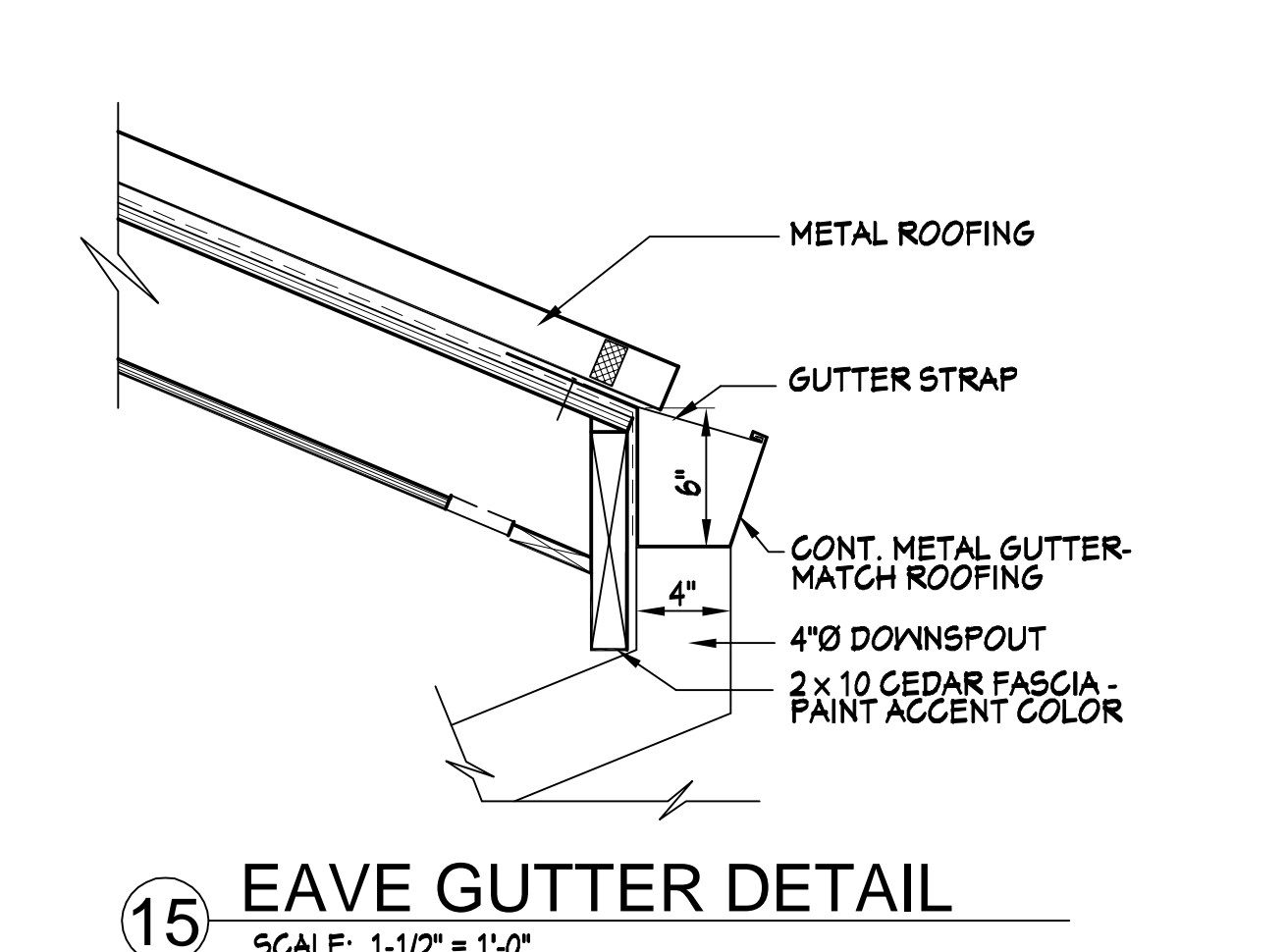
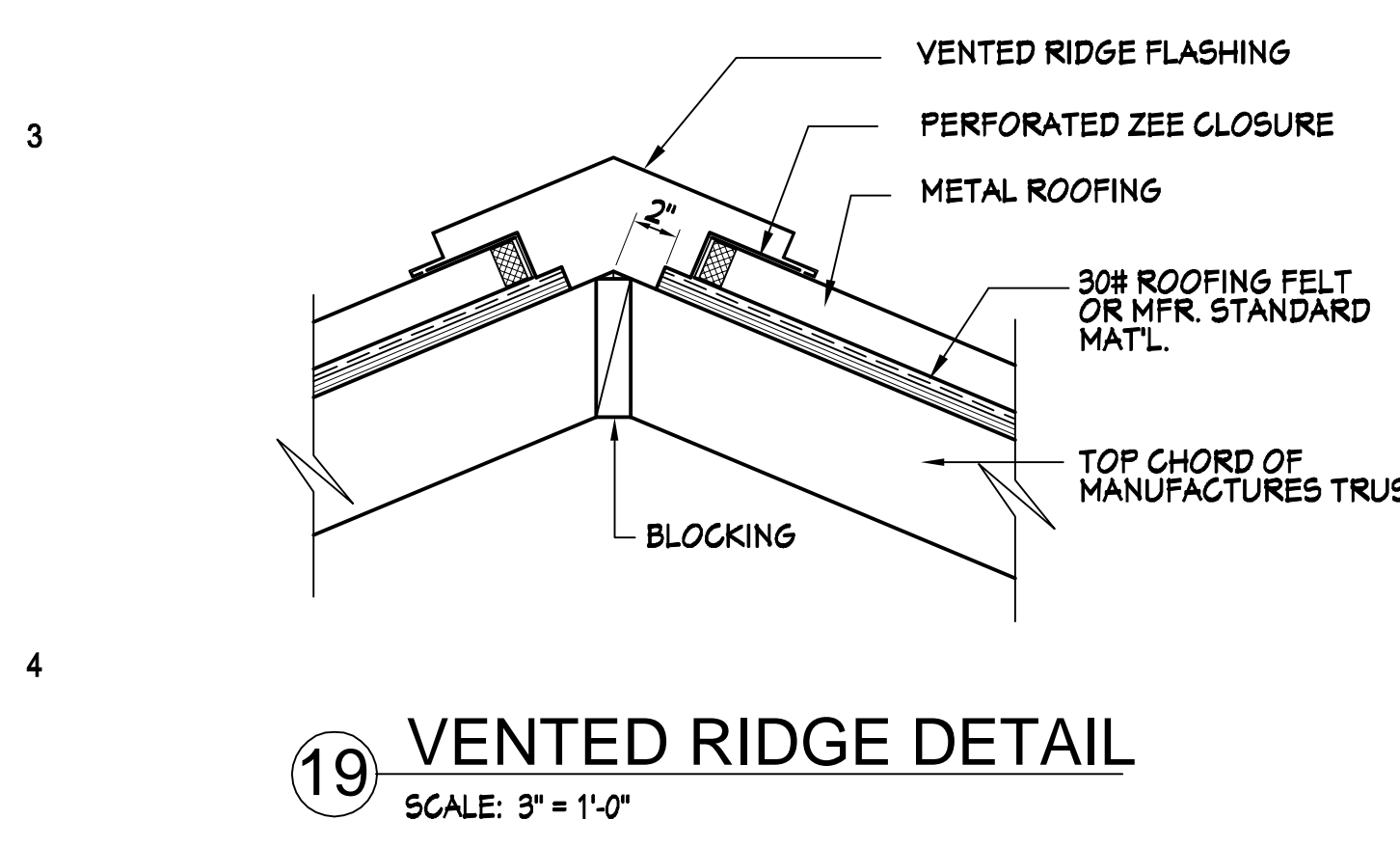
