



**Agenda for Gig Harbor Historic Preservation Commission
Gig Harbor Civic Center
Tuesday, November 10, 2025 at 5:30 P.M.**

This meeting may be accessed through Zoom at <https://us06web.zoom.us/j/87940086049> or by calling (253) 215- 8782 and entering Meeting ID 879 4008 6049. Please see the Public Comment & Decorum section at the end of this agenda for information on options to make public comments. All participants will be engaged in the meeting via Zoom.

This meeting may also be viewed live in the Community Rooms at the Civic Center.

Call to Order/Roll Call:

Approval of Minutes: August 5, 2025

Public Comment:

Agenda Items:

Masonic Lodge – Presentation Community Development Director, Eric Baker and Commission discussion

Other Business: Next meeting Tuesday, January 27, 2026

Adjournment:

PUBLIC COMMENT & DECORUM

The city desires to allow a maximum opportunity for public comment. However, the business of the Historic Preservation Commission must proceed in an orderly, timely manner. The purpose of a Historic Preservation Commission meeting is to advise on subjects prescribed by the City Council; it is not a public forum.

Public comment may be made in-person from the microphone, remotely via Zoom or by phone during designated portions of the meeting. To speak during the meeting via Zoom, press the Raise Hand button near the bottom of your Zoom window or press *9 on your phone. Please refrain from raising your hand until the Chair has announced

that the Commission has opened the public comment portion of the meeting. Your name or the last three digits of your phone number will be called out when it is your turn to speak. When using your phone to call in, you may need to press *6 to unmute yourself. Speakers will be allotted 3 minutes per individual, unless revised by the chair. Comments shall be made, first giving the speaker's name and address. Anyone making "out of order" comments may be subject to removal from the meeting.

Instead of making oral comments, written comments may be submitted to the Historic Preservation Commission at PlanningComments@gigharborwa.gov.

All remarks shall be addressed to the commission as a body and not to any specific commissioner. All speakers shall be courteous in their language and deportment and shall not engage in or discuss or comment on personalities or indulge in derogatory remarks or insinuations with regard to any commissioner, or any member of the staff or the public.

There will be no demonstrations during or at the conclusion of any public comment. These guidelines are intended to promote an orderly system of holding public meetings, to give every person an opportunity to be heard and to ensure that no individuals are embarrassed by voicing their opinions.

AMERICANS WITH DISABILITIES (ADA) ACCOMMODATIONS

ADA accommodations can be provided upon request. Those requiring special accommodations should contact the city clerk at cityclerk@gigharborwa.gov or (253) 853-7613 at least 24 hours prior to the meeting.



"THE MARITIME CITY"

**Minutes for Gig Harbor Historic Preservation Commission
Thursday, August 5, 2025 at 5:30 P.M.
Community Development Conference Room**

Call to Order/Roll Call

Chair Ashlock called the meeting to order at 5:30 p.m. Commissioners Hoppen, Dhooge(virtually), Brais and Lile (virtually) were present.

Staff: Community Development Director, Eric Baker and Planning Technician, Michelle Thomas

Approval of Minutes

Motion: Move to approve minutes from January 28, 2025 (Hoppen/Ashlock)

Vote: Unanimously approved

Public Comment on Non-Agenda Items

None.

Agenda Items

Introduction of Commissioners Brais and Lile

Comprehensive Plan Update and Next Steps, Community Development Director Baker introduced topic, followed by Commission discussion

Other Business

Webinar opportunity Historic Preservation and Coastal Flooding Webinar Series. Next meeting Tuesday, October 28, 2025 topic to be determined.

Adjournment 6:50 p.m.

Michelle Thomas

Michelle Thomas
Planning Technician

Masonic Lodge

Historic Preservation Commission

November 10, 2025

Eric Baker, Community Development Director





CRESCENT VALLEY SCHOOL

- Constructed in 1915
- Operated as a community school until 1941.

