



AGENDA
City of Gig Harbor Design Review Board
Virtual Meeting of August 11, 2022 at 5:00 pm

Design Review Board and staff will be participating in this meeting remotely via Zoom. Members of the public are encouraged to view and comment during the meeting using the Zoom platform at <https://us06web.zoom.us/j/89568206345> or by calling (253) 215- 8782 and entering Meeting ID 895 6820 6345. Optionally, members of the public may view the live Zoom broadcast in-person at the Gig Harbor Civic Center during the meeting. Please see the Meeting Procedures at the end of this agenda for information on options to make public comment.

- I. Call to Order:**
- II. Roll call:**
- III. Approval of Minutes:**
- IV. Agenda Items for Formal Review**
 - a. Announcement of Application
 - b. Open Public Meeting Announcement
 - c. Appearance of Fairness Issues
 - d. Staff Report
 - e. Applicant Introduction and Presentation
 - f. Public Comment (See Assistance Memo)
 - g. Discussion and Voting
- 1. Resource Properties, LLC., 108 West Steward Street, Puyallup, WA 98371;**
THE RESERVE PRELIMINARY PLAT: (PL-PPLAT-22-0001, PL-DR-22-0005), (PL-ALP- 22-0001) and (PL-SEPA-22-0004) The applicant proposes to develop two contiguous and undeveloped parcels totaling 9.88 acres into 14 single-family residential lots. The development will take place predominantly within the western 5.27 acres of the site, closest to Peacock Hill Avenue. Development on the eastern portion of the site is limited by a Category III/IV wetland, a stream, associated buffers, and topography.

The proposal will create 14 lots and three tracts, two private tracts for access, utilities, stormwater, and recreation; and a third tract open space and critical areas tract to include the wetland and associated 150-foot buffer.

The applicant has requested Design Review Board (DRB) approval of the project for consistency with the requirements of the city's design manual (GHMC Chapter 17.99.240(C) – Maintain natural topography. The site is located at XXX Peacock Hill Ave, on the east side of Peacock Hill Ave. and across the street from 100th Street Ct. entrance to Avalon Woods Subdivision, parcel no. 0222323134 & 0222323135

V. Upcoming Meetings

VI. Adjourn

PUBLIC COMMENT & DECORUM

Commenters will be allotted 3 minutes per individual, unless revised by the Chair. In-person comments shall be made from the microphone, first giving the speaker's name and address. When there are 30 seconds remaining, staff will alert you to summarize your comments. At the end of your comments, staff will notify you it has come to the end of your comment period. Anyone making "out of order" comments may be subject to removal from the meeting.

Public comment may be made remotely via Zoom or by phone during designated portions of the meeting. To speak during the meeting, press the Raise Hand button near the bottom of your Zoom window or press *9 on your phone. Please refrain from raising your hand until the Chair has announced that the Design Review Board has opened the public comment portion of the meeting. Your name or the last three digits of your phone number will be called out when it is your turn to speak. When using your phone to call in, you may need to press *6 to unmute yourself. All speakers will have up to three minutes to speak.

All remarks shall be addressed to the Design Review Board as a body and not to any specific Member. All speakers shall be courteous in their language and deportment and shall not engage in or discuss or comment on personalities or indulge in derogatory remarks or insinuations with regard to any Design Review Board, the Chair, or any member of the staff or the public.

There will be no demonstrations during or at the conclusion of any public comment. These guidelines are intended to promote an orderly system of holding a public meeting, to give every person an opportunity to be heard and to ensure that no individuals are embarrassed by voicing their opinions.

AMERICANS WITH DISABILITIES (ADA) ACCOMMODATIONS ADA accommodations can be provided upon request. Those requiring special accommodations should contact the City Clerk at cityclerk@gigharborwa.gov or (253) 853-7613 at least 24 hours prior to the meeting.



"THE MARITIME CITY"

**PLANNING DEPARTMENT
STAFF REPORT**

TO: Design Review Board
FROM: Planning Staff
DATE: August 11, 2022

RE: The Reserve Preliminary Plat (PL-DR-22-0005, PL-PPLAT-22-0001, PL-ALP-22-0001, PL-SEPA-22-0004)

Public Meeting Date: August 11, 2022

I. GENERAL INFORMATION

A. Applicants: CPH Consultants, 11321 120th St, Suite B, Kirkland, WA 98034 & Resource Properties, LLC, 108 W Stewart Ave, Puyallup, WA 98371

B. Owner: Resource Properties, LLC, 108 W Stewart Ave, Puyallup, WA 98371

II. PROJECT DESCRIPTION

The applicant proposes to develop two contiguous and undeveloped parcels totaling 9.88 acres into 14 single-family residential lots. The development will take place predominantly within the western 5.27 acres of the site, closest to Peacock Hill Avenue. Development on the eastern portion of the site is limited by a Category III/IV wetland, a stream, associated buffers, and topography.

The proposal will create 14 lots and three tracts, two private tracts for access, utilities, stormwater, and recreation; and a third tract open space and critical areas tract to include the wetland and associated 150-foot buffer.

The applicant has requested Design Review Board (DRB) approval of the project for consistency with the requirements of the city's design manual (GHMC Chapter 17.99). It is not anticipated that the DRB needs to make motions and

findings for the individual aspects of the design which comply with the administrative standards. The DRB is requested to make findings relative to the project's overall compliance with one article of the design standards applicable to the project.

III. SITE DESCRIPTION

A. Location: The subject site is located on the east side of Peacock Hill Avenue, at the intersection of Peacock Hill Avenue and 100th Street Court.

Parcel numbers 0222323134 & 0222323135

B. Site Area/Acreage: 9.88 acres

C. Existing Site Characteristics:

1. **Topography:** The site slopes down (east) from Peacock Hill Avenue at a moderate grade and drops off steeply toward the edge of the wetlands.
2. **Vegetation:** The site is forested with native vegetation, including significant stands of coniferous and deciduous trees.
3. **Wetlands and Critical Areas:** There is a Category III/IV wetland that comprises nearly half of the eastern/southeastern site area.

D. Zoning:

1. **Subject parcels:** R-1
2. **Adjacent zoning and current use:**
 - a. **North:** Single Family (Pierce County), single-family residential
 - b. **East:** Rural Sensitive Resource (Pierce County), undeveloped
 - c. **South:** Single Family (Pierce County) & Urban Sensitive Resource Overlay, single-family residential
 - d. **West:** R-2, single-family residential

E. Road Access: Vehicular access will be provided from Peacock Hill Avenue by approximately 500 lineal feet of roadway (Road A) which terminates in a standard cul-de-sac. The applicant has applied for two public works variances to permit access to lots 1 through 4 with a private access and utility tract and to permit a reduction in the landing length of the intersection of Road A and

Peacock Hill Ave NW to reduce the amount of necessary earthwork.

IV. PERTINENT DESIGN REVIEW POLICIES

- A. Comprehensive Plan:** Chapter 4, Community Design Element (pages 4-1 through 4-19)
- B. Gig Harbor Municipal Code:** The Design Review process is outlined in Chapter 17.98 GHMC. Section 17.98.055 outlines the process for review of projects by the Design Review Board. This section states that after a public meeting, the DRB will make a recommendation to the Planning Director for approval or denial of the application and that the Director shall consider the recommendation and decide on the design review application.

The Design Review Board shall review an application which does not strictly conform to the specific requirements of the Design Manual under the following criteria: a) whether the alternative design represents an equivalent or superior design solution to what would otherwise be achieved by rigidly applying specific requirements; and b) whether the alternative design meets the intent of the general requirements of Chapter 17.99 Design Manual.

To best determine the general requirement's intent, the DRB shall consider the specific requirements as appropriate examples of compliance. General requirements include all bold and underlined text in the Design Manual. Specific standards include the more detailed text, which immediately follows general requirements.

V. BACKGROUND INFORMATION

The project site is in northeast Gig Harbor near the intersection of Peacock Hill Avenue and 100th Street Court. The site slopes steeply toward the east toward a Category III wetland in the east/southeastern portion of the site. Due to the on-site topography, the project is proposing a significant amount of import fill and terraced retaining walls. The applicant has also proposed an Alternative Landscape Plan (ALP) to review the proposed removal and replacement of 43 significant trees with 87 new trees. The landscape plans are included as Exhibit B however, the ALP is administrative and will be reviewed separately.

This project was previously submitted with a consolidated review for a preliminary plat (PL-PPLAT-16-0001), design review (PL-DR016-0079), boundary line adjustment (PL-BLA-16-0002), SEPA (PL-SEPA-16-0008), and an alternative landscape plan (PL-ALP-17-0003). The DRB

recommended approval to the hearing examiner, and the hearing examiner issued an approval, subject to 33 conditions, on November 6th, 2017.

The applicant filed a request for reconsideration on November 13th, 2017 and the hearing examiner issued a decision on reconsideration on December 26th, 2017. The reconsideration removed Condition 9, as it was duplicative of Condition 26, and revised Condition 28 to reflect the project's vesting under the City's Waste Water Comprehensive Plan in effect at the time of the decision.

The project is being reviewed again as the previous project approval expired before it could reach next steps for construction.

VI. REQUESTED DRB REVIEW AND STAFF ANALYSIS:

The applicant has requested DRB approval of the project for consistency with the requirements of the city's design manual (GHMC Chapter 17.99). The project complies with applicable design manual requirements, including Article II Neighborhood Context. No buildings are proposed at this time therefore Article IV Architecture does not apply. The proposed design requires DRB relief from strict compliance with design standards within Article III Site Design.

Natural Site Conditions GHMC 17.99.240.C – Maintain natural topography

The Design Manual indicates that buildings and parking lots shall be designed to fit natural slopes rather than re-grading the slope to fit a particular building or parking lot design. Cuts and fills on a site shall be balanced, and finished grades shall not include any retaining walls that exceed six feet. Instead, designs shall complement and take advantage of natural topography. Sloped lots may require multileveled buildings, terraced parking lots and/or lower level parking garages.

- 1. Applicant's request:** The applicant is requesting a deviation from the requirement to balance cut and fill across a project site. Relief from the strict requirement limiting retaining walls to six feet in height is also requested for two 6.1 to 15.1-foot walls along the north and east elevations of the storm drainage vault.
- 2. Staff analysis:** The intent of GHMC 17.99.240 is to ensure sites preserve the natural topography within the final development and avoid levelling sites. The site has challenging topography, and slopes east from Peacock Hill Avenue at an approximately 15% grade, but slopes on the western portion of the site vary up to 30%. The development is taking place in the western portion of the site, and much of the fill is required in the eastern portion of the development area.

Engineering requirements for the construction of a residential access road require the road be no steeper than 15%. Maintaining this 15% grade on this slope with minimal cut and fill prompted the applicant to submit for two public works variances, reducing the length of the road, as the eastern portion of the site is much steeper. The cul-de-sac and stormwater vault require a significant amount of fill as well as the use of retaining walls above the six foot height requirement.

The proposed grading scheme is outlined on sheet C1.00 of Exhibit A and utilizes 23,640 cubic yards of import fill and 5,341 cubic yards of cut to accomplish the development, a net 18,307 cubic yards of import fill. The project will also utilize a series of fifteen retaining walls as detailed on sheet C3.00 of Exhibit A. The retaining walls, except for those around the stormwater vault, are proposed to be terraced and vegetated to reduce their visual impact throughout the development and conform to the strict requirement of six foot height. The walls will be constructed from mechanically stabilized earth, with a geogrid in the lower section. The walls will be freestanding and not tied together.

The walls which exceed the six foot height requirement are around the stormwater vault in the northern portion of the development. The northeast wall of the vault begins at 6.1 feet in height and rises to 12.3 feet; the southeast wall of the vault begins at 12.3 feet in height and rises to 15.1 feet. The northeast wall faces a residential subdivision to the north but will be obscured by at least 50 feet of vegetated buffer (25 feet on both sides of the property line). The southeast wall faces the open space and critical area tract (Tract OS1) and will not be visible from within or outside the development.

Should the DRB agree with the analysis above, staff suggests the DRB make the following findings and recommendation:

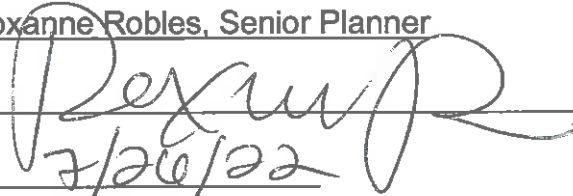
3. **Findings:** DRB finds the proposed design alternative for the Reserve meets the intent of the general requirement and is equivalent to the specific language because the proposed topography maintains the general grade of the site. The size and placement of the proposed walls, in addition to their design, will minimize their potential for visual impacts.
4. **Recommendation:** The Design Review Board recommends the Hearing Examiner approve the proposed grading plan including the importation of fill exceeding the cut amount leading to an imbalanced earthwork, as well as retaining walls exceeding six feet.

VII. PUBLIC NOTICE:

Design Review Meeting agendas are published on the City of Gig Harbor's webpage. Notice of the public meeting was published in the Tacoma News Tribune on August 4, 2022 and mailed to all property owners within 300 feet of the subject site and to parties of record on August 4, 2022. Notice was posted on site on August 4, 2022.

Project Planner: Roxanne Robles, Senior Planner

Date:


7/26/22

The following documents pertinent to your review are enclosed:

- Exhibit A: Design Review Narrative
- Exhibit B: Pages from Alternate Landscape Plan Narrative
- Exhibit C: Simplified Tree Retention Plan
- Exhibit D: Previous DRB Recommendation

May 9, 2022

Mr. Carl De Simas, Principal Planner
City of Gig Harbor
3510 Grandview Street
Gig Harbor, WA 98335

RE: *The Reserve Preliminary Plat — CPH Project No. 0228-21-001*
City File Nos. PL-PPLAT-22-0001
Design Review Narrative

Mr. De Simas,

This letter is provided to summarize the enclosed Design Review (DR) materials for *The Reserve* project to complete that application in accordance with City of Gig Harbor Municipal Code (CGHMC) 17.98040.

The Reserve site is comprised of two contiguous parcels (Pierce County tax parcel no. 022232-3134, - 3135) totaling approximately 9.88 acres. It has steep topography that descends from the western boundary at Peacock Hill Avenue toward a Category III wetland in the lower, eastern region of the site. The site is zoned low density residential, R-1 which allows generally for 4 lots per acre. The project proposal include subdividing the western 4.09 acres of the parcels into 14-single-family homes and two private tracts for access, utilities, stormwater and recreation. A third private tract will be created over the remaining 5.7 acres of the east side of the project and designed as an open space/ critical areas tract. This critical area tract will contain the existing wetland and its 150-foot buffer, would remain in its naturally forested state and permanently protected as an open space and critical area tract with a restrictive covenant.

The proposed site plan has been designed to respond and be highly sensitive to the topography of the site. Land disturbing activities are limited to approximately 3.2 acres (32.3%) given the nearly 0.8 acres of native buffer and 5.8 acres of permanent, protected critical area and open space. The native vegetation within the perimeter buffer areas at the north, south, and west perimeter contain a total of 156 significant trees. Of these, the project arborist has designated 36 of the trees as non-viable, meaning that they are either dead or in poor and declining condition. The current plans propose to remove and replace a total of 43 existing trees which are expected to be impacted by the grading efforts or new roadway connection for the project. The majority of these 43 trees being designated as non-viable. The project proposes to remove all of the non-viable trees and the few viable trees and replace them with healthy trees within the vegetated buffer.