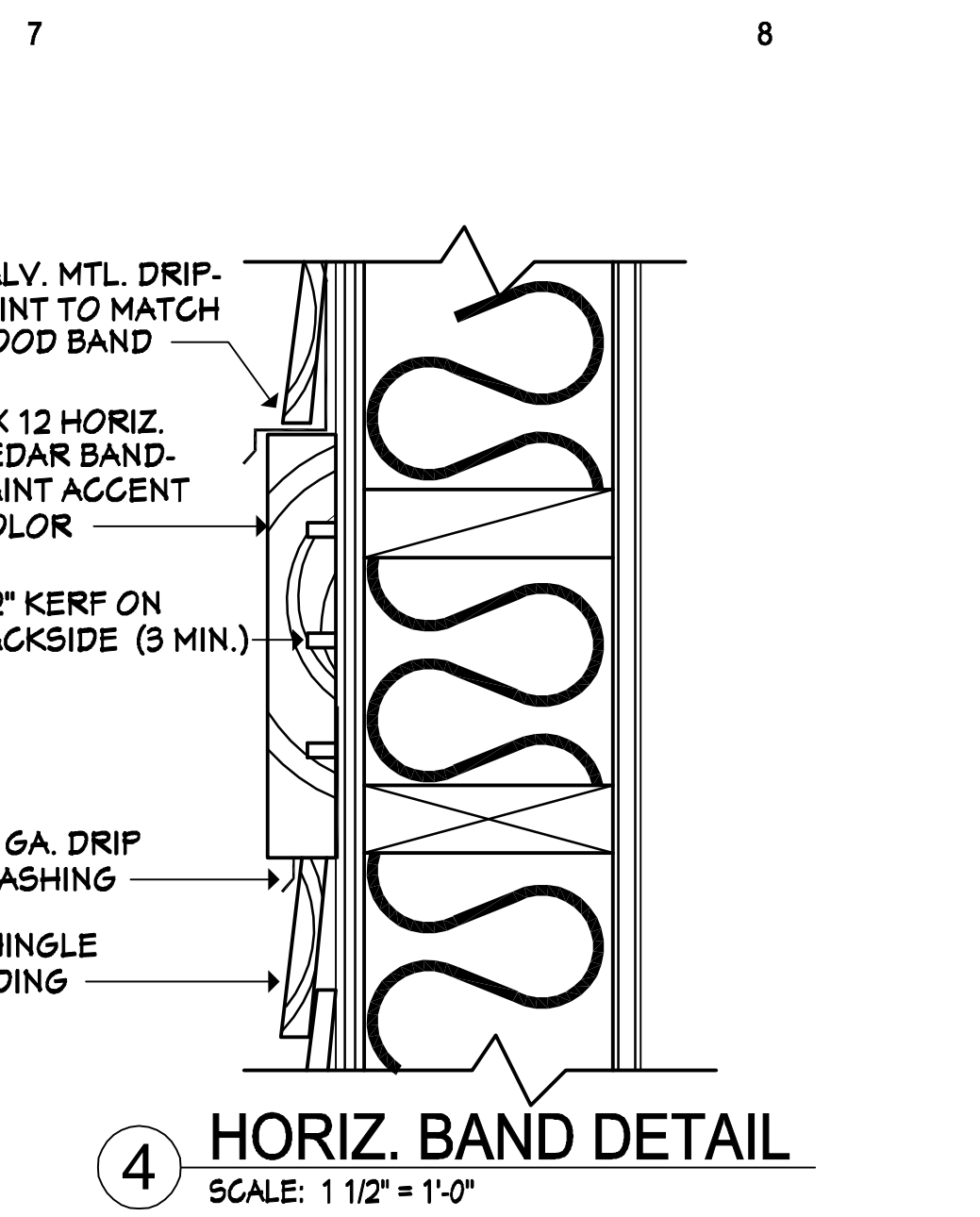