JOHN PAUL JONES TEMPLE

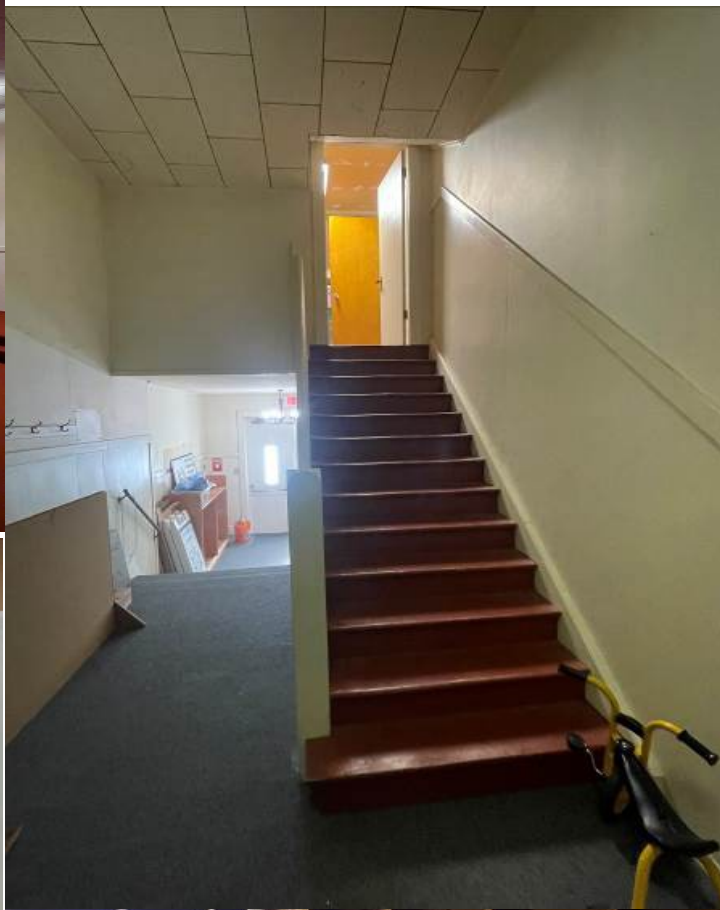


- Purchased by the Mason Temple Association in 1949.
- Substantially renovated.
- Removed second story and tower.
- Doubled the footprint
- Removed the School's addition

MASONIC LODGE



- Further revised the architecture
- Covered windows on the main floors
- Updated with vinyl siding/pillars and metal roof.
- Carpeted interior.
- Purchased by the City in 2017.



CURRENT CONDITION

- Assessments show levels of asbestos, lead contamination.
- Foundation is structurally cracked with long-term leaking.
- Substantial moisture requiring regular dehumidifying
- No seismic upgrades.

GHMC 17.97.040.A. CRITERIA FOR DETERMINING DESIGNATION IN THE REGISTER.

1. Is associated with events that have made a significant contribution to the broad patterns of national, state or local history;
2. Embodies the distinctive architectural characteristics of a type, period, style, or method of design or construction, or represents a significant and distinguishable entity whose components may lack individual distinction;
3. Is an outstanding work of a designer, builder, or architect who has made a substantial contribution to the art;
4. Exemplifies or reflects special elements of the city's cultural, special, economic, political, aesthetic, engineering, or architectural history;



GHMC 17.97.040 (CONT'D)

5. Is associated with the lives of persons significant in national, state or local history;
6. Has yielded or may be likely to yield important archaeological information related to history or prehistory;
7. Is a building or structure removed from its original location but which is significant primarily for architectural value, or which is the only surviving structure significantly associated with an historic person or event;

GHMC 17.97.040 (CONT'D)

8. Is a birthplace or grave of an historical figure of outstanding importance and is the only surviving structure or site associated with that person;
9. Is a cemetery which derives its primary significance from age, from distinctive design features, or from association with historic events, or cultural patterns;
10. Is a reconstructed building that has been executed in an historically accurate manner on the original site;
11. Is a creative and unique example of folk architecture and design created by persons not formally trained in the architectural or design professions, and which does not fit into formal architectural or historical categories.