An *Alternate Landscape Plan* is proposed for this project and proposes to plant 87 new, 6-foot-high trees to replace the 43 existing trees removed within the required vegetative buffers at the exterior perimeter of the site (i.e., north, south, and west). This replacement ratio of 2.02:1 result in 44 additional trees within the exterior perimeter buffer for a total of 198 significant (existing and replanted) trees. The area of the required perimeter buffer area at the exterior of the site is just under 36,000 square feet in size. With that, the proposed *Alternate Landscape Plan* provides a tree density within the required perimeter landscape one tree per 182 square feet. See separate *Alternative Landscape Narrative* for additional details.

This proposal exceeds the required planting density for perimeter landscape areas specified in 17.78.060(B)(2)(d)

An additional 47 trees are proposed over the park area and at the rear yards of Lots 8 and 9, bringing the total additional native tree enhancement to 129 trees, or a total replacement ratio of 3:1 over the site—not including street trees other potential landscaping to be provided with the construction of homes.

Access to the site is proposed by means of a new private roadway intersection at the east side of Peacock Hill Avenue. This new road has been designed to the maximum allowable grade of 15 percent in order to minimize earthwork on the site while still providing a safe public roadway to City standards. While every practical effort has been made to minimize (or balance) earthwork and limit the use of retaining walls, there remains a notable amount of import fill material and some retaining walls necessary to accommodate the project and existing site topography. All walls proposed maintain a maximum individual wall height of 6 feet as required by the City's design guidelines. Terraced walls are also proposed in-part to achieve the standard, but also to provide modulation to reduce the aesthetic impact of a single-faced wall.

Landscaping at the perimeters of the site and within the planter area between terraced walls will aid in screening the potential visual impact of the walls and fill slopes at the interior of the site from the surrounding properties. There is one wall of the proposed storm drainage vault (east elevation) that will be exposed above grade for a height of approximately 12 feet. This exposed wall elevation does not face any existing residential neighborhoods or potential developable areas. It is exposed to the parcel that will remain undisturbed and protected from future clearing and development by a conservation easement. Additional sight-obscuring trees/plantings are also proposed between this vault wall and the edge of the adjacent open space parcel.

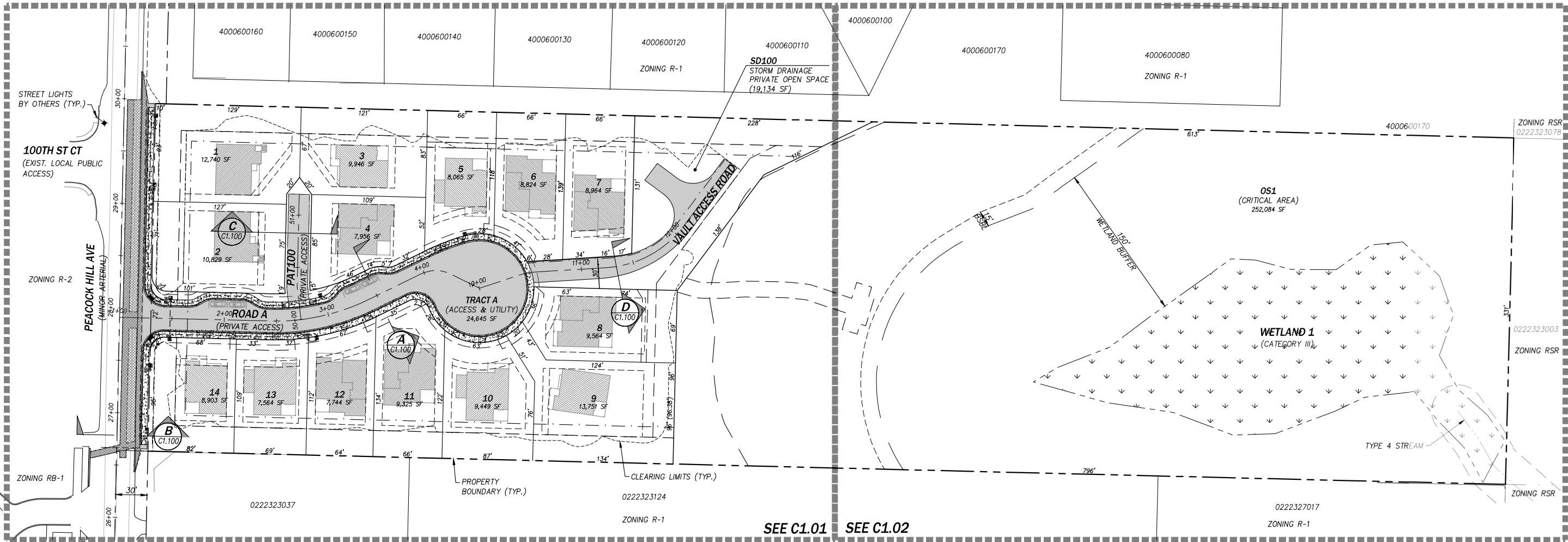
The following is a summary of the relevant plans and/or other supporting documents that are included with this Design Review narrative for The Reserve achieves comply with the specific application requirements of CGHMC 17.98.040:

- A. **Site Layout.** The enclosed Exhibit A1, A2, & A3 illustrates the proposed site layout for the project. This plan includes lot and right-of-way dimensional information and other relevant project data including open space, wetland, and buffer areas. Additional project details are provided on other enclosed exhibits such as the Preliminary Grading Plan (Exhibit E1), Preliminary Drainage Plan (Exhibit E2), Preliminary Utilities Plan (Exhibit F), and Preliminary Alternate Landscape Plan (Exhibit O).
- B. **Significant Tree Survey.** A significant tree survey and arborist's report was completed for the required vegetated perimeter buffer areas at the north, west, and south boundaries of the site primarily. There were a few additional significant trees identified in the survey in some areas The survey information is provided on the enclosed Exhibit B.
- C. **Tree Retention Survey.** Exhibit C contains the tree survey showing the species, size and location of all significant trees to be retained within the required vegetated perimeter. This retention information has also been incorporated into the Exhibit O, *Alternate Landscape Plan*.
- D. **Preliminary Site Section Drawings.** Exhibit D provides two sections through the length of the site to illustrate the proposed finished grade vs. existing grade. It also illustrates the efforts taken to minimize earthwork and optimize perimeter landscaping areas without the extensive use of retaining walls.
- E. **Preliminary Grading Plan.** A preliminary grading and storm drainage plans are included with this DR review package as Exhibit E1 and E2, respectively. Site cross sections are provided with Exhibit D. Typical roadway sections to illustrate the standard materials for the project are included in Exhibit G.
- F. **Preliminary Utilities Plan.** A preliminary utilities plan is included with this DR package as Exhibit F to illustrate the availability of water and sanitary sewer services for the site. It also shows the proposal

for a storm drainage outfall within an easement over the open space parcel immediately east of the site. That storm drainage outfall is proposed without impact to any sensitive areas or their associated buffers.

- G. **Paving Materials.** Exhibit G is included with this DR package to illustrate the typical roadway/pavement sections that are proposed for the project.
- H. **Elevation Drawings.** This project is for a new residential neighborhood consisting of 14 single-family residential lots on a dead-end public roadway. The home builder is not yet known, and therefore building-specific details are not available. All proposed single-family homes within the project are expected to conform with applicable City of Gig Harbor design guidelines, which will be reviewed and approved by the City at the time of each individual building permit. No specific elevation drawings are included with this DR package.
- I. **SIGN PLAN.** This project is for a new residential neighborhood consisting of 14 single-family residential lots on a dead-end public roadway. No signage is proposed on the buildings, other than possibly the house number for USPS deliveries. As such, no sign plan is included with the enclosed DR plan set.
- J. **EQUIPMENT SCREENING.** There are no mechanical screening requirements for single-family residential projects within the R-1 zone, and none are expected for this project. As such, no equipment screening information is included with this application.
- K. **COLOR AND MATERIAL PALETTE.** This project is for a new residential neighborhood consisting of 14 single-family residential lots on a dead-end public roadway. The home builder is not yet known, and therefore building-specific details are not available. All proposed single-family homes within the project are expected to conform with applicable City of Gig Harbor design guidelines, which will be reviewed and approved by the City at the time of each individual building permit. No specific color or material palettes are included with this DR package.
- L. **FENCING.** The fence types and locations are shown on Exhibit O, *Alternate Landscape Plan*. A detail and images of a representative solid wood fence proposed over most of the site and along the north and south perimeter to enhance the native vegetation screen is shown on Exhibit L.
- M. **LIGHT FIXTURES.** Street lights are proposed for the project's new public street. These luminaires have LED heads and 15-foot pole heights in accordance with City standard details 2-24 and 2-29, respectively. An illustration of the luminaire placement and example images are provided on the enclosed Exhibit L.
- N. **ACCESSORIES.** Exhibit L include typical details and images of representative walls, luminaires, and wooden fences of the types expected for this project. There is a private park in the very northeast corner of the site that may have other accessories. However, those details are not yet known, but would be provided for City review as part of the final landscape and engineering design process.
- O. **ALTERNATIVE DESIGN REVIEW.** The enclosed Exhibit O illustrates a concept for an Alternative Landscape Plan for the project. That separate permit application has been provided separately to the City for their consideration.

EXHIBIT A1 - OVERALL SITE PLAN



PROJECT INFORMATION

GENERAL
PARCEL NO: 0222323134 AND 0222323135
ADDRESS: 10017 PEACOCK HILL AVE
GIG HARBOR, WA 98332
ZONING: R-1
SITE AREA: 9.88 AC (430,216 SF)
PROPOSED USE: SINGLE-FAMILY, DETACHED
FLOOD HAZARD: NO

ZONING CRITERIA

MINIMUM LOT AREA: 7,500 SF
MINIMUM LOT WIDTH: 70 FT
MINIMUM FRONT YARD SETBACKS:
HOUSE: 20 FT
PORCH: 12 FT
GARAGE: 26 FT
MINIMUM REAR YARD SETBACK: 30 FT
MINIMUM SIDE YARD SETBACK: 8 FT
MAXIMUM HARD SURFACE LOT COVERAGE: 40%
MINIMUM STREET FRONTAGE: 20 FT
ALLOWED GROSS DENSITY: 4 DU/ACRE
MAXIMUM HEIGHT: 35 FT

DESCRIPTION: 14 SINGLE-FAMILY, DETACHED UNITS WITH ASSOCIATED ROADWAY, GRADING, DRAINAGE, AND UTILITIES

PROPOSED

AVERAGE LOT SIZE: 9,688 SF
NET DEVELOPED AREA: 4.09 AC
TOTAL AREA OF PROPOSED LOTS (1-14): 3.11 AC
TOTAL RIGHT-OF-WAY AREA: 0.43 AC
TOTAL PRIVATE ACCESS TRACT AREA: 0.11 AC
STORM DRAINAGE TRACT AREA: 0.44 AC
DISTURBED AREA: 3.48 AC
NET DENSITY: $=(LOT\ AREA+STORM\ TRACT\ AREA) \times 4$
 $=(3.11+0.44) \times 4 = 14.2 = 14\ LOTS$
IMPERVIOUS COVERAGE: 1.24 (54,014 SF) AC LOTS
0.60 (26,136 SF) AC PAVEMENT
1.84 (80,150 SF) AC TOTAL

EARTHWORK

CUT: 23,649 CU.YD.
FILL: 5,341 CU. YD.
NET: 18,307 CU. YD. (FILL)

UTILITY PURVEYORS

WATER: WASHINGTON WATER SERVICE COMPANY
SEWER: CITY OF GIG HARBOR
POWER: PUGET SOUND ENERGY
GAS: PUGET SOUND ENERGY
TELEPHONE: CENTURY LINK
TV CABLE: COMCAST
FIRE DISTRICT: PIERCE COUNTY FIRE DISTRICT NO. 5,
GIG HARBOR FIRE AND MEDIC ONE

PROJECT TEAM

APPLICANT
PROSPECT DEVELOPMENT
CONTACT: JUSTIN HOLLAND
2913 5TH AVENUE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (425)745-9176

GEOTECHNICAL ENGINEER
TERRA ASSOCIATES, INC.
CONTACT: TED SCHEPPER, PE
12220 113TH AVENUE NE, SUITE 130
KIRKLAND, WA 98034
PHONE: (425) 821-7777

WETLAND CONSULTANT
SOUNDVIEW CONSULTANTS
CONTACT: JON PICKETT
2907 HARBORVIEW DRIVE, SUITE D
GIG HARBOR, WA 98335
PHONE: (253) 514-8952

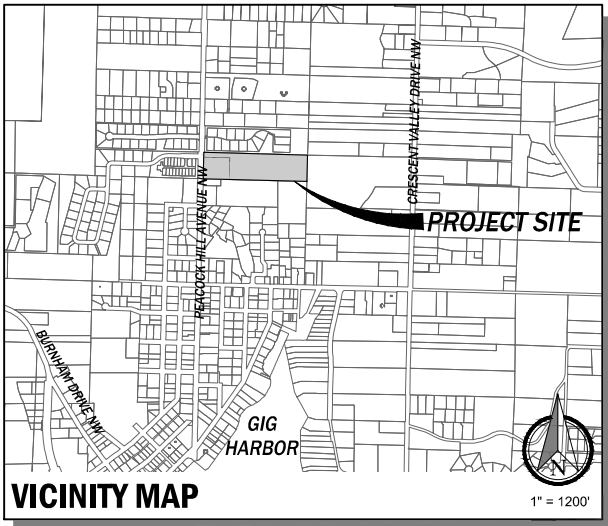
SURVEYOR
OTAK, INC.
CONTACT: BILL LAWRENCE, PLS
11241 WILLOWS ROAD NE, SUITE 200
REDMOND, WA 98052
PHONE: (425) 822-4446
FAX: (425) 827-9577

CIVIL ENGINEER/PLANNER
CPH CONSULTANTS
CONTACT: MATT HOUGH, PE
11321-B NE 120TH STREET
KIRKLAND, WA 98034
PHONE: (425) 285-2390

LANDSCAPE ARCHITECT
CPH CONSULTANTS
CONTACT: DAVE ANDREWS, RLA
11321-B NE 120TH STREET
KIRKLAND, WA 98034
PHONE: (425) 285-2390

ARBORIST
CREATIVE LANDSCAPE SOLUTIONS
CONTACT: SUSAN PRINCE
17518 NE 119TH WAY
REDMOND, WA 98052
PHONE: (425) 890-3808

TRAFFIC ENGINEER
JAKE TRAFFIC ENGINEERING, INC.
CONTACT: MARK J. JACOBS, PE, PTOE
2614 39TH AVENUE SW
SEATTLE, WA 98116
PHONE: (206) 762-1978



NO.	DATE	REVISION	BY	CHK.
1	5/6/22	PRELIMINARY SUBMITAL		



THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
HORIZONTAL CONTROL PLAN
CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

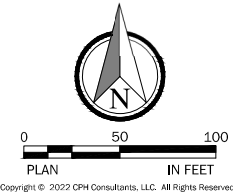
CLIENT
PROSPECT DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL: JUSTIN@PROSPECTDEVELOP.COM