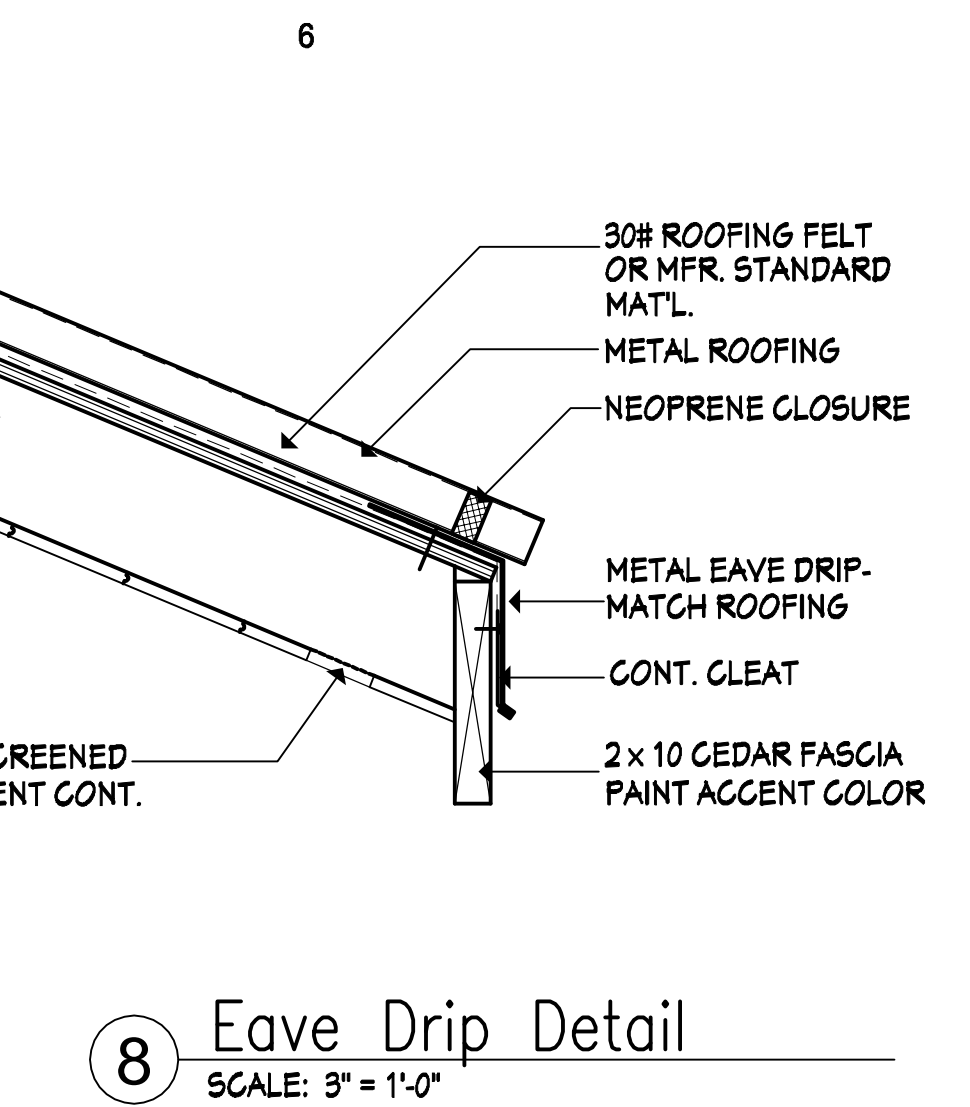
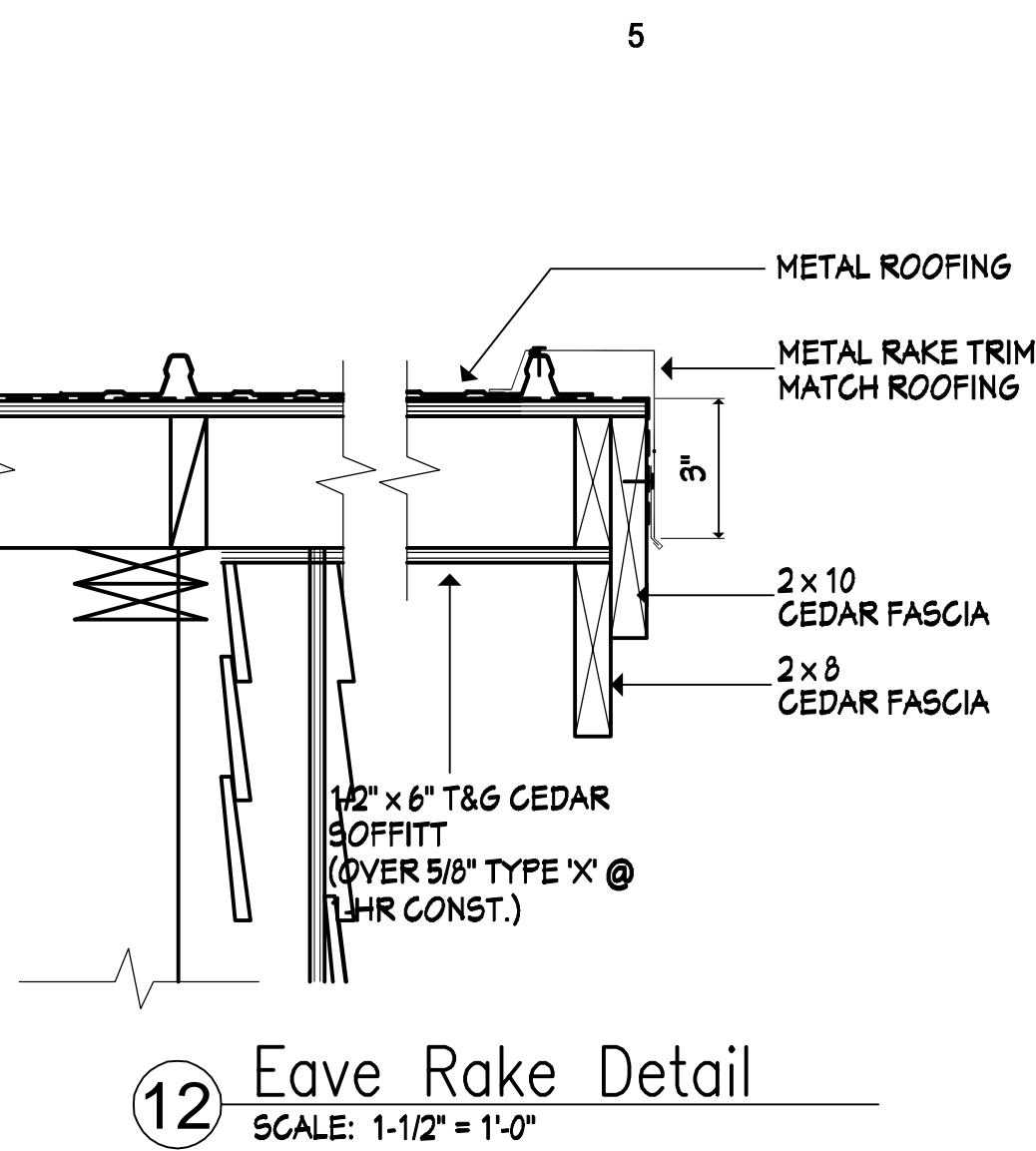