GHMC 17.97.050.4

CERTIFICATE OF APPROPRIATENESS

- a. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
- b. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
- c. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

GHMC 17.97.050.4 (CONT'D)

- d. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
- e. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a historic property shall be preserved.
- f. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.

GHMC 17.97.050.4 (CONT'D)

- g. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
- h. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
- i. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

OTHER REVIEW

The HPC's feedback will be an additional data point for Council consideration. Other feedback includes:

- Public surveys and comment on the Crescent Creek Parks Master Plan Review
- Parks Commission Recommendation
- Youth Council Recommendation
- Public advocacy for the Lodge to remain

City Council will meet to discuss to determine a final direction on November 20th.

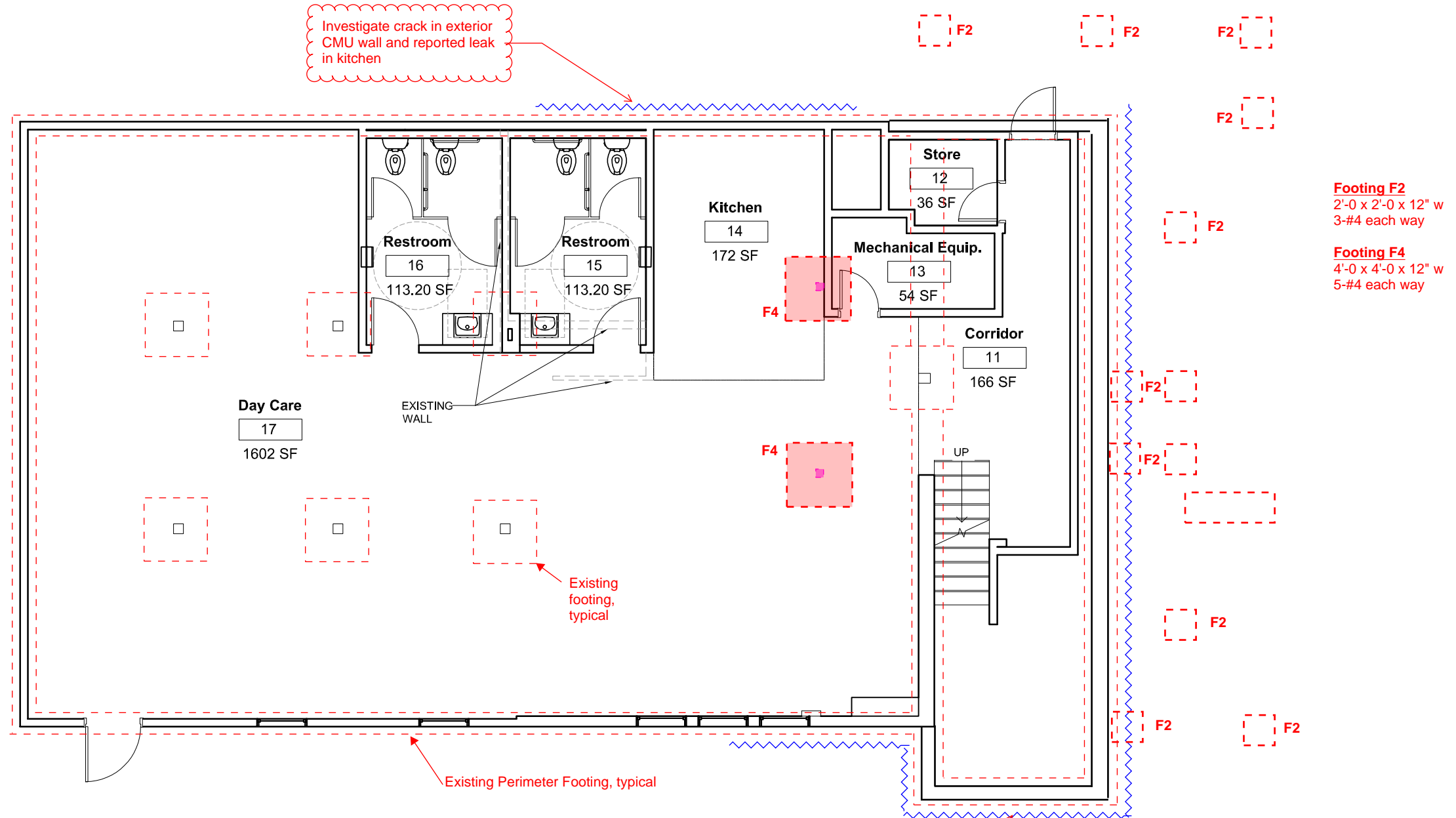
COUNCIL REQUEST



HPC feedback:

- Review of historic significance based on GHMC 17.97
- Not what it should be repurposed as.

This is not a request for formal designation.



MASONIC LODGE

3025 96TH ST, GIG HARBOR, WA 98335
 OWNER: CITY OF GIG HARBOR CRESCENT CREEK PARK

REVISION	DATE

Design:
 Drawn:
 Checked:
 Project No.