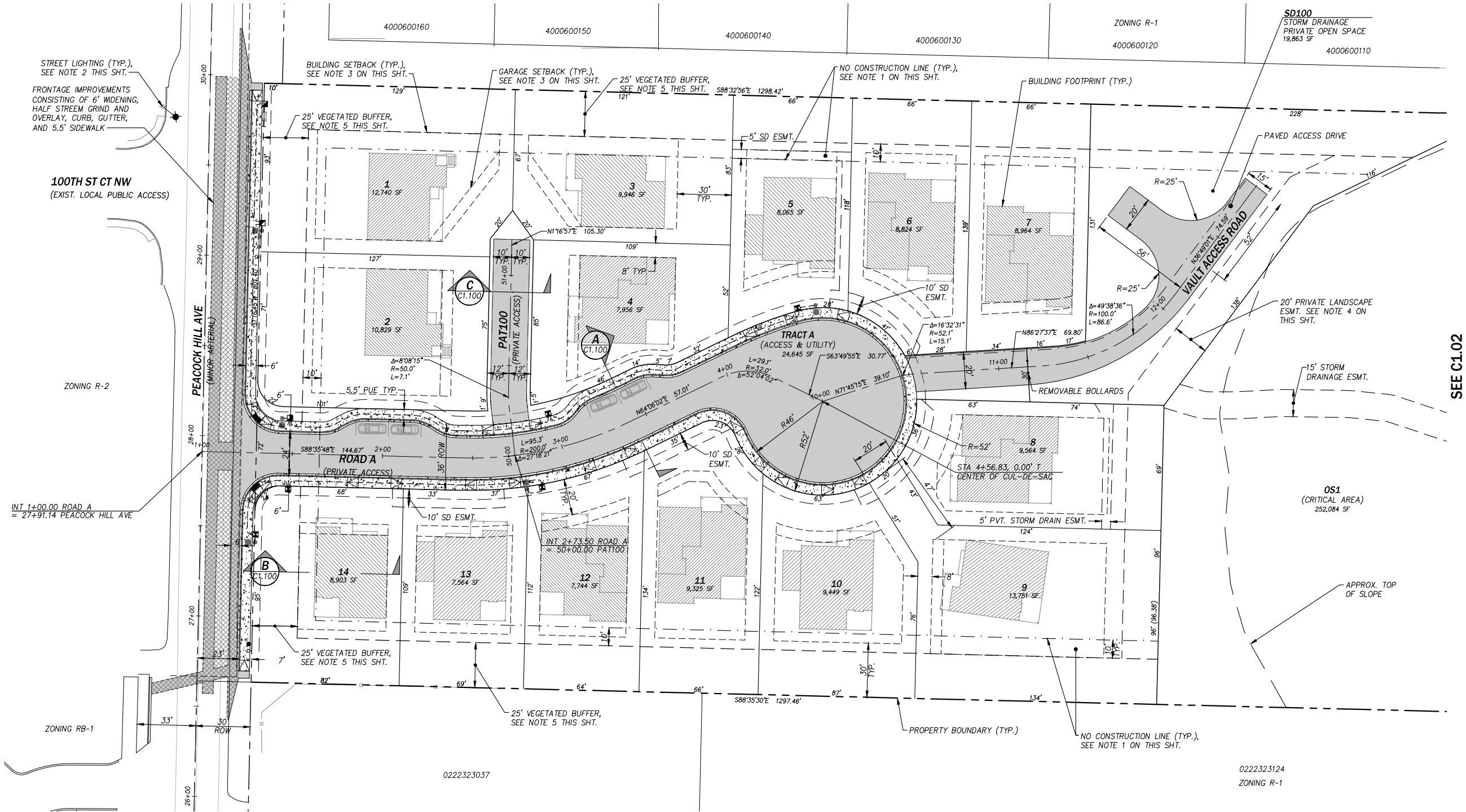
C|P|H
CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321-B NE 120th Street
Kirkland, WA 98034 • (425) 285-2390
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO.
0228-21-001

DRAWING
C1.00

SHEET 4 OF 40



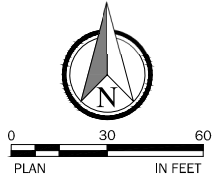
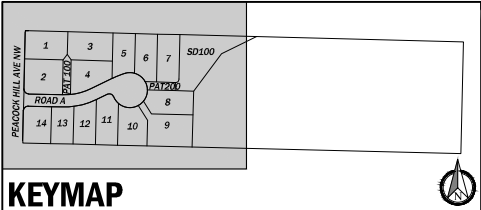


LOT #	LOT AREA (SF)	*MIN. LOT WIDTH (FT)	ACTUAL LOT WIDTH (FT)
1	10,390	73	83
2	11,765	82	104
3	11,026	77	83
4	9,876	69	102
5	8,065	56	66
6	8,874	62	62
7	9,338	65	66
8	9,687	68	68
9	13,627	95	95
10	9,449	66	72
11	9,325	65	65
12	7,968	56	66
13	7,231	51	66
14	9,012	63	83

*MIN. LOT WIDTH IS 0.7% OF TOTAL LOT AREA

TRACT USE AND OWNERSHIP				
TRACT	AREA	USE	OWNERSHIP	NOTES
A	24,645 SF	INGRESS/EGRESS, UTILITIES AND STORM DRAINAGE	HOME OWNERS ASSOCIATIONS	
OS1	252,084 SF	OPEN SPACE AND CRITICAL AREA	HOME OWNERS ASSOCIATIONS	
SD100	19,134 SF	INGRESS/EGRESS, UTILITIES AND STORM DRAINAGE, RECREATION	PRIVATE; HOME OWNERS ASSOCIATION	INCL. ACCESS ESMT. TO 022232-3135

- NOTES:
- THE CLEARING AND GRADING SHOWN WITH THIS PRELIMINARY PLAT AND ANY OTHER IMPROVEMENTS THAT MAY BE PROPOSED WITHIN THE 10-FOOT NO CONSTRUCTION ZONE WITH SUBSEQUENT PERMITS WILL BE ALLOWED ONLY AFTER APPROVAL BY THE CITY OF A WRITTEN STATEMENT FROM A QUALIFIED ARBORIST ACKNOWLEDGING THAT THE PROPOSED CONSTRUCTION ACTIVITY WITHIN THE 10-FOOT SETBACK WILL NOT HARM EXISTING VEGETATION WITHIN THE DESIGNATED LANDSCAPE OR BUFFER AREA.
 - A STREET LIGHTING PLAN IS PROVIDED BY OTHERS, AND INCLUDED AT THE END THIS PLAN SET.
 - THE BSDL AND GSDL FOR EACH LOT SHALL BE SHOWN ON THE FINAL PLAT AS DEPICTED ON THIS PLAN.
 - THE PRIVATE LANDSCAPE EASEMENT SHOWN OVER LOTS 8 AND 9 AND TRACT SD100 SHALL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS AND/OR THE HOA. A NOTE SPECIFYING MAINTENANCE RESPONSIBILITIES SHALL BE PROVIDED ON THE FACE OF THE FINAL PLAT AND ACCOMPANYING COVENANTS, CONDITIONS, AND RESTRICTIONS FOR THE PROJECT.
 - THE 25' VEGETATED BUFFER SHALL BE RECORDED AS A PRIVATE ESMT. AND SHALL BE MAINTAINED BY THE INDIVIDUAL PROPERTY OWNERS AND/OR THE HOA, A NOT SPECIFYING MAINTENANCE RESPONSIBILITIES SHALL BE PROVIDED ON THE FACE OF THE FINAL PLAT AND ACCOMPANYING A COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE PROJECT.



NO.	DATE	REVISION	BY	CHK.	DRG.
1	5/6/22	PRELIMINARY SUBMITTAL			



THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
SITE PLAN - WEST
CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

CLIENT
PROSPECT DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL: JUSTIN@PROSPECTDEVELOP.COM

C|P|H CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321 8th NE 120th Street
Kirkland, WA 98033 • (425) 285-2290
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

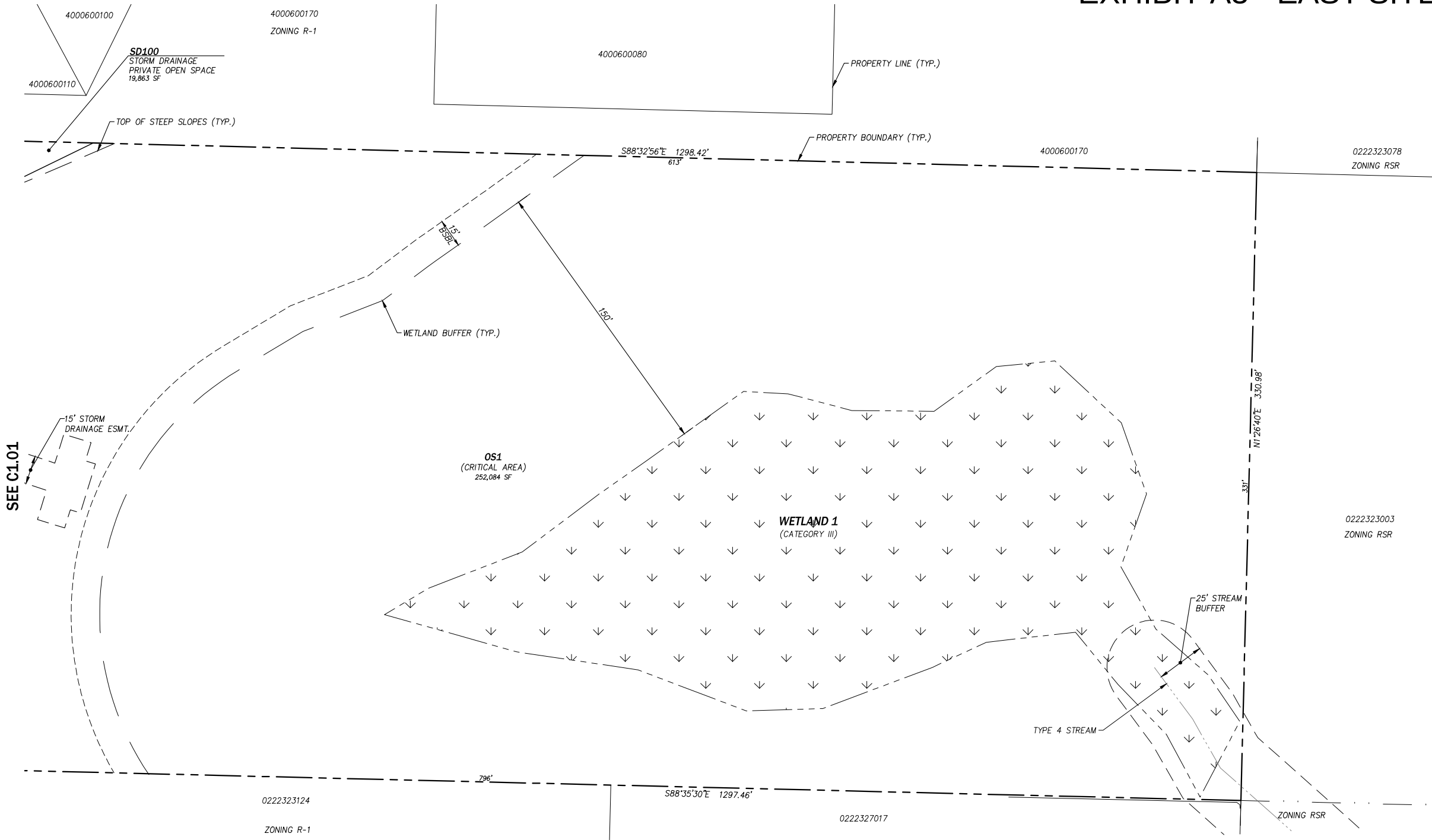
PROJECT NO.
0228-21-001

DRAWING
C1.01

SHEET 5 OF 40

PTN. SEC. 32, TWP 22 N, R2E W.M.

EXHIBIT A3 - EAST SITE PLAN



THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
SITE PLAN - EAST
CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

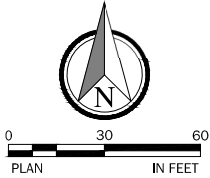
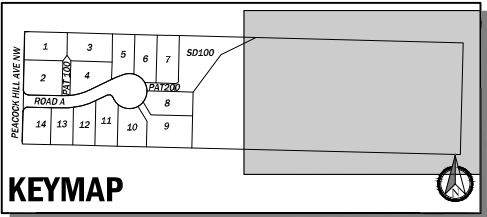
CLIENT
PROSPECT
DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL:
JUSTIN@PROSPECTDEVELOP.COM

C|P|H
CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321 8th NE 120th Street
Kirkland, WA 98034 • (425) 285-2390
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO.
0228-21-001

DRAWING
C1.02

SHEET 6 OF 40



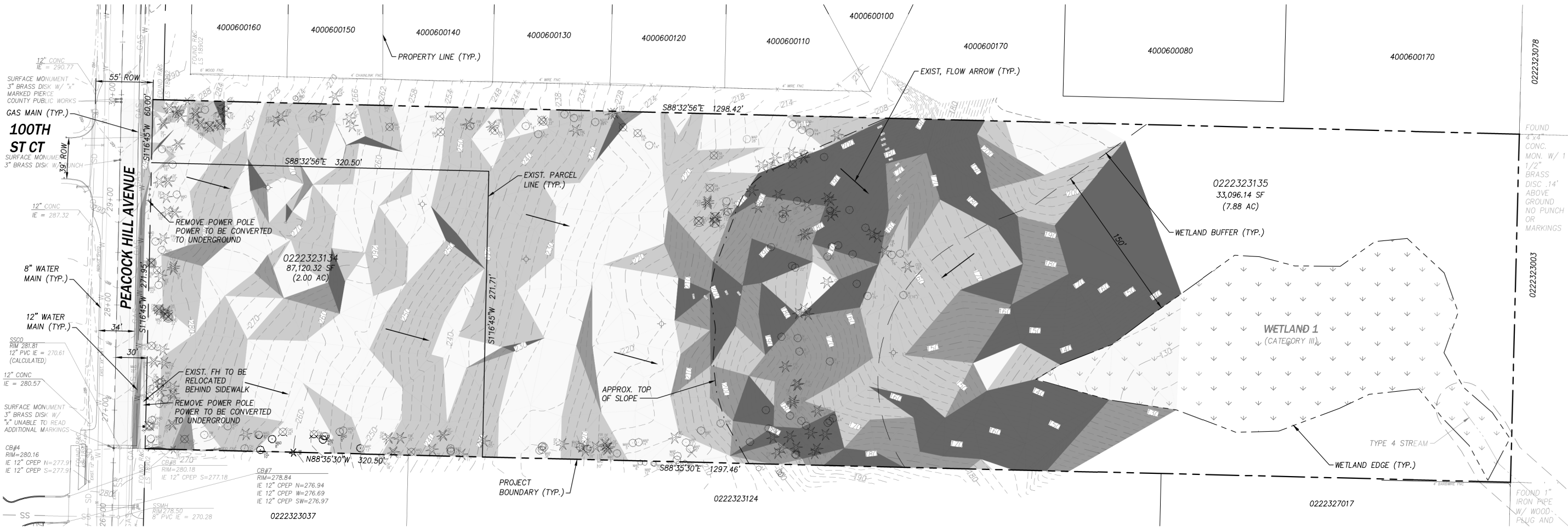
PLAN IN FEET

Copyright © 2022 CPH Consultants, LLC. All Rights Reserved.



Know what's below.
Call before you dig.