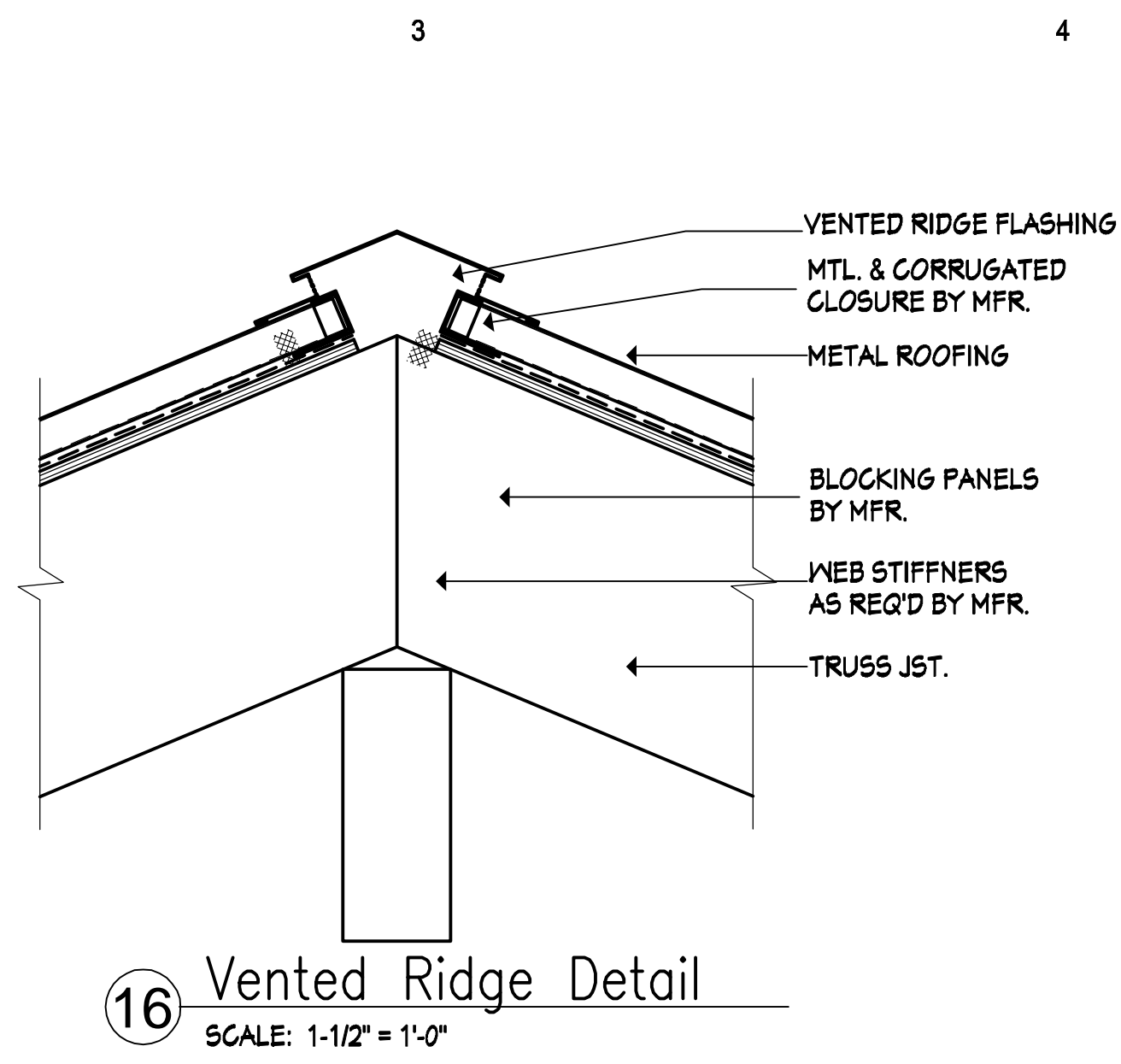