Issuance

Date: 03/03/2023

Drawing Title

FLOOR PLAN

Drawing Number

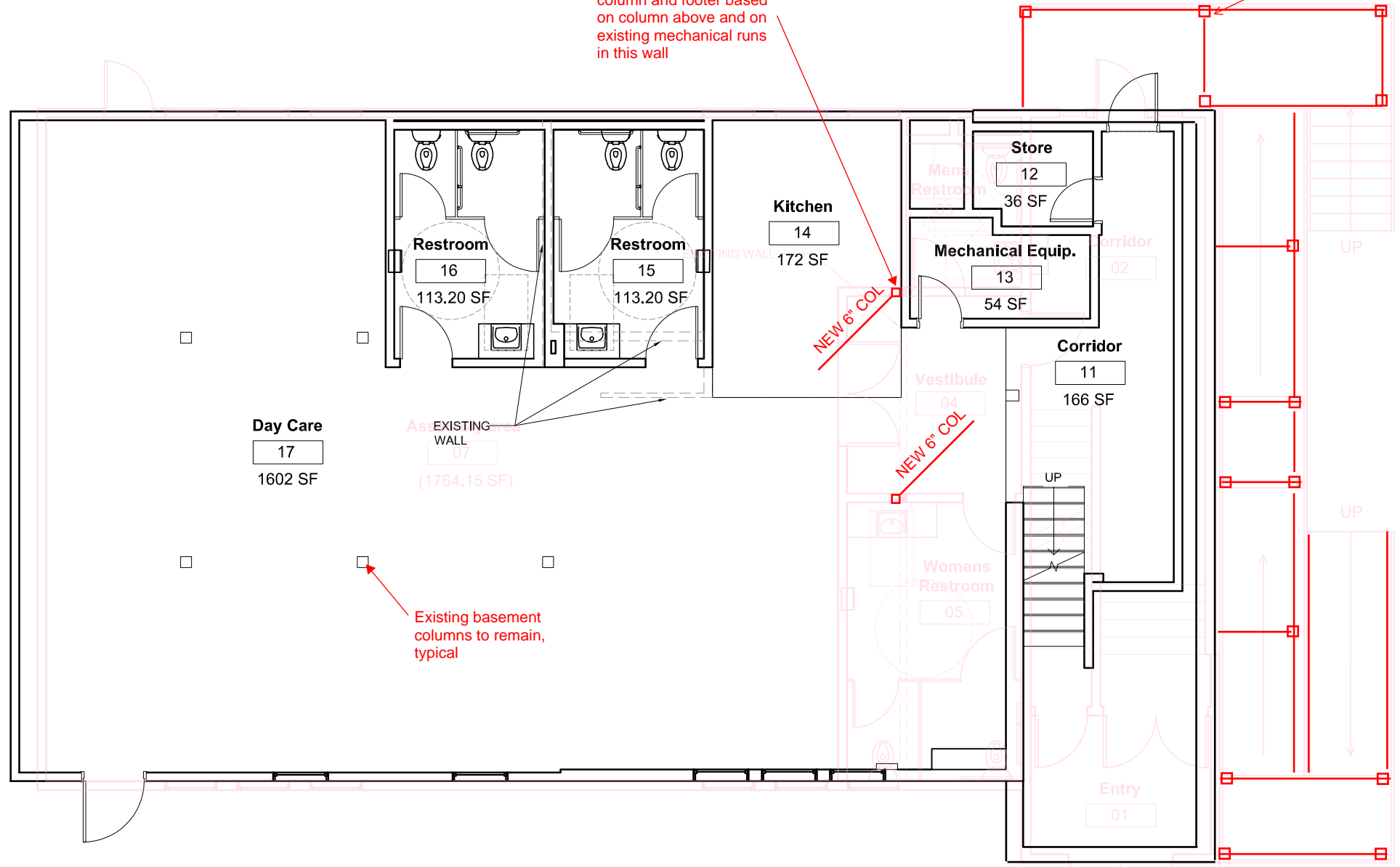
A101

FOUNDATION PLAN

Existing structural framing components to remain, unless noted otherwise.

Typical Ramp
Framing:
 2x Decking
 2x10 Joists @ 16
 2-2x10 Rims & Beams
 4x4 Posts
 24"sq footings

Field verify location of new column and footer based on column above and on existing mechanical runs in this wall



Existing basement columns to remain, typical

MASONIC LODGE

3025 96TH ST, GIG HARBOR, WA 98335
 OWNER: CITY OF GIG HARBOR CRESCENT CREEK PARK

REVISION	DATE

Design:
 Drawn:
 Checked:
 Project No.