EXHIBIT B - EXISTING CONDITIONS



SURVEY DATA

EXISTING BOUNDARY, TOPOGRAPHIC, AND PLANIMETRIC INFORMATION SHOWN ON THIS PLAN AND OTHERS IN THIS SET WERE USED AS A BASIS FOR DESIGN AND REPRESENT FIELD SURVEY DATA AND MAPPING PREPARED BY OTAK, INC. (OTAK JOB NO. 3005), AS PROVIDED BY THE PROJECT OWNER, AND DOES NOT REPRESENT WORK BY CPH CONSULTANTS. THE FOLLOWING SURVEY DATA WAS PROVIDED WITH THE TOPOGRAPHIC MAP BY OTAK, INC.:

HORIZONTAL DATUM
NAD 83/91 NOTE: DATUM WAS ESTABLISHED BY HOLDING SPC COORDINATES, WASHINGTON SOUTH ZONE, AT PIERCE COUNTY SURVEY CONTROL POINT #s 401 AND 87 AS PUBLISHED BY SURVEY SECTION OF PIERCE COUNTY DEPARTMENT OF PUBLIC WORKS.

VERTICAL DATUM
N.G.V.D. 29 PROJECT BENCHMARK IS PIERCE COUNTY SURVEY CONTROL POINT #s 401 AND 87
CONVERSION TO NAVD88=NGVD29+3.45

BASIS OF BEARING
NAD 83/91 (BEARING BETWEEN PIERCE COUNTY SURVEY CONTROL POINT #s 401 AND 87 S 01°36'38\"/>

- NOTES:
- ALL LOCATIONS, OF EXISTING UTILITIES SHOWN HAVE BEEN ESTABLISHED BY FIELD SURVEY OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF ALL UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THE IMPLEMENTATION OF THIS PLAN.

LEGAL DESCRIPTION
TAX PARCEL 0222323134
THE WEST 2.00 ACRES, AFTER EXCEPTIONS, OF THE FOLLOWING DESCRIBED PROPERTY:

THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 22 NORTH, RANGE 2 EAST,
WILLAMETTE MERIDIAN, IN PIERCE COUNTY, WASHINGTON

EXCEPT THE NORTH 60 FEET THEREOF;

AND EXCEPT THE WEST 30 FEET FOR PEACOCK HILL AVENUE N.W.

TAX PARCEL 0222323135
THE SOUTH HALF OF THE SOUTH HALF OF THE NORTHWEST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 22 NORTH, RANGE 2 EAST,
WILLAMETTE MERIDIAN, IN PIERCE COUNTY, WASHINGTON

EXCEPT PEACOCK HILL AVENUE N.W. (PURDY GIG HARBOR ROAD)

ALSO EXCEPT THE WEST 2 ACRES OF THE ABOVE DESCRIBED PROPERTY AFTER
EXCEPTING THE NORTH 60 FEET AND SAID ROAD.

SITUATE IN THE COUNTY OF PIERCE, STATE OF WASHINGTON

SLOPES

- 0% - 15%
- 15% - 30%
- 30% - 40%
- GREATER THAN 40%

NO.	DATE	REVISION	BY	CHK.
1	5/6/22	PRELIMINARY SUBMITTAL		



THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
EXISTING CONDITIONS
CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

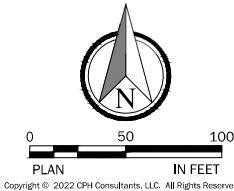
CLIENT
PROSPECT
DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL:
JUSTIN@PROSPECTDEVELOP.COM

C|P|H
CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321-8 NE 120th Street
Everett, WA 98034 • (425) 285-2290
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO.
0228-21-001

DRAWING
C0.10

SHEET 3 OF 40



PTN. SEC. 32, TWP 22 N, R2E W.M.

EXHIBIT C - SIGNIFICANT VEGETATION AND RETENTION PLAN



- NOTES:**
1. THIS PLAN HAS BEEN PREPARED TO ILLUSTRATE COMPLIANCE WITH APPLICABLE PROVISIONS OF GIG HARBOR MUNICIPAL CODE (GHMC) CHAPTER 17.78 REGARDING PRESERVATION OF SIGNIFICANT TREES AND NATIVE VEGETATION.
 2. THE SITE IS FULLY FORESTED IN ITS CURRENT PRE-DEVELOPED CONDITION. THE EXISTING SIGNIFICANT TREES SHOWN REPRESENT ONLY THOSE SIGNIFICANT TREES SURVEYED AND EVALUATED BY THE PROJECT ARBORIST TO MAINTAIN A PERMANENT VEGETATED BUFFER IN ACCORDANCE WITH GHMC 17.78.050 AND 17.78.060. TREES WITHIN THE DEVELOPABLE PORTION OF THE SITE (PARCEL 022232-3134) WILL BE REMOVED TO FACILITATE THE PROJECT PROPOSED SITE IMPROVEMENTS EXCEPT FOR THOSE TREES IN CLOSE PROXIMITY TO THE EDGE OF THE VEGETATED PERIMETER BUFFER WHERE SUCH TREES HAVE THE POTENTIAL TO REMAIN VIABLE WITH THE PROPOSED SITE IMPROVEMENTS.
 3. GRADING INTRUSIONS INTO THE DRIP LINE OR 10-FOOT BUFFER TO THE DRIP LINE OF TREES WITHIN THE VEGETATED PERIMETER BUFFER IS PROPOSED. THESE INTRUSIONS WILL BE PERFORMED WITH CARE AND UNDER THE DIRECTION OF THE PROJECT ARBORIST AS ALLOWED BY GHMC 17.78.050. REMOVAL OF SOME SELECT TREES WITHIN THE BUFFER ARE ALSO PROPOSED TO FACILITATE SITE GRADING. SUPPLEMENTAL TREES WILL BE PLANTED TO MITIGATE REMOVED TREES AS WELL AS TO IMPROVE THE VEGETATIVE SCREEN PROVIDED BY THE EXISTING TREES AS SHOWN ON THE LANDSCAPE PLAN (DRAWING L1.00). THE GRADING INTRUSIONS INTO DRIP LINES OR BUFFERS AND THE LIMITED TREE REMOVAL ARE REQUIRED TO ACCOMMODATE THE STEEP SITE TOPOGRAPHY AND REDUCE THE VISUAL IMPACTS OF PERIMETER RETAINING WALLS.
 4. THE CLEARING AND GRADING SHOWN AND ANY IMPROVEMENTS WITHIN THE 10-FOOT NO CONSTRUCTION ZONE SHALL BE ALLOWED ONLY WHEN A QUALIFIED ARBORIST PROVIDES WRITTEN DOCUMENTATION THAT PROPOSED CONSTRUCTION ACTIVITY WITHIN THE 10-FOOT SETBACK WILL NOT HARM EXISTING VEGETATION WITHIN THE DESIGNATED LANDSCAPE OR BUFFER AREA.
 5. THE CLEARING AND GRADING SHOWN WITH THIS PRELIMINARY PLAN AND ANY OTHER IMPROVEMENTS THAT MAY BE PROPOSED WITHIN THE 10-FOOT NO CONSTRUCTION ZONE WITH SUBSEQUENT PERMITS WILL BE ALLOWED ONLY AFTER APPROVAL BY THE CITY OF A WRITTEN STATEMENT FROM A QUALIFIED ARBORIST ACKNOWLEDGING THAT THE PROPOSED CONSTRUCTION ACTIVITY WITHIN THE 10-FOOT SETBACK WILL NOT HARM EXISTING VEGETATION WITHIN THE DESIGNATED LANDSCAPE OR BUFFER AREA.

LEGEND

- APPROX. TREE DRIP LINE
- 10' DRIP LINE BUFFER
- EXIST. SIGNIFICANT TREE
- EXIST. NON-VIABLE TREE TO BE REMOVED
- VIALE TREE TO BE REMOVED

- MAP
- BIG LEAF MAPLE (DECIDUOUS)
 - CH BITTER CHERRY (DECIDUOUS)
 - CAS CASCARA (DECIDUOUS)
 - DF DOUGLAS FIR (EVERGREEN)
 - GF GRAND FIR (EVERGREEN)
 - HM HEMLOCK (EVERGREEN)
 - DW NATIVE DOGWOOD (DECIDUOUS)
 - MAD PACIFIC MADRONE (EVERGREEN)
 - RA RED ALDER (DECIDUOUS)
 - TF TRUE FIR (EVERGREEN)
 - CED WESTERN RED CEDAR (EVERGREEN)

BUFFER TREE ACCOUNTING

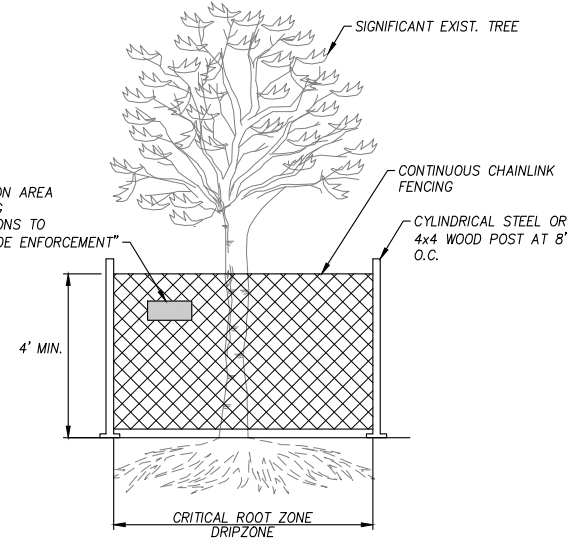
17.99.240A: LIMIT CLEARING TO 50%
EXISTING SITE: 10.69 ACRES
CLEARED AREA: 4.09 ACRES (38.3%)

17.99.240D: RETAIN 25% OF SIGNIFICANT TREES
BASED ON A VISUAL ASSESSMENT OF THE EXISTING SITE, WE ARE ONLY CLEARING 38.3% OF THE AREA. ON THIS BASIS WE EXPECT TO RETAIN WELL OVER THE REQUIRED 25% OF THE SIGNIFICANT TREES.

REQUIRED VEGETATED PERIMETER BUFFER TREES					
LOCATION	TOTAL EXISTING TREES	EXISTING TREES TO BE REMOVED		PLANTED (NEW)	PROPOSED TREES
		"NON-VIALE" REMOVED	"VIALE" REMOVED		
NORTH	44	14	2	47	75
WEST	54	11	5	16	54
SOUTH	56	11	0	24	69
TOTAL	154	36	7	87	198

OTHER SITE AREA TREES			
LOCATION	PLANTED (NEW)	EXIST. TREES RETAINED	PROPOSED TREES
LOT 8, LOT 9	10	0	10
PARK	18	5	23
STREET	14	0	14
TOTAL	42	5	47

TREES REMOVED FROM REQ'D. PERIMETER BUFFER	43
TREES PLANTED IN REQ'D. 25-FOOT VEGETATED BUFFER	85
TREES PLANTED OUTSIDE REQ'D. VEGETATED BUFFER	42
TOTAL REPLANTED TREES (AS BUFFER REPLACEMENT)	127
TREE REPLACEMENT RATIO IN REQ'D. BUFFER	2.0:1
TOTAL BUFFER TREE REPLACEMENT RATIO	3.0:1
TOTAL NO. TREES IN REQ'D PERIMETER BUFFER	196 (1 PER 186 SF)



TREE PROTECTION FENCE DETAIL

NOT TO SCALE

THE RESERVE

PRELIMINARY PLAT (PL-PPLAT-22-0001)

SIGNIFICANT VEGETATION AND TREE RETENTION PLAN

CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

CLIENT

PROSPECT DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL: JUSTIN@PROSPECTDEVELOP.COM

C|P|H
CONSULTANTS

Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321-8 NE 120th Street
Kirkland, WA 98034 • (425) 385-2290
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO.
0228-21-001

DRAWING
L0.10

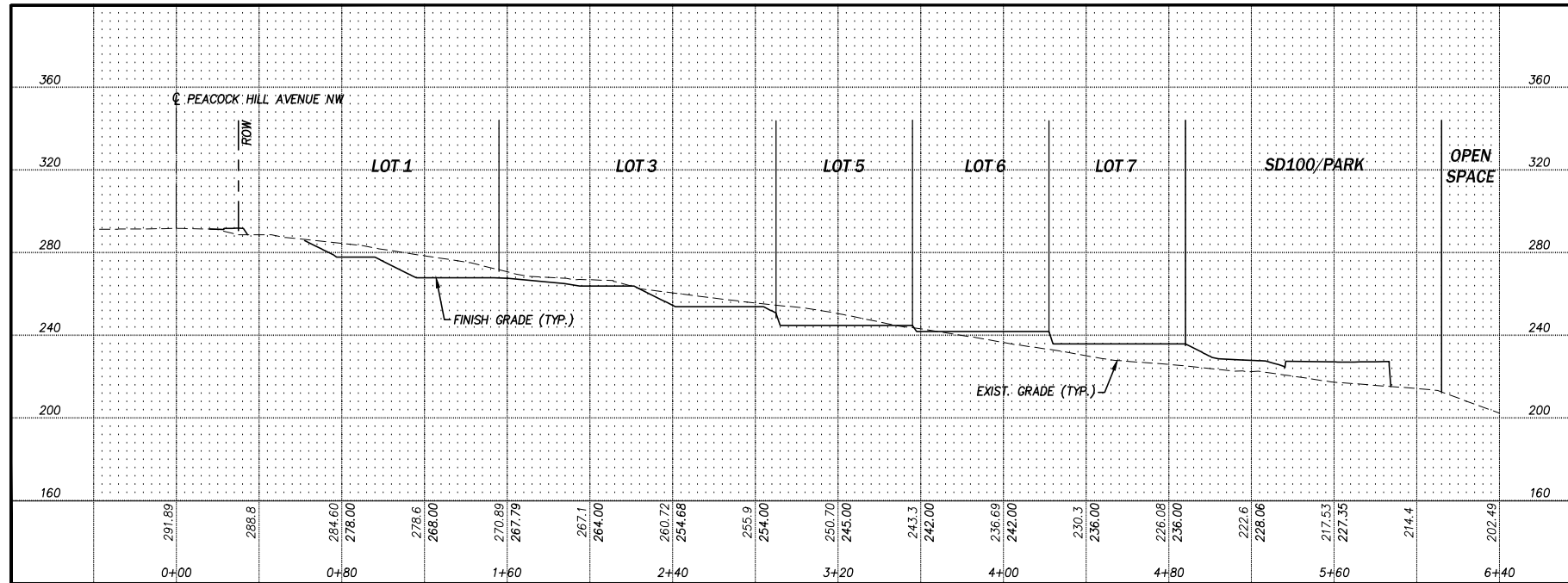
SHEET 32 OF 40

P:\projects\2028_Prospect Development\2001_The Reserve\Drawings\Drawings\01.10.dwg
5/6/2022 2:25 PM PETER EVANS