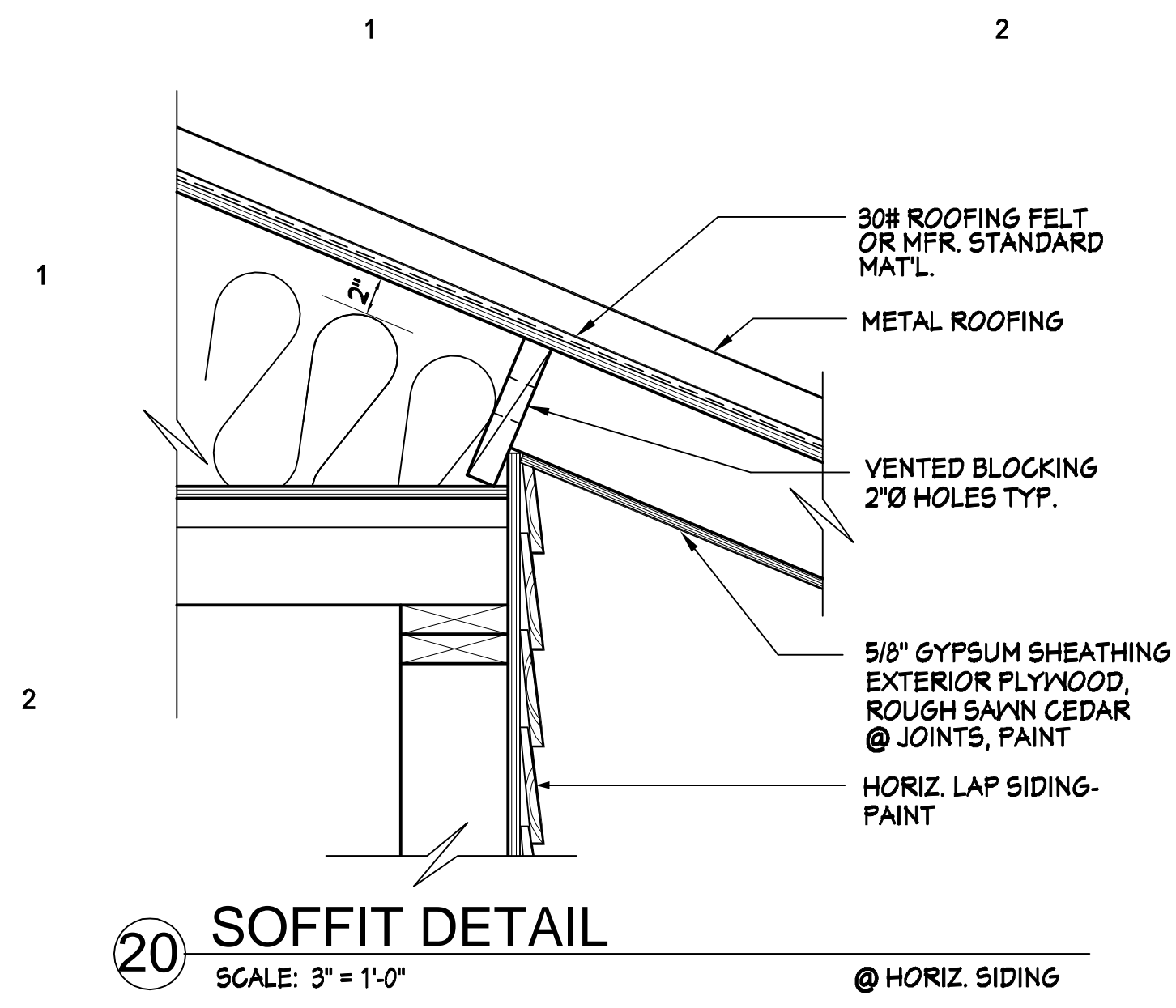
MAIN FLOOR
POWER &
LIGHTING PLAN