Issuance

Date: 03/03/2023

Drawing Title

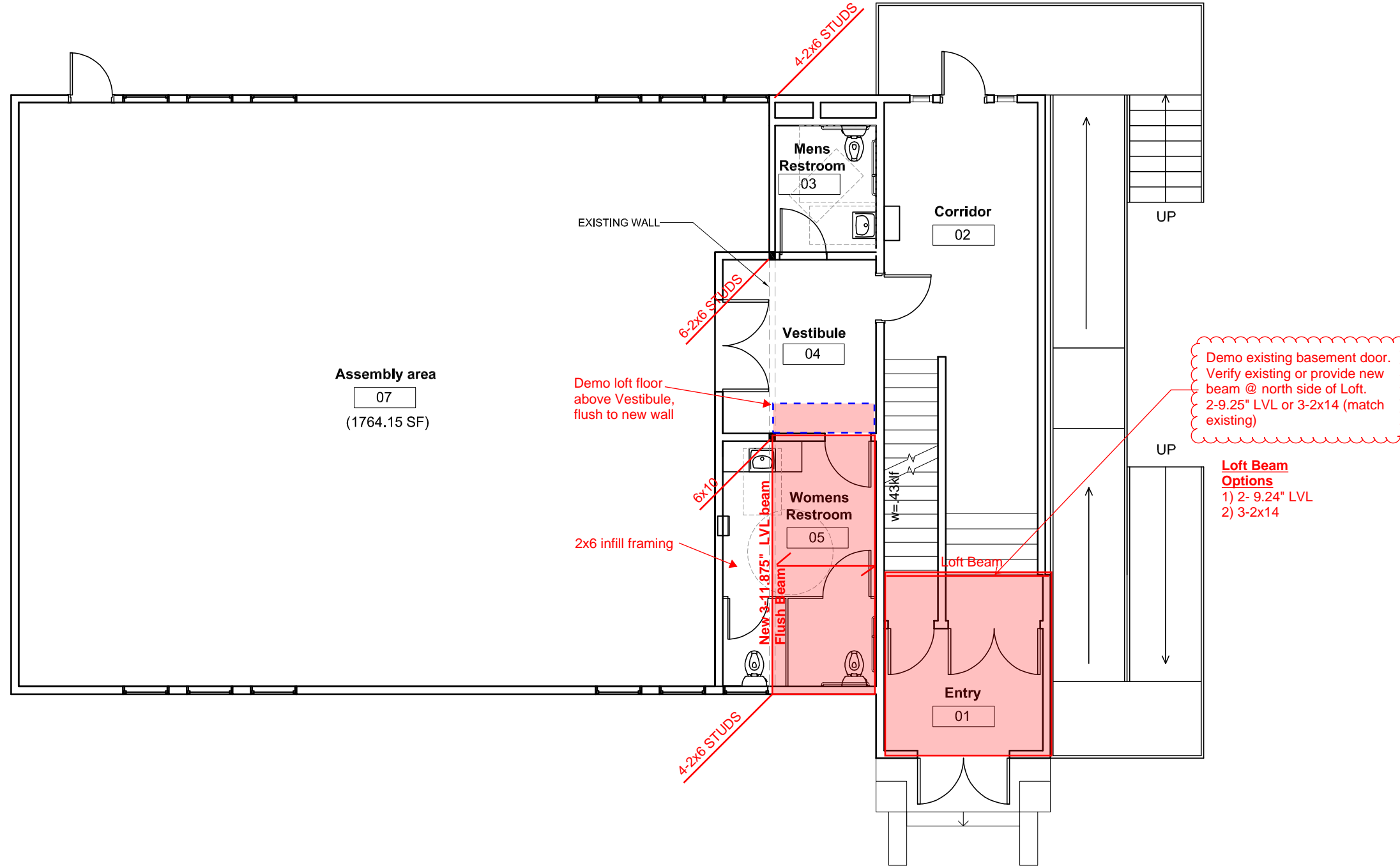
FLOOR PLAN

Drawing Number

A101

MAIN FLOOR FRAMING PLAN

Existing structural framing components to remain, unless noted otherwise.



Demo existing basement door.
Verify existing or provide new
beam @ north side of Loft.
2-9.25\" LVL or 3-2x14 (match
existing)

**Loft Beam
Options**
1) 2- 9.24\" LVL
2) 3-2x14

MASONIC LODGE

3025 96TH ST, GIG
HARBOR, WA 98335
OWNER:
CITY OF GIG HARBOR CRESCENT
CREEK PARK

REVISION	DATE

Design:
Drawn:
Checked:
Project No.