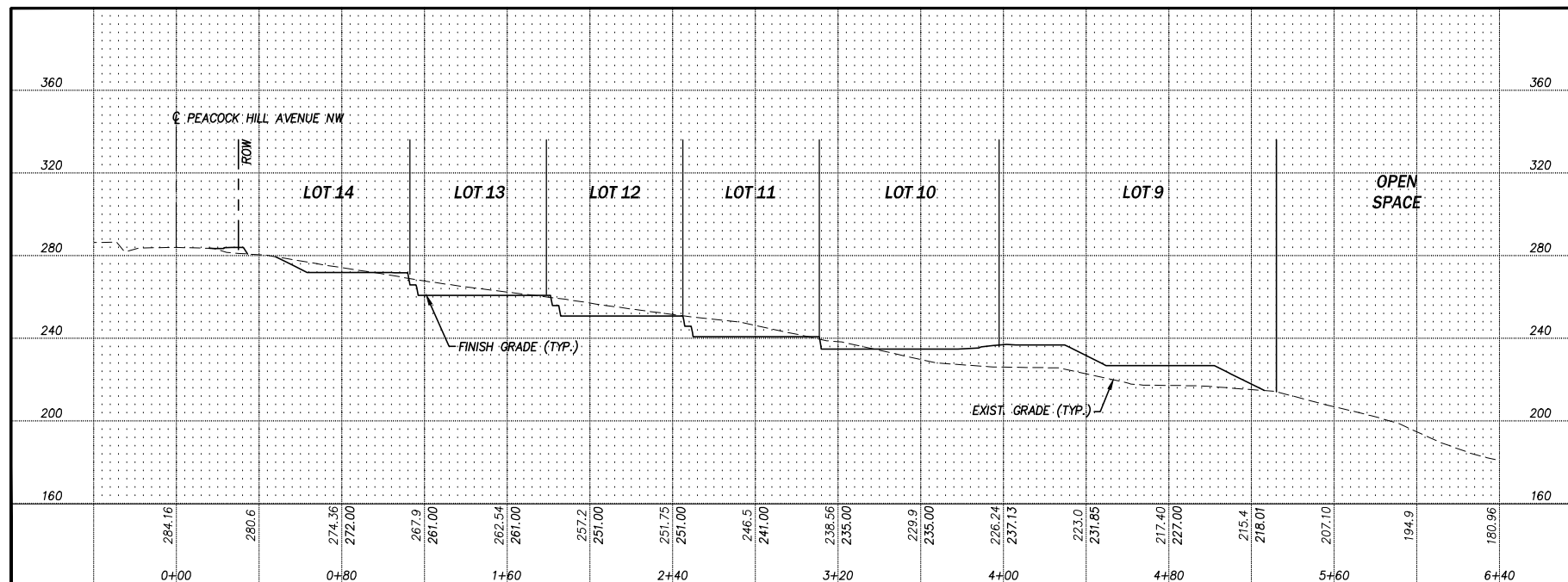


THE RESERVE

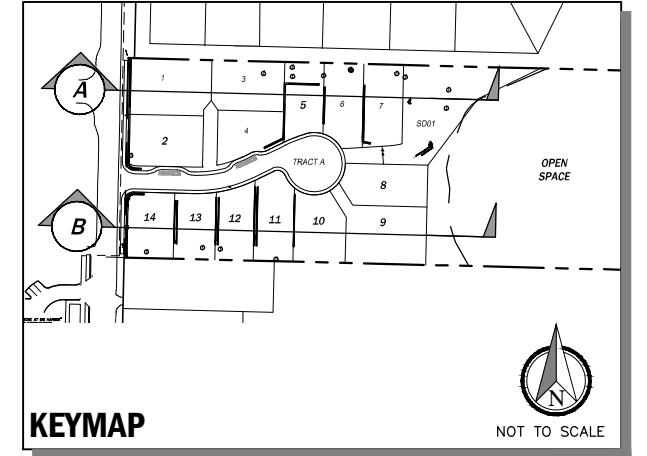
DESIGN REVIEW

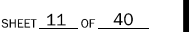


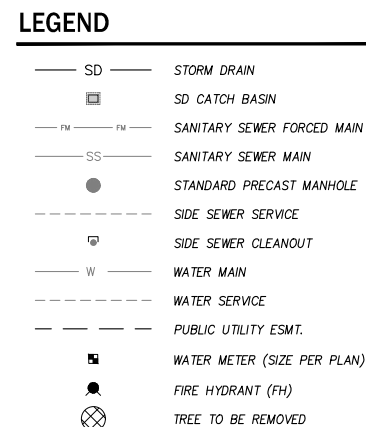
SECTION A



SECTION B







PROPOSED RETAINING WALL, SEE SHT. C3.00 FOR WALL SCHEDULE AND ADDITIONAL NOTES AND DET. REFERENCE. ALSO ADD CONTRACTOR TO PROVIDE WALL DRAINS PER GEOTECHNICAL DETS. AND RECOMMENDATION, DAYLIGHT TO ROCK PADS SHOWN, TYP.

0222323037

[illegible]

THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
OVERALL STORMWATER PLAN

CLIENT

**PROSPECT
DEVELOPMENT, LLC**
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL:
JUSTIN@PROSPECTDEVELOP.COM

C | P | H
CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321-B NE 120th Street
Kirkland, WA 98034 • (425) 285-2390
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO.
0228-21-001

DRAWING
C3.01

SHEET 12 OF 40



A horizontal scale bar with markings at 0, 30, and 60. Below the bar, the word "PLAN" is centered under the 0 mark, and "IN FEET" is centered under the 60 mark.

NO.	DATE	REVISION	BY	CHK.
1	5/6/22	PRELIMINARY SUBMITTAL	MDS	DRG



THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
OVERALL UTILITY PLAN
CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

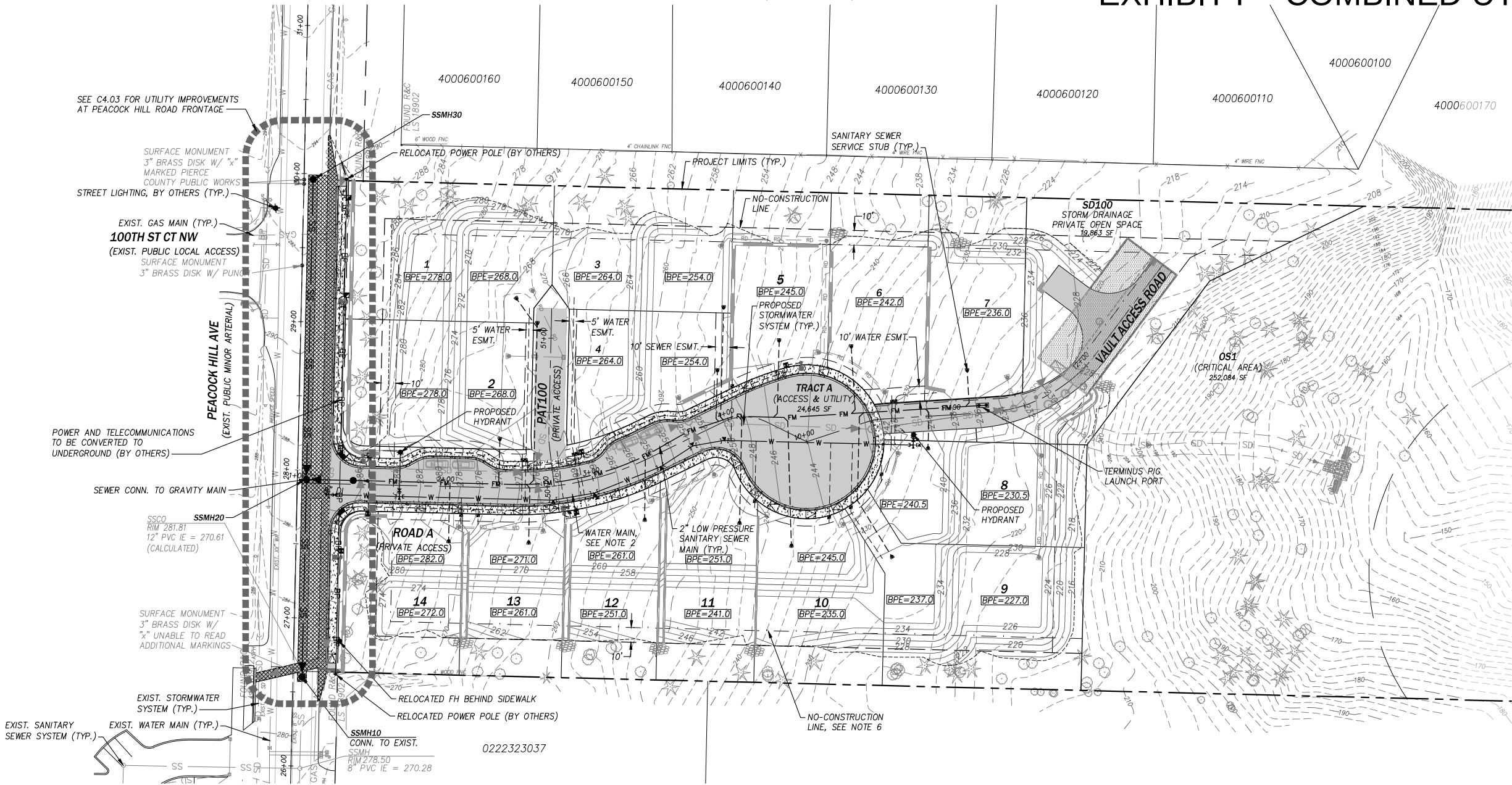
CLIENT
PROSPECT
DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL:
JUSTIN@PROSPECTDEVELOP.COM

C|P|H
CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321-8 NE 120th Street
Kirkland, WA 98034 • (425) 285-2290
101 South Wendell Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO.
0228-21-001

DRAWING
C4.00

SHEET 22 OF 40



LEGEND

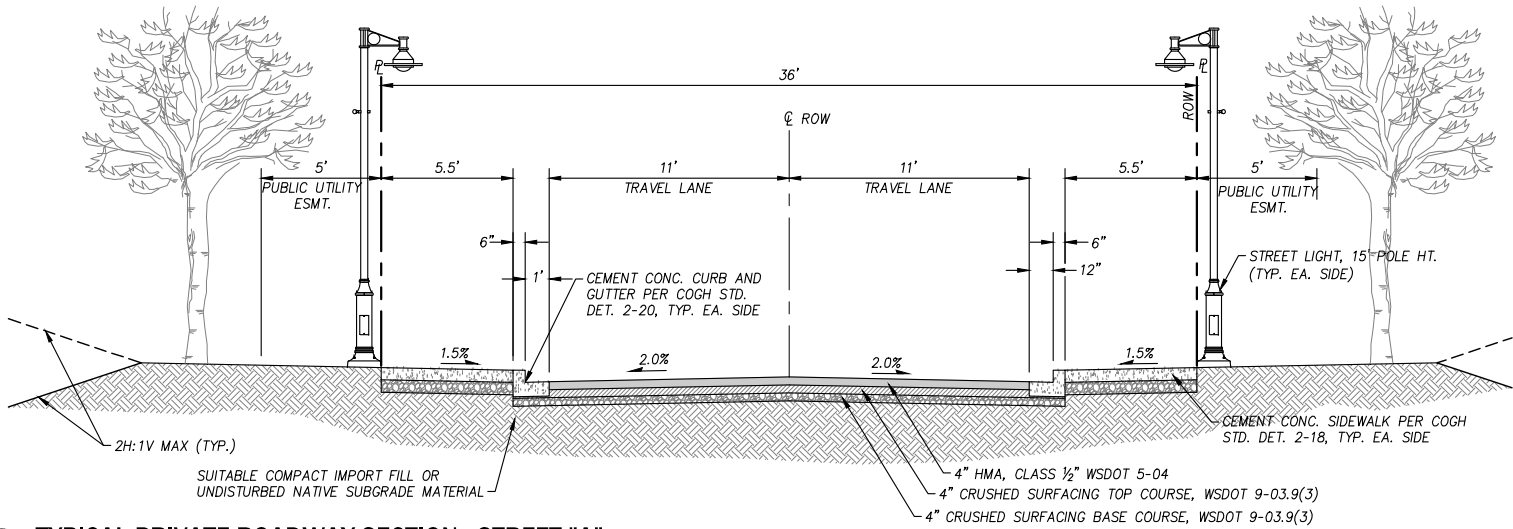
- SD STORM DRAIN
- SD CATCH BASIN
- FM SANITARY SEWER FORCED MAIN
- SS SANITARY SEWER MAIN
- STANDARD PRECAST MANHOLE
- SIDE SEWER SERVICE
- SIDE SEWER CLEANOUT
- W WATER MAIN
- WATER SERVICE
- PUBLIC UTILITY ESMT.
- WATER METER
- FIRE HYDRANT

NOTES:

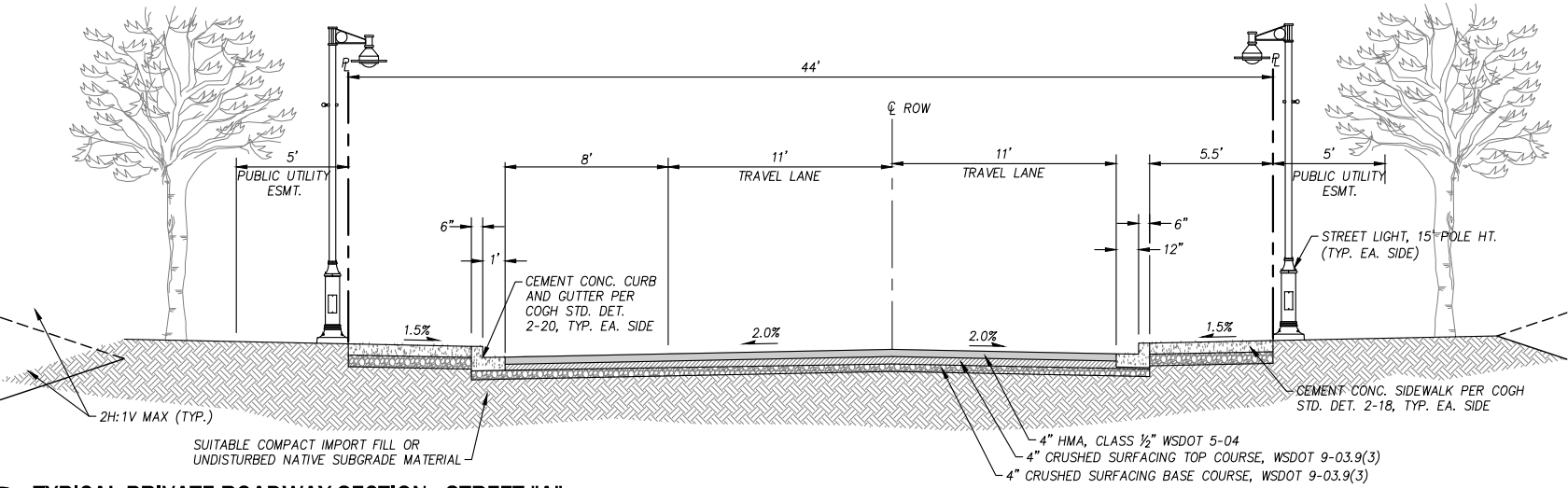
1. THE LOW PRESSURE SANITARY SEWER (LPSS) COLLECTION MAIN SHALL BE HDPE SDR-11 OR APPROVED EQUAL INSTALLED IN GENERAL ACCORDANCE WITH COGH PUBLIC WORKS STANDARDS.
2. WATER IMPROVEMENTS SHOWN ARE FOR REFERENCE ONLY. FINAL DESIGN AND CONSTRUCTION TO BE COMPLETED BY WASHINGTON WATER SERVICE COMPANY (WWSC). CONTRACTOR SHALL COORDINATE INSTALLATION WITH WWSC.
3. THE MANHOLE AT THE TERMINUS OF THE LOW PRESSURE MAIN AND THE FIRST MANHOLE DOWNSTREAM OF THIS TERMINUS SHALL BE COATED WITH SPECTRA-SHIELD LINING SYSTEM OR APPROVED EQUAL.
4. THE LOW PRESSURE SANITARY SEWER (LPSS) COLLECTION MAIN AND PRIVATE SEWER SERVICE LATERAL DESIGN PROPOSED WITH THIS PROJECT ARE BASED ON MANUFACTURER RECOMMENDATIONS FOR A REPRESENTATIVE EJOE MODEL DH07 GRINDER PUMP SYSTEM (OAE). THIS PROJECT PROPOSES TO INSTALL THE LPSS COLLECTION MAIN AND PRIVATE SEWER LATERALS FOR EACH LOT AS SHOWN IN THESE PLANS. EXTENSION OF THE SERVICE LATERALS, INCLUDING A SWING CHECK VALVE AND OTHER NECESSARY APPURTENANCES, SHALL BE INSTALLED BY INDIVIDUAL HOME BUILDERS IN THE FUTURE AND IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED MEANS AND METHODS.
5. DUE TO INADEQUATE FIRE FLOW AVAILABILITY, RESIDENTIAL SPRINKLER SYSTEMS IN ACCORDANCE WITH IFC CH. B105.1 AND NFPA 13D (INCLUDING GARAGES) MUST BE INSTALLED AND MAINTAINED IN PERPETUITY IN ALL BUILDINGS AND STRUCTURES HENCEFORTH UNDER A SEPARATE BUILDING PERMIT FROM THE CITY OF GIG HARBOR.
6. THE CLEARING AND GRADING SHOWN AND ANY IMPROVEMENTS WITHIN THE 10-FOOT NO CONSTRUCTION ZONE SHALL BE ALLOWED ONLY UPON INSPECTION AND CERTIFICATION BY THE PROJECT ARBORIST THAT SUCH WORK WILL NOT ADVERSELY AFFECT THE LONG-TERM VIABILITY OF THE TREES WITHIN THE DESIGNATED LANDSCAPE OR BUFFER AREA.