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date: 6/5/2020
SHEET:

a5.1

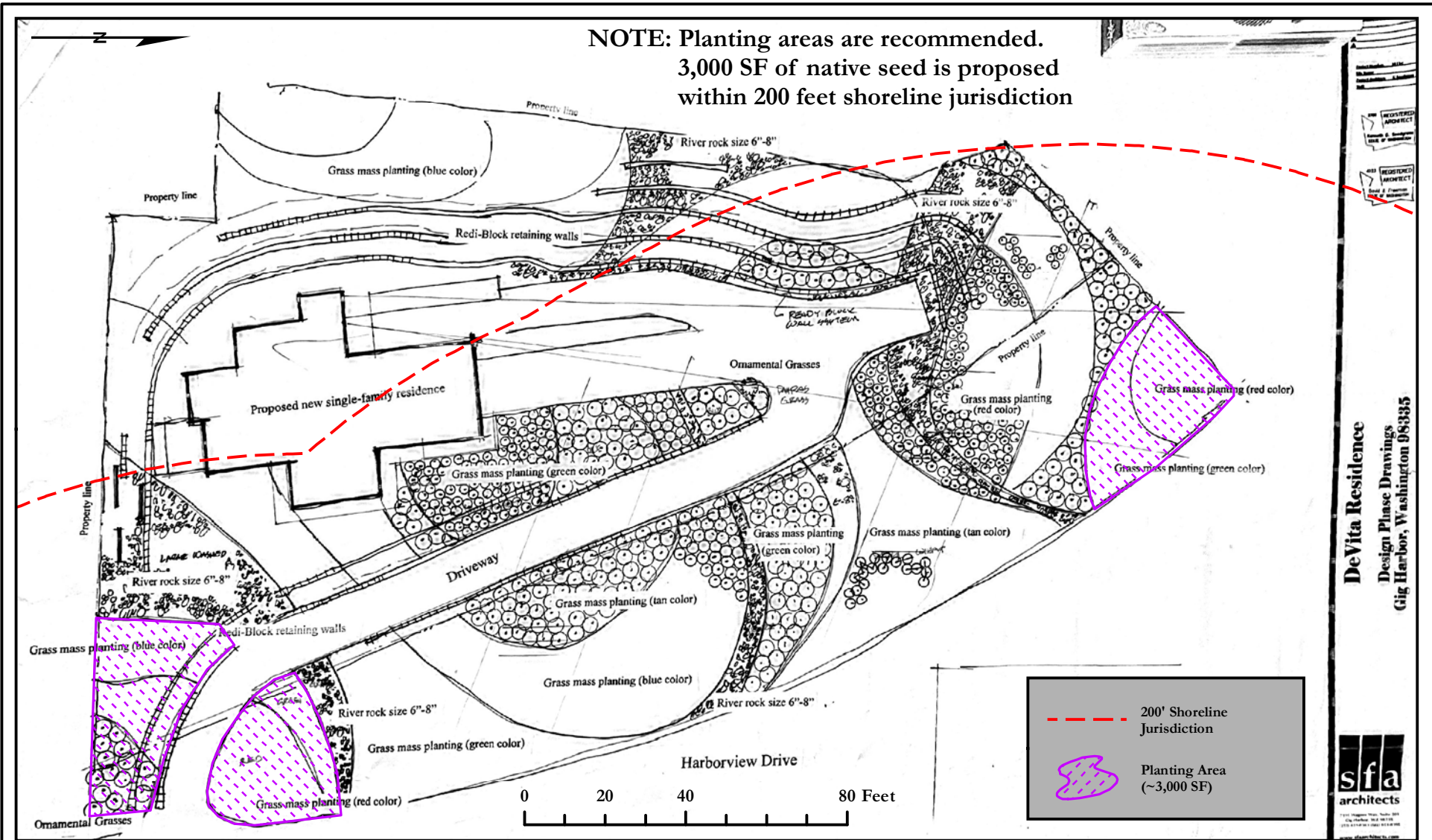


DeVita Residence
 Gig Harbor, Washington 98335

EXHIBIT C.

PLANTING PLAN

**NOTE: Planting areas are recommended.
3,000 SF of native seed is proposed
within 200 feet shoreline jurisdiction**



DeVita Residence
Design Phase Drawings
Gig Harbor, Washington 98335



Soundview Consultants LLC
Environmental Assessment • Planning • Land Use Solutions
2907 Harborview Dr., Suite D, Gig Harbor, WA 98335
Phone: (253) 514-8952 Fax: (253) 514-8954
www.soundviewconsultants.com

HARBORVIEW DRIVE
3820 HARBORVIEW DR GIG HARBOR, WA 98335
PIERCE COUNTY PARCEL NUMBERS:
236000010

| |
|-------------------|
| DATE: 10/19/2022 |
| JOB: 2097.0001 |
| BY: JML/DDS |
| SCALE: 1" = 35' |
| FIGURE NO. 2 of 3 |

EXHIBIT D



CITY OF GIG HARBOR
DESIGN REVIEW APPLICATION
SINGLE-FAMILY RESIDENCES

CITY USE ONLY

Case Number: _____
Date Received: _____
By: _____
Receipt# _____ By: _____

Applicant

DAVID FREEMAN
(name) 253
7195 WAGNER WAY 851-8383
(Street Address) (Phone)
GIG HARBOR, WA. 98335
(City and State) (Zip)

Property Owner:

JOCELYN DEVITA
(name) 253
10226 SENTINEL LOOP 318-9311
(Street Address) (Phone)
GIG HARBOR WA. 98335
(City and State) (Zip)

I(We) (Property Owner)

JOCELYN DEVITA
(Name)
Joseph White
(Signature) 7/26/19
(Date)

I do hereby affirm and certify, under penalty of perjury, that I am one (or more) of the owners or owner under contract of the herein described property and that the foregoing statements and answers are in all respects true and correct on my information and belief as to those matters, I believe it to be true.

Property Location:

Property Address: 3824 HARBOR VIEW

Section: _____ Township: _____ Range: _____

Assessor's Parcel Number:

2340000010

Full Legal Description (attach separate sheet if too long)

Acreeage or parcel size 22,400 SF

Size of Home:

New Construction: 4589

Existing: _____

Expansion: _____