Issuance

Date: 27/02/2023

Drawing Title

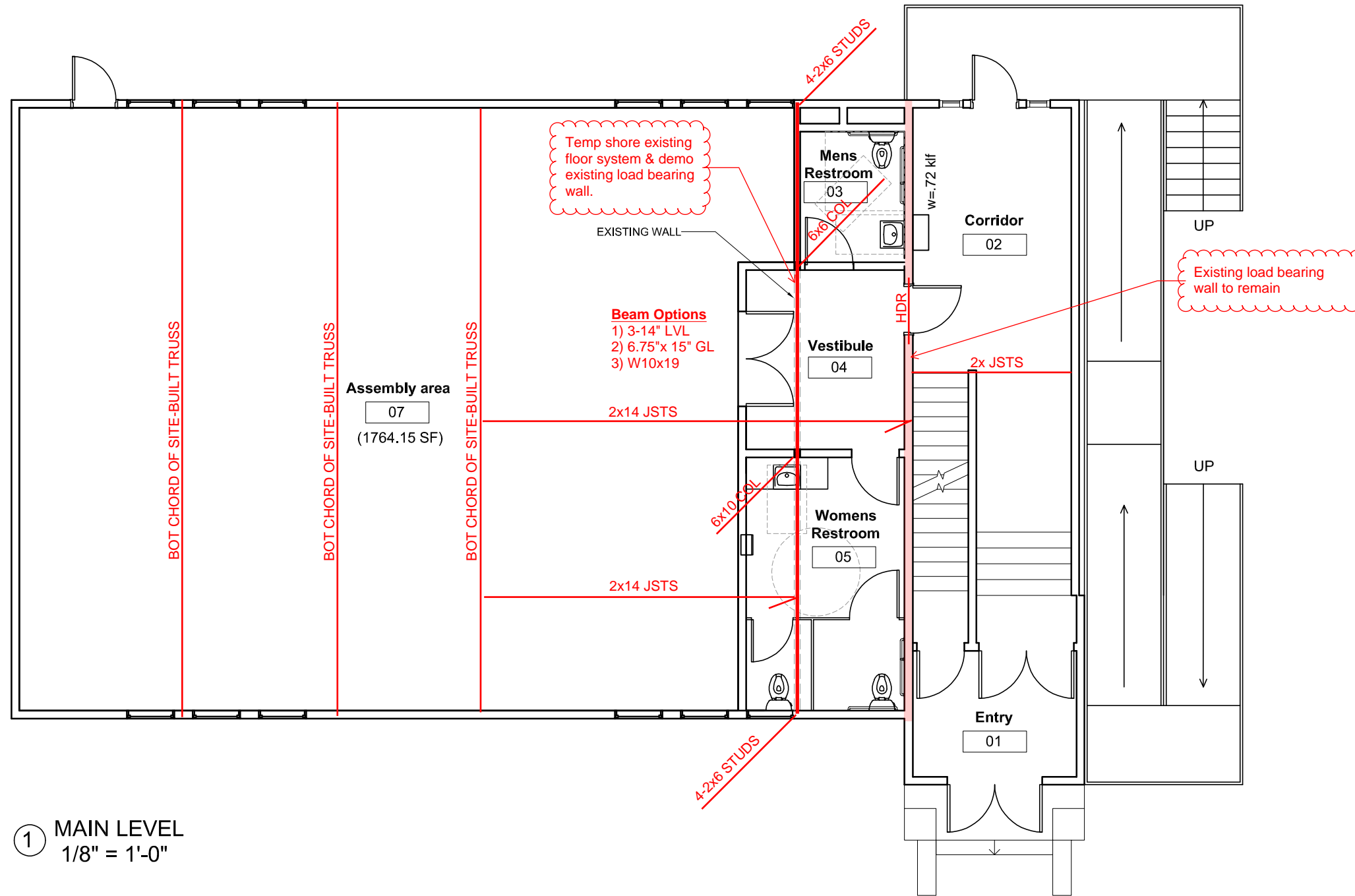
FLOOR PLAN

Drawing Number

A102

LOFT FLOOR FRAMING PLAN

Existing structural framing components to remain, unless noted otherwise.



① MAIN LEVEL
1/8" = 1'-0"

SECOND FLOOR FRAMING PLAN

Existing structural framing components to remain, unless noted otherwise.

MASONIC LODGE

3025 96TH ST, GIG HARBOR, WA 98335
OWNER: CITY OF GIG HARBOR CRESCENT CREEK PARK

REVISION	DATE

Design:
Drawn:
Checked:
Project No.