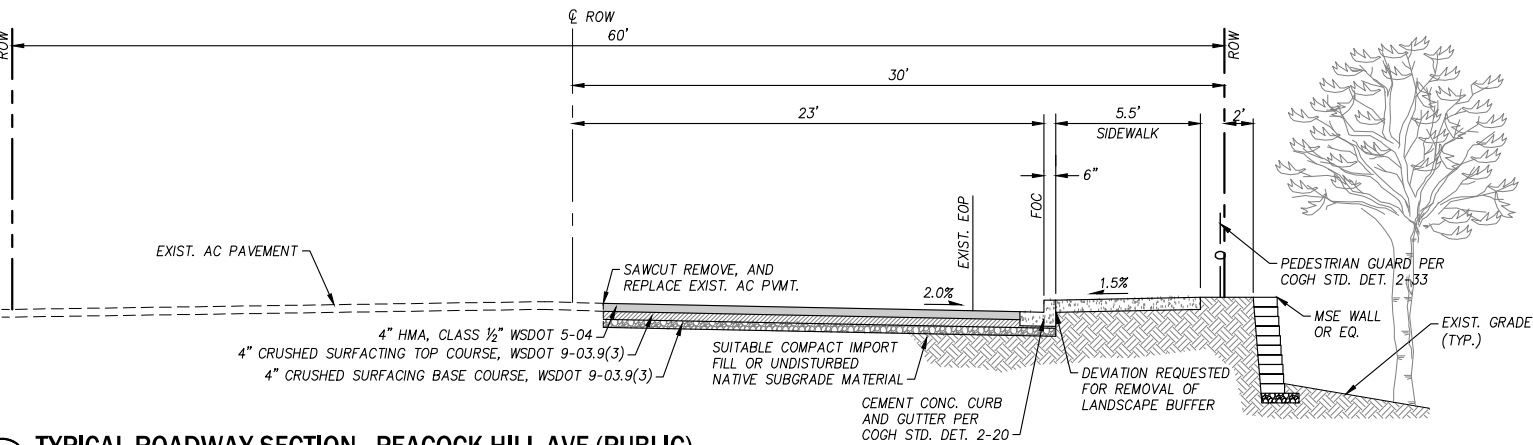
EXHIBIT G - PAVING MATERIALS



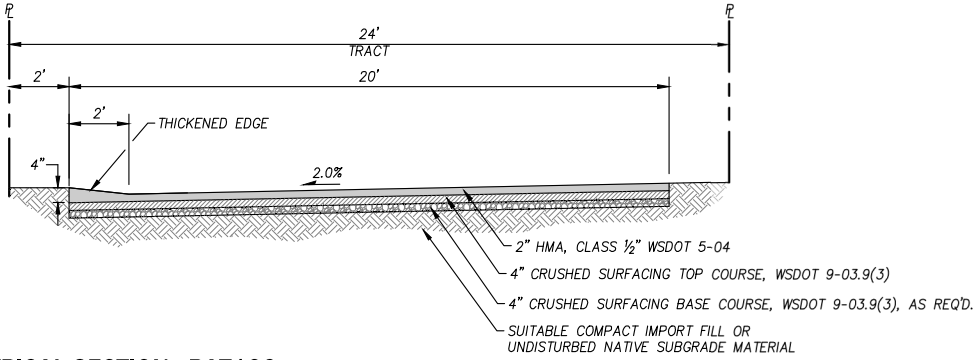
A1 TYPICAL PRIVATE ROADWAY SECTION - STREET "A"
NOT TO SCALE



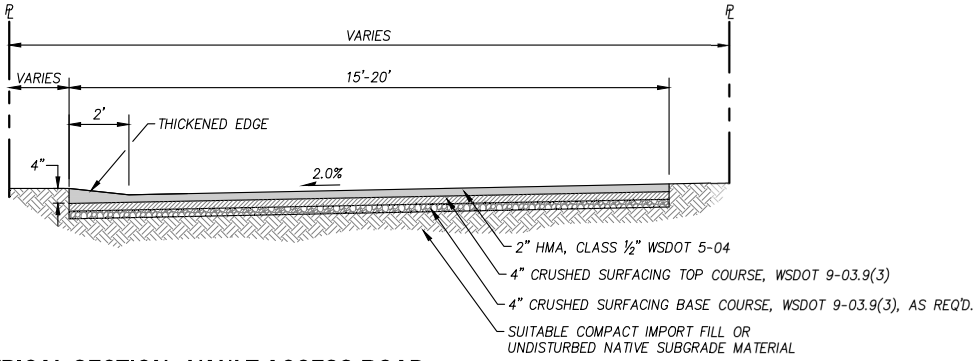
A2 TYPICAL PRIVATE ROADWAY SECTION - STREET "A"
NOT TO SCALE



B TYPICAL ROADWAY SECTION - PEACOCK HILL AVE (PUBLIC)
NOT TO SCALE



C TYPICAL SECTION - PAT100
NOT TO SCALE



D TYPICAL SECTION - VAULT ACCESS ROAD
NOT TO SCALE



THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
TYPICAL ROAD SECTIONS
CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

CLIENT
PROSPECT DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL: JUSTIN@PROSPECTDEVELOP.COM

C|P|H CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321-8 NE 120th Street
Kirkland, WA 98034 • (425) 255-2390
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO.
0228-21-001

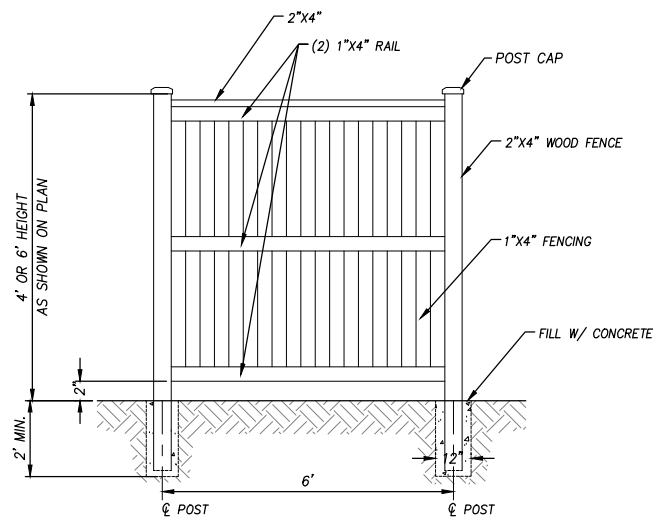
DRAWING
C1.100

SHEET 7 OF 40



THE RESERVE

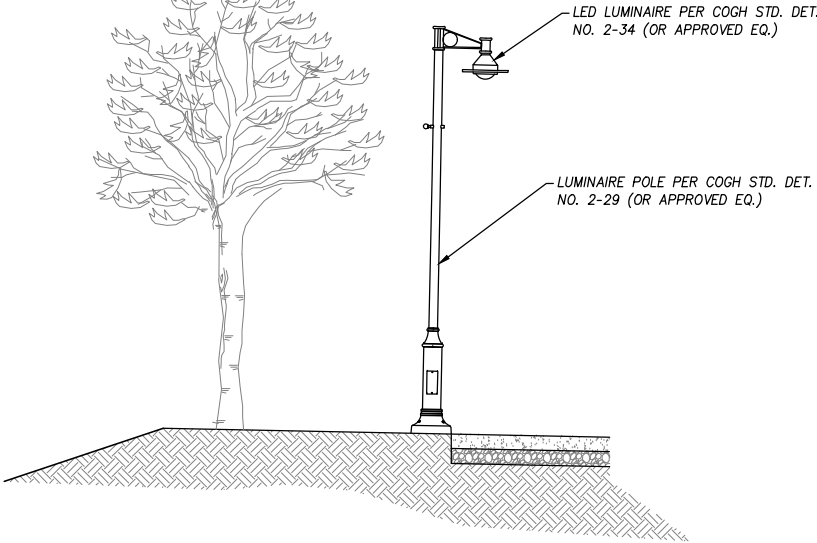
DESIGN REVIEW



NOTE:
FENCE SHALL BE PAINTED WITH TAN SOLID BODY STAIN. SAMPLE SHALL BE PROVIDED BY CONTRACTOR FOR APPROVAL BY ARCHITECT PRIOR TO INSTALLATION

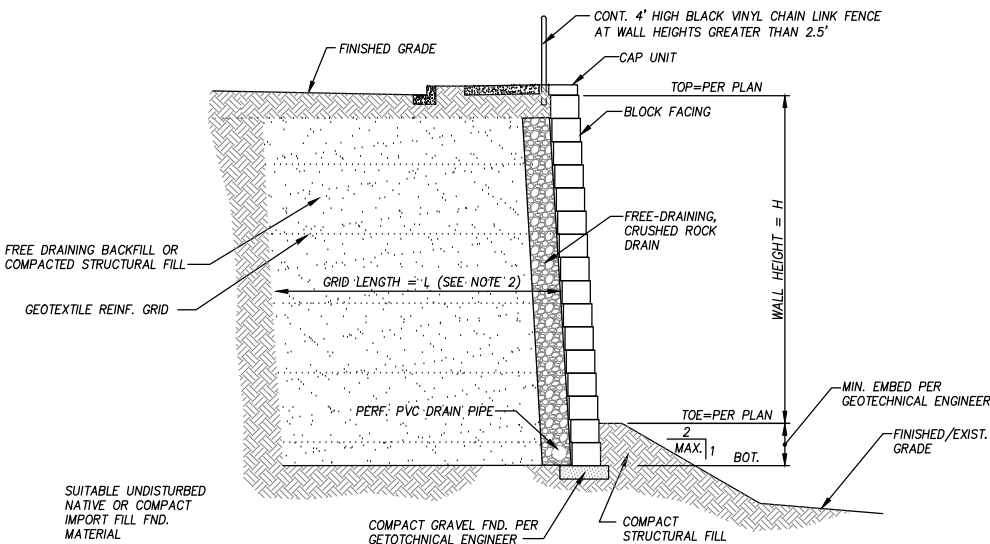
TYPICAL WOOD FENCE DETAIL

NOT TO SCALE



TYPICAL LUMINAIRE (STREET)

NOT TO SCALE



- NOTES:
- THIS DETAIL PROVIDES GENERAL INFORMATION FOR THE INSTALLATION OF MECHANICALLY STABILIZED EARTH (MSE) WALLS. IT IS NOT INTENDED TO REPRESENT ALL DESIGN AND CONSTRUCTION CONSIDERATIONS SPECIFIC TO THIS PROJECT. MSE WALLS FOR THIS PROJECT SHALL BE INSTALLED PER AN APPROVED BY CITY GEOTECHNICAL ENGINEERING DESIGN AS PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON.
 - ALL SOIL/GRAVEL BACKFILL, GEOTEXTILE STYLE, LENGTHS, AND SPACING; DRAINAGE AND FOUNDATION PROVISIONS; AND OTHER METHODS, MEANS, AND MATERIALS SHALL BE IN ACCORDANCE WITH WALL SYSTEM MANUFACTURER AND APPROVED PROJECT GEOTECHNICAL SPECIFICATIONS.

TYPICAL MSE WALL SECTION

NOT TO SCALE

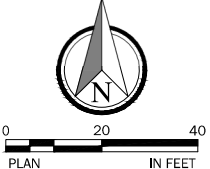
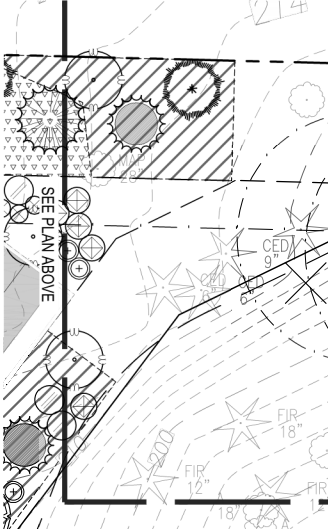
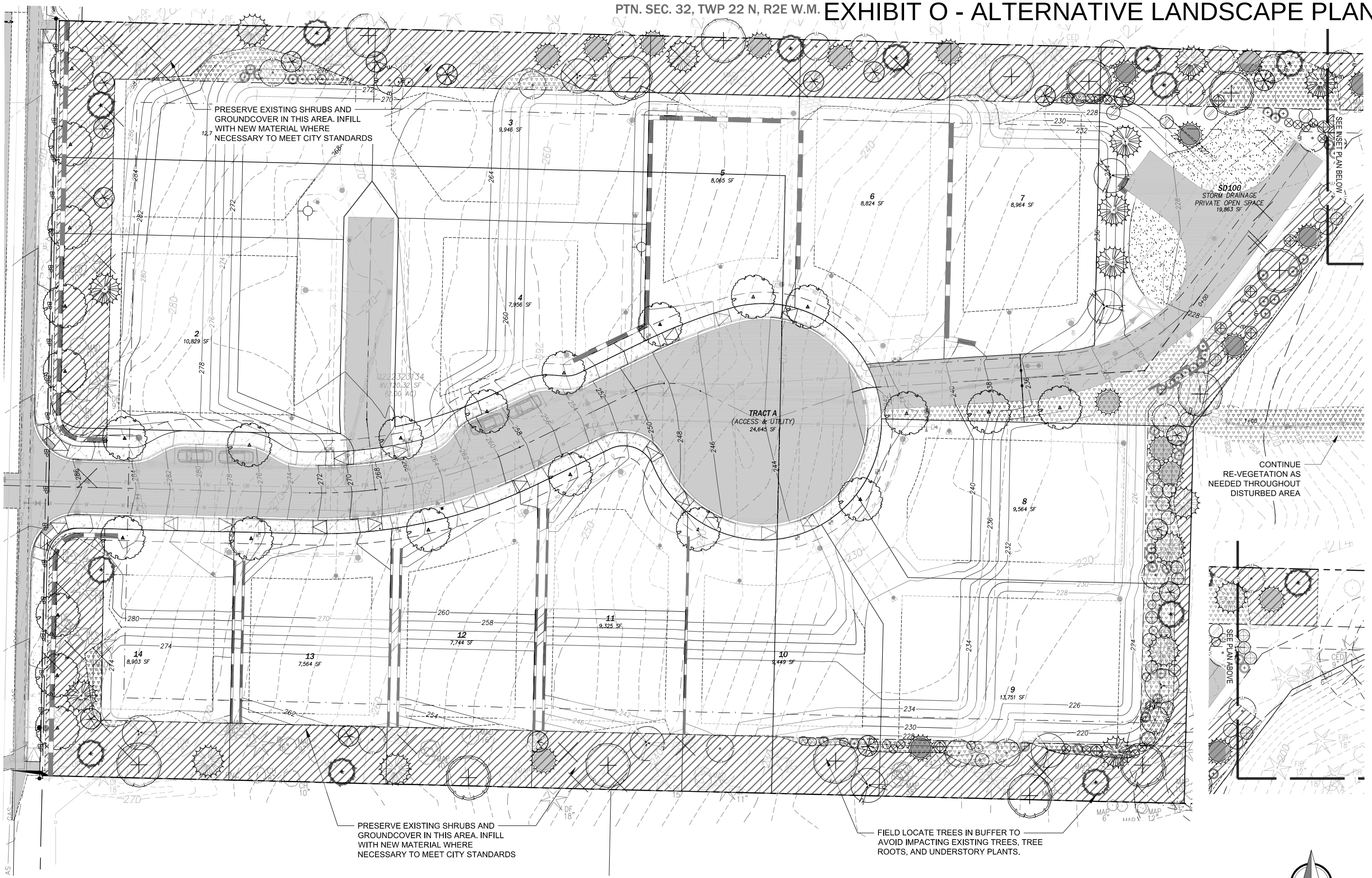


NOTE:
THE TYPICAL DETAILS AND IMAGES SHOWN FOR THE SPECIFIC SITE AMENITIES/UTILITIES ARE INTENDED TO ILLUSTRATE A REPRESENTATIVE EXAMPLE OF THE STYLE AND STANDARDS FOR THIS PROJECT. COLORS AND SPECIFIC MANUFACTURERS OF CERTAIN ITEMS (E.G., WALL BLOCK, LUMINAIRE HEAD, ETC.) MAY VARY AND WILL BE DETERMINED AT THE TIME OF ENGINEERING PERMIT REVIEW AND APPROVAL.