Remodel: _____

Age of Structure: _____

Property's Zoning District: _____

Existing land characteristics: Describe (or illustrate separately) existing land characteristics, including present use, general site conditions

GENERAL QUESTIONS

The following questions are intended to facilitate the design review process and to assure that all relevant design criteria are addressed in each application. City of Gig Harbor planning staff is happy to help you with these questions.

1. Are there critical areas, wetlands, or steep slopes on or around the site? Yes No
Courtesy inspections available. Reports may be required.
2. Does the site of the proposed project front a designated Parkway? Yes No
If yes, additional design requirements must be met, see the City's Design Manual, GHMC Section 17.99.140
3. Is any portion of the subject site within a designated Enhancement Corridor? Yes No
If yes, additional design requirements must be met, see the City's Design Manual, GHMC Section 17.99.160
4. Is the project located on a Prominent Parcel? Yes No
If yes, additional design requirements must be met, see the City's Design Manual, GHMC Section 17.99.210
5. Is the project located in the Historic District? Yes No
If yes, additional design requirements must be met, see the City's Design Manual, GHMC Section 17.99.500
6. Is the project located in the Height Restriction Area? Yes No
If yes, additional design requirements must be met, see Chapter 17.62 GHMC and GHMC Section 17.99.370(D)

DESIGN REVIEW APPLICATION REQUIREMENTS

The following are the submittal requirements for design review of your proposed single-family residence. This is not a complete list of requirements for building permit submittal. For a complete list, please refer to the Single Family Submittal Checklist Client Assistance Memo or speak to Patty McGallian at (253) 851-6170. These are the minimum requirements for design review, depending on the answers to the questions above, more information may be needed.