Issuance

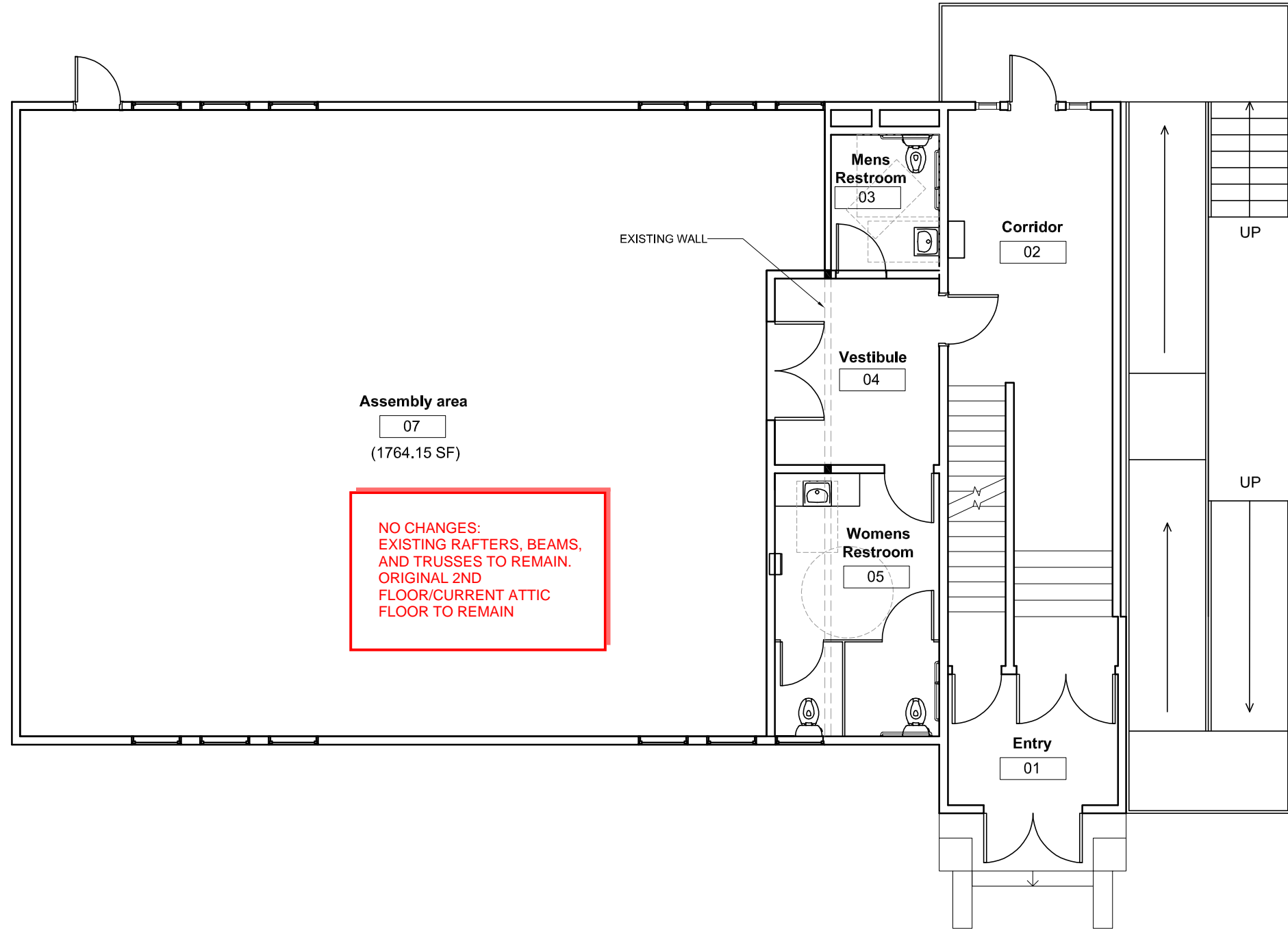
Date: 27/02/2023

Drawing Title

FLOOR PLAN

Drawing Number

A102



Assembly area
 07
 (1764.15 SF)

**NO CHANGES:
 EXISTING RAFTERS, BEAMS,
 AND TRUSSES TO REMAIN.
 ORIGINAL 2ND
 FLOOR/CURRENT ATTIC
 FLOOR TO REMAIN**

MASONIC LODGE

3025 96TH ST, GIG
 HARBOR, WA 98335

OWNER:
 CITY OF GIG HARBOR CRESCENT
 CREEK PARK

REVISION	DATE

Design:
 Drawn:
 Checked:
 Project No.

Issuance

Date: 27/02/2023

Drawing Title

FLOOR PLAN

Drawing Number

A102

ROOF FRAMING PLAN

Existing structural framing components to remain, unless noted otherwise.

February 28, 2023

PND No. 224063

HBB Landscape Architecture
Attn: Juliet Vong
2101 4th Ave Unit 1800
Seattle WA, 98121

CC: Sheenam Arora, HBB
Rich Murakami, Rolluda Architects

Subject: City of Gig Harbor Crescent Creek Park

1. INTRODUCTION

PND has completed the condition assessment on the visible superstructure of the Crescent Valley School House/Masonic Lodge (Masonic Lodge) located at City of Gig Harbor's Crescent Creek Park