FENCING, LIGHT FIXTURES, AND ACCESSORIES

EXHIBIT L

PTN. SEC. 32, TWP 22 N, R2E W.M. EXHIBIT O - ALTERNATIVE LANDSCAPE PLAN



NO.	DATE	REVISION	BY	CHK.	DRG.
1	5/6/22	PRELIMINARY SUBMITAL			



THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
LANDSCAPE PLAN
CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

CLIENT
PROSPECT DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL: JUSTIN@PROSPECTDEVELOP.COM

C|P|H CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321 8th NE 120th Street
Kirkland, WA 98033 • (425) 255-2390
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO. 0228-21-001
DRAWING L1.00
SHEET 33 OF 40



The Reserve

Design Review Narrative

CPH Project No. 0228-21-001, City File No. PL-PPLAT-22-0001

May 9, 2022

Page 4 of 4

Please contact me directly at (206) 909-9659 or by e-mail at darton@cphconsultants.com if you have questions or need any additional information to complete your review and approval of the project. Your prompt response is appreciated. Thank you.

Sincerely,
CPH Consultants

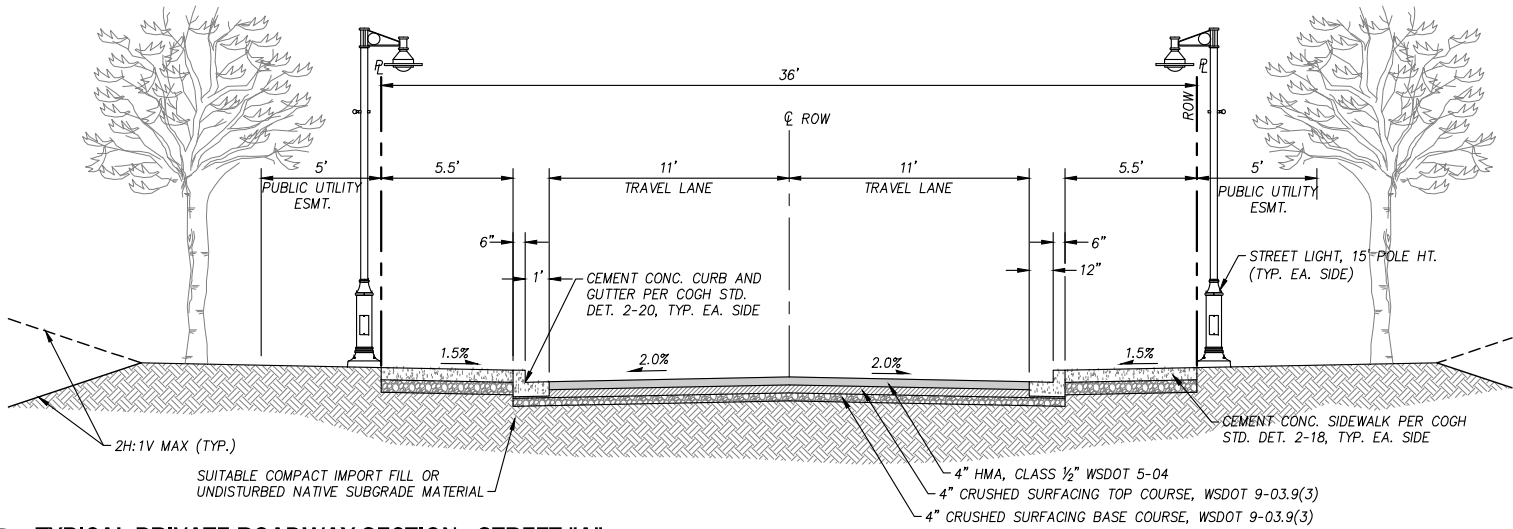
A handwritten signature in blue ink that reads "Darton Riely-Gibbons". The signature is written in a cursive, flowing style.

Darton Riely-Gibbons, PE
Project Manager

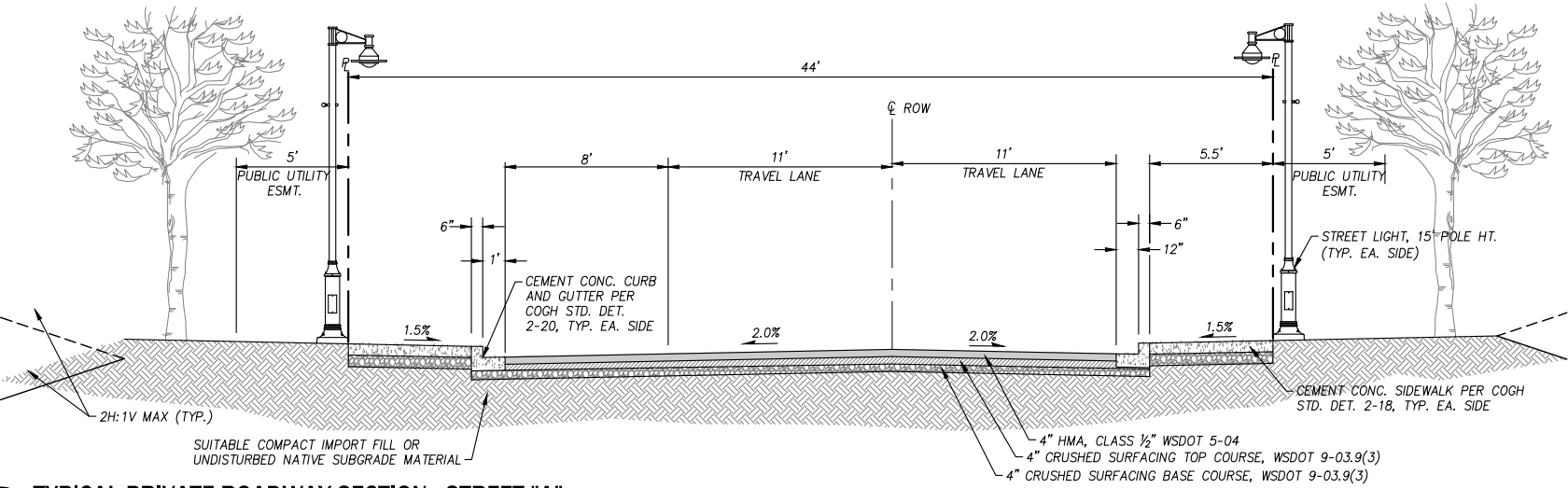
Enclosures

Cc: Prospect Development, LLC
copy to file

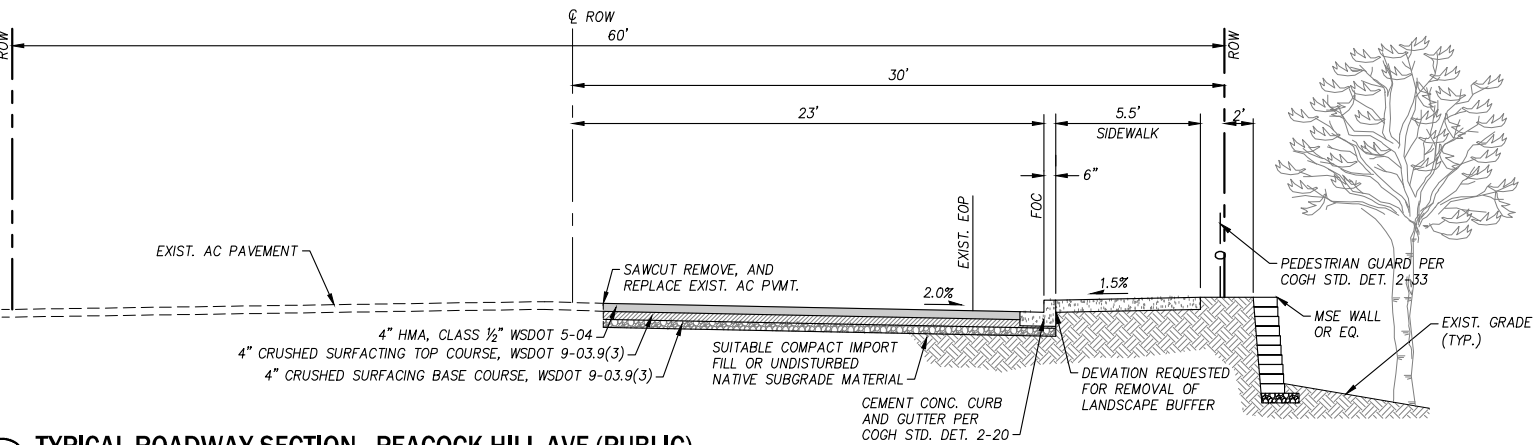
EXHIBIT G - PAVING MATERIALS



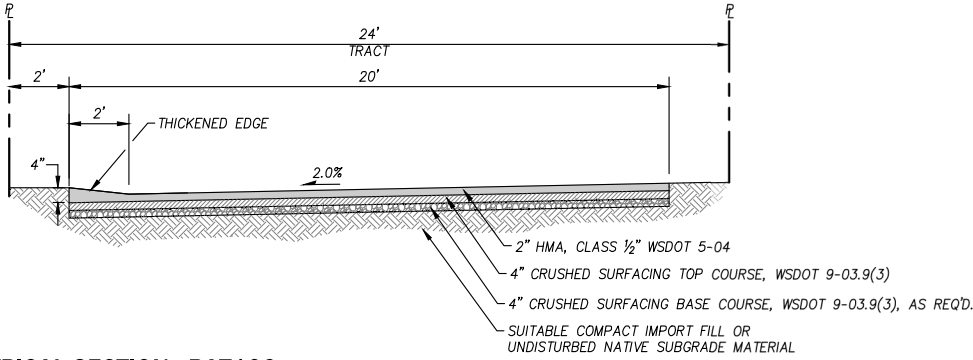
A1 TYPICAL PRIVATE ROADWAY SECTION - STREET "A"
NOT TO SCALE



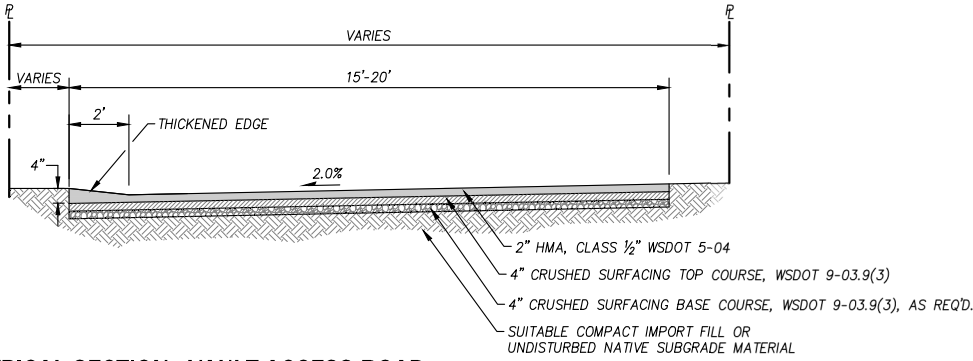
A2 TYPICAL PRIVATE ROADWAY SECTION - STREET "A"
NOT TO SCALE



B TYPICAL ROADWAY SECTION - PEACOCK HILL AVE (PUBLIC)
NOT TO SCALE



C TYPICAL SECTION - PAT100
NOT TO SCALE



D TYPICAL SECTION - VAULT ACCESS ROAD
NOT TO SCALE



THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
TYPICAL ROAD SECTIONS
CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

CLIENT
PROSPECT DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL: JUSTIN@PROSPECTDEVELOP.COM

C|P|H
CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321-8 NE 120th Street
Kirkland, WA 98034 • (425) 255-2390
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO.
0228-21-001

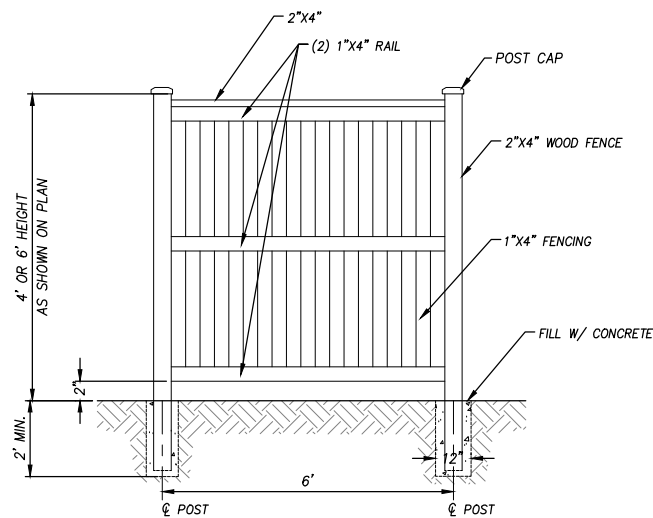
DRAWING
C1.100

SHEET 7 OF 40



THE RESERVE

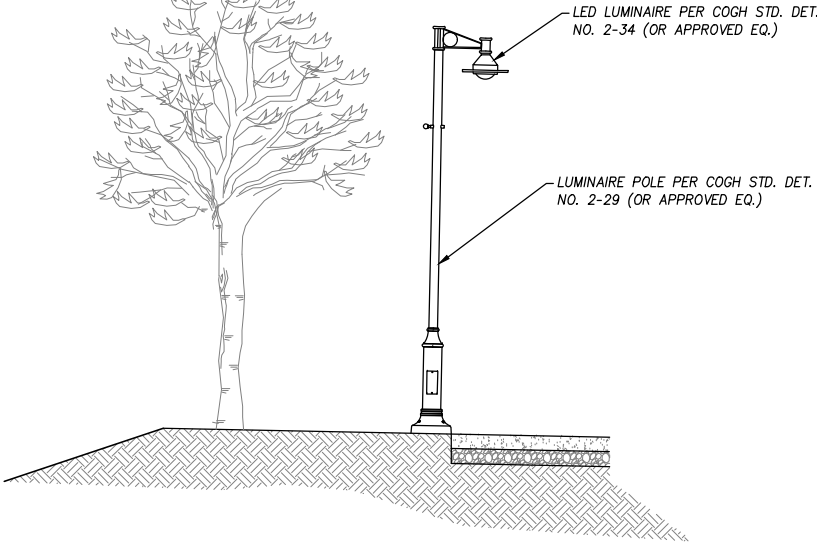
DESIGN REVIEW



NOTE:
FENCE SHALL BE PAINTED WITH TAN SOLID BODY STAIN. SAMPLE SHALL BE PROVIDED BY CONTRACTOR FOR APPROVAL BY ARCHITECT PRIOR TO INSTALLATION