- **2 sets of building plans showing exterior elevations, siding materials and trim details.**
- **3 site plans showing all site improvements, required setbacks, and existing and retained vegetation**
- **Details on all proposed fencing**
- **Details on all proposed outdoor lighting**
- **Impervious surface calculations**
- **Height of house and garage** - Include elevation of the highest point within the buildable area of the lot (must be within 50 feet of the proposed building footprint). Also include the top of roof elevations for house and garage.



City of Gig Harbor
3510 Grandview Street
Gig Harbor, WA. 98335

October 20, 2022

Design review request-single family
DeVita Residence: App. No. BD 20-0096

Design Review cover letter

Site considerations & history;

The current property owner purchased this site with the knowledge that there had been earlier attempts to develop it for single family residences. In the most recent attempt, the developer attempted to locate two small single-family residences on the sloping site. A permit application was never submitted to the city.

The new owner proposes to build one single family residence for her own use on this steeply sloping site. The site has a slope of approximately 30% top to bottom over a 90-foot-deep site. The site is accessed via an existing driveway cut on the south east corner of the property.

The best possible site design approach:

The site has significant setback limitations as the entire frontage has a city ROW extending up-hill into the site an average of 45 feet. This site area when combined with the required front 25-foot 30-foot rear and sides at 10 feet reduce the available build-able area to a very limited area on the upper portion of the site, equal to 11,000 sf or 50% of the site's 22,400 sf site area.

The architect worked with the site to find the most suitable location, for a reasonably sized (1,200 sf footprint) single family residence. This resulted in finding only one possible location. Once the EVA access driveway was added, the buildable area was pushed further up-hill. The civil and geo-tech engineers used a "best practices" approach to find the most favorable location on this site, this resulted in the location currently shown on the site plan submitted for review and approval for permit. The attached site plan shows the driveway and structure footprint of the house. The cuts and fills required for the residence made it necessary for the construction of the two-tiered pin piled retaining walls. These bank cuts are the minimum necessary according to the civil engineer and geologist. In the civil engineers and the geologist professional opinion there is not any viable alternative to this grading and site plan. The total earth removed is proposed at 4,500 cubic yards. Therefore this site plan as shown cannot possibly be developed with a balance of cut and fill.

Mitigation measures

The final building and site plan has a two-level configuration with the garage and lower floor 10 feet below the living, kitchen, dining and master bedroom. We also examined the effect of designing a single level floor plan and determined that a site designed in that configuration would result in a 2,400-sf building pad, requiring an additional 1,000 cubic yards of earth being removed from the site.

The architect, civil and the geo-tech have worked together to design a pin-pile commercial retaining wall system, to maintain compliance as much as possible with the design manual requirement for retaining walls of 6 feet or less and are stepped back 6 feet for each additional wall. This retaining wall design will result in a stepped 2-wall system, back-filled earth and covered with landscaping. Almost all of the retaining walls will be behind the residence and only 30% of which would be visible from Harborview Drive. The northerly 1/3 of the site will have a single tier of retaining wall infilled with lush landscaping.

On the downhill /slope side of the single-family residence the driveway cut will not have a low retaining wall. This cut will be largely blocked from view with landscaping.

Additional measure: Approximately 1/3 of the 4,500 cubic yard earthen cut or 2,000 cu yds from the basement and the retaining walls will be distributed over the 23,600 square foot site to a depth of 5 -7 inches. This method of distribution will partially accomplish the requirement for balancing the cut and fill requirement.

Conclusion:

It is our combined professional opinion that the design submitted for approval is the best possible site design available for this difficult site. The site plan as submitted cannot possibly meet the design manual requirements as listed in 17.99.240. C of the City Design Manual.

Recommendation:

We encourage the approval board to look at the larger picture here. Allow the construction of a beautiful new single-family residence or remain undeveloped with a acre or more of blackberry bushes on a very prominent corner site along Harbor View Drive. Otherwise, given the site topography, impact of the Harborview Drive right-of-way easement encroachment into the site, and limitations placed on development by the City design code, the lot is otherwise undevelopable from both a geotechnical and civil engineering standpoint.

17.99.520 Garage and front Entry -Historic District**B. Emphasize front entry.**

Front entry porches can be used to emphasize the front entry. When there is no front porch or when a front porch is not an obvious or prominent feature of the house design, then the front door must be oriented so that it directly faces the street.

***Response:** The house does not have a large front porch; the porch is located on the only side (west) available to the architect with respect to the grades on this site. The porch is immediately obvious once a visitor ascends half way up the driveway. The porch is important only to a visitor, not to passing cars on Harborview Drive. The front door and the porch is oriented so that it faces Harbor View Drive when viewed from the first 120 lineal feet of the north end of the parcel. (see attached graphic) Both the front door and the porch are only 25 feet above Harborview. A site plan is part of this response and shows to what degree the entry can be seen from Harborview Street*

This response points out the need for flexibility in the implementation of the Design Manual requirements.