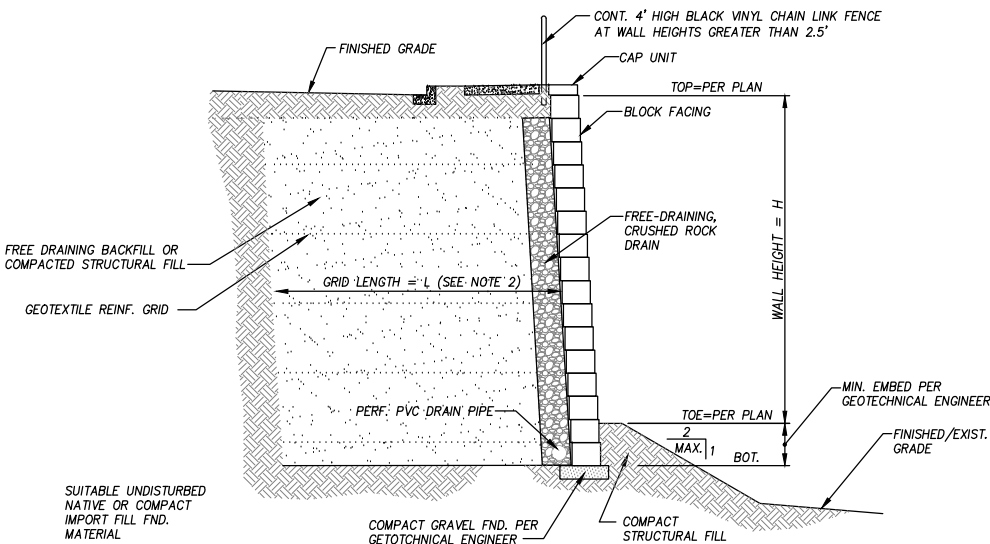
TYPICAL WOOD FENCE DETAIL

NOT TO SCALE



TYPICAL LUMINAIRE (STREET)

NOT TO SCALE



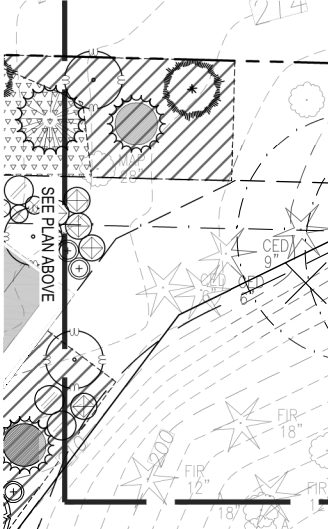
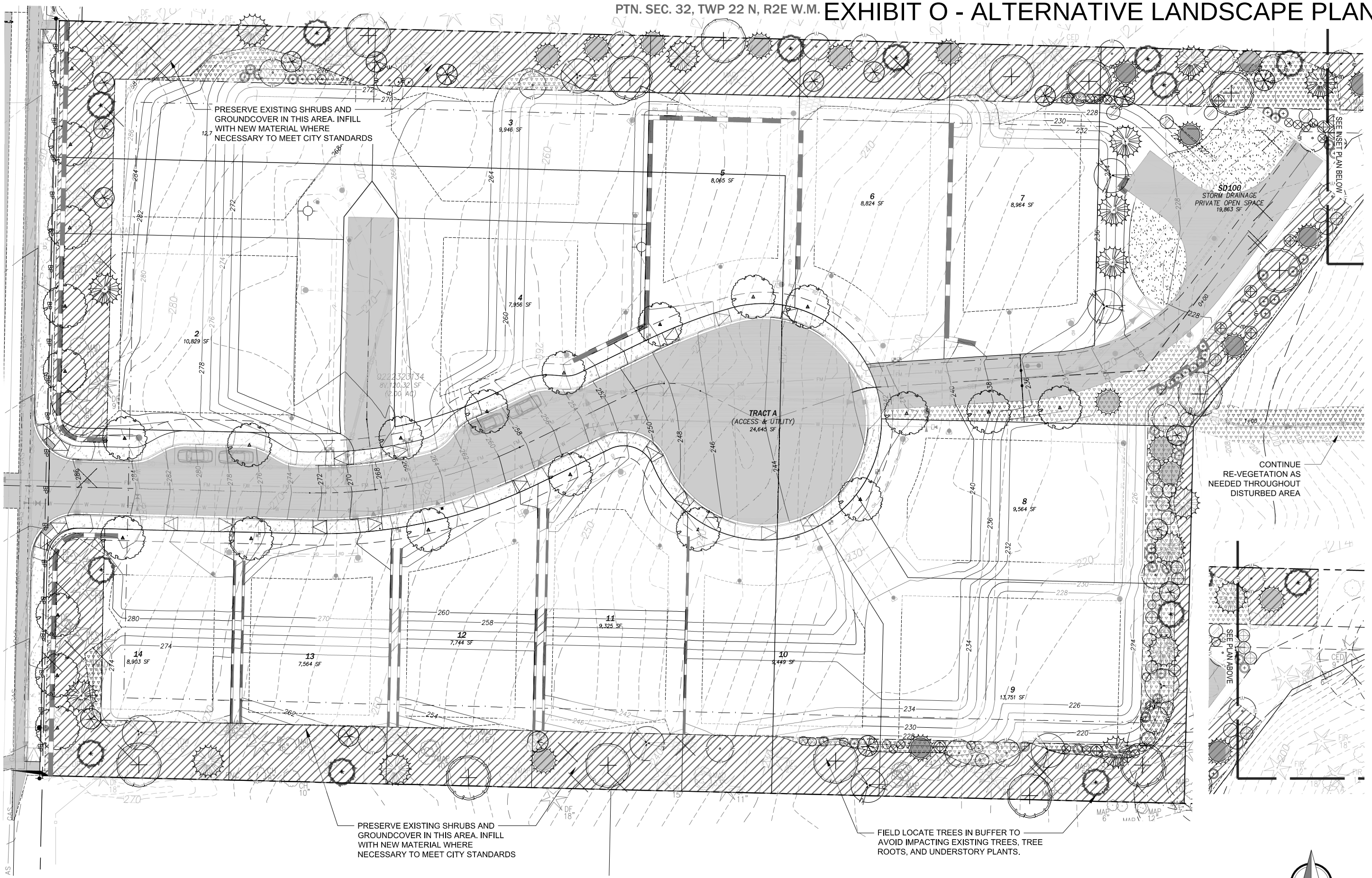
- NOTES:
1. THIS DETAIL PROVIDES GENERAL INFORMATION FOR THE INSTALLATION OF MECHANICALLY STABILIZED EARTH (MSE) WALLS. IT IS NOT INTENDED TO REPRESENT ALL DESIGN AND CONSTRUCTION CONSIDERATIONS SPECIFIC TO THIS PROJECT. MSE WALLS FOR THIS PROJECT SHALL BE INSTALLED PER AN APPROVED BY CITY GEOTECHNICAL ENGINEERING DESIGN AS PREPARED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON.
 2. ALL SOIL/GRAVEL BACKFILL, GEOTEXTILE STYLE, LENGTHS, AND SPACING; DRAINAGE AND FOUNDATION PROVISIONS; AND OTHER METHODS, MEANS, AND MATERIALS SHALL BE IN ACCORDANCE WITH WALL SYSTEM MANUFACTURER AND APPROVED PROJECT GEOTECHNICAL SPECIFICATIONS.

TYPICAL MSE WALL SECTION

NOT TO SCALE



PTN. SEC. 32, TWP 22 N, R2E W.M. EXHIBIT O - ALTERNATIVE LANDSCAPE PLAN



BY		CK	DRG
NO.		DATE	REVISION
1		5/6/22	PRELIMINARY SUBMITAL

THE RESERVE
PRELIMINARY PLAT (PL-PPLAT-22-0001)
LANDSCAPE PLAN

CITY OF GIG HARBOR
PIERCE COUNTY, WASHINGTON

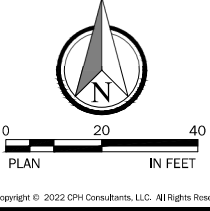
CLIENT
PROSPECT DEVELOPMENT, LLC
2913 5TH AVE NE, SUITE 201
PUYALLUP, WA 98372
PHONE: (253) 405-8695
EMAIL: JUSTIN@PROSPECTDEVELOP.COM

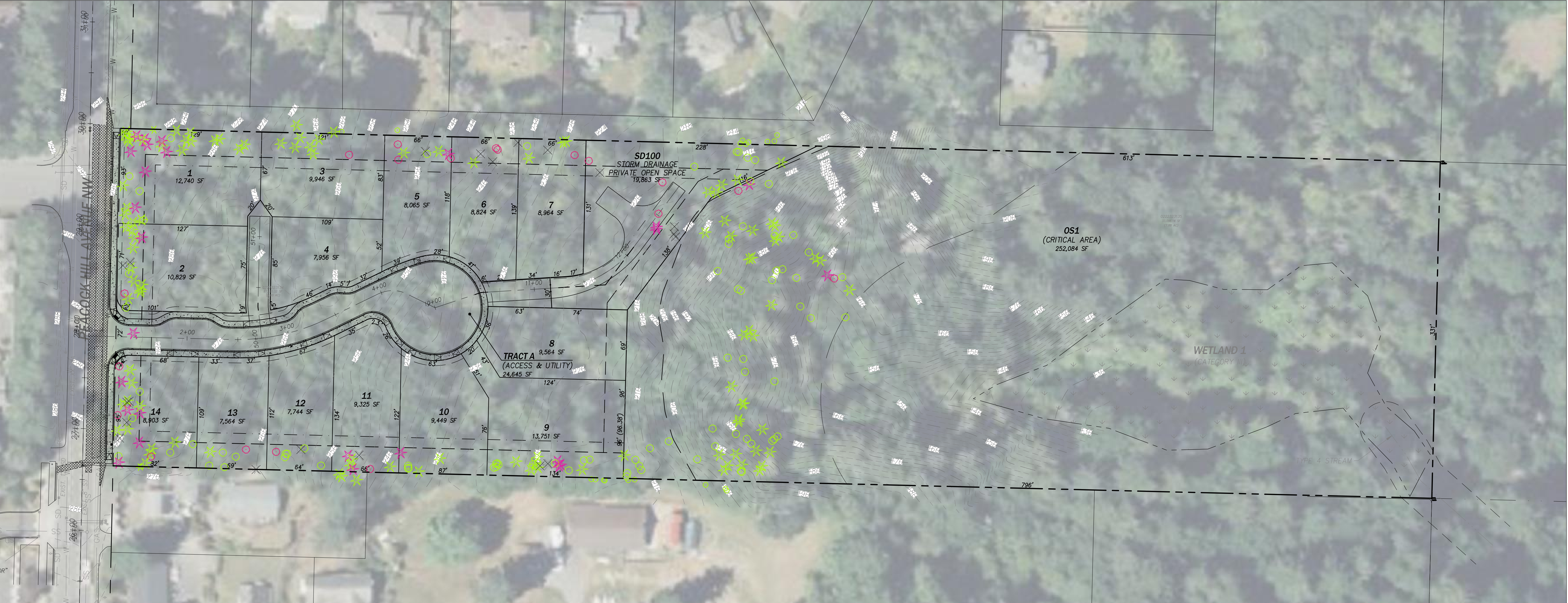
C|P|H CONSULTANTS
Site Planning • Civil Engineering
Landscape Architecture • Land Use Consulting
11321 8th NE 120th Street
Kirkland, WA 98033 • (425) 255-2390
101 South Wenatchee Avenue, Suite C3
Wenatchee, WA 98801 • (509) 293-7731
www.cphconsultants.com

PROJECT NO.
0228-21-001

DRAWING
L1.00

SHEET **33** OF **40**





Total Site Area: 430,216 sf (9.88 acres)

Developed Area: 178,132 sf (4.09 acres)

Undeveloped (open space) Area: 252,084 sf (5.79 acres)

Tax Parcel Nos.: 0222323134 and 0222323135



Planning Department

NOTICE OF RECOMMENDATION
CITY OF GIG HARBOR DESIGN REVIEW BOARD
PL-DR-16-0079

TO: Resource Properties
PO Box 310
Spanaway, WA 98387

CPH Consultants
c/o Mathew Hough, PE
11437 Willows Rd NE, Ste. 120
Redmond, WA 98052

FROM: Carl de Simas, Associate Planner

DATE: March 31, 2017

RE: The Reserve Preliminary Plat

Having reviewed the above referenced application at its meeting of March 23, 2017, the City of Gig Harbor Design Review Board (DRB) has made the following findings with regards to the specific requirements of the Design Manual:

Natural Site Conditions: The applicant proposes a design alternative to develop a site with far more imported fill than what would be cut resulting in an imbalance. The site would require several walls, which would be tiered, in order to achieve adequate building pads and road grades. Additionally, the eastern wall of the stormwater vault structure would be exposed reaching a maximum height of approximately 12 feet. The request goes beyond what can be administratively approved according to the specific requirements of the Design Manual.

A. GHMC 17.99.240(C) – Maintain natural topography.

Project Description: The project proposes a 14 lot subdivision on approximately 4.1 acres of currently undeveloped property. The current parcel configuration includes two parcels with a combined acreage of approximately 9.5 acres. The property lines would be adjusted through a boundary line adjustment to create the developable site. Site development improvements will include frontage improvements on Peacock Hill

Avenue, and on site development improvements including roads, utilities, and landscaping.

Findings: DRB finds the proposed design alternative for the Reserve meets the intent of the general requirement and is equivalent to the specific language because the proposed topography maintains the general grade of the site which slopes down away from the Peacock Hill Road right of way. The size and placement of the proposed walls, in addition to their design and utilization of vegetation, will help to minimize the potential for visual impacts. Additionally, the eastern lot which will contain hillsides, the stream and wetland, if kept in a restrictive covenant would presumably see no future development; further reducing the visual off-site impacts and limiting them to those future inhabitants of the subdivision itself.

Recommendation: The DRB recommends the Hearing Examiner approve the proposed design alternative for development of The Reserve Plat including an imbalanced cut and fill calculation resulting in the placement of several walls and an exposed stormwater vault wall pursuant to the following conditions:

1. The applicant utilizes tiered walls for Lots 8, 10, 11, 12 and 13, as proposed, with the downhill wall built shorter and to a height not more than 4 feet; the upper, taller wall built to a height not exceeding 7 feet. A plantable area, 4 feet in width, shall be included between the walls.
2. The stormwater vault shall be constructed as presented, a cast in place structure, with additional vegetative plantings along the southeastern side.

Rick Gagliano, Chairman
Design Review Board



Date 4/3/2017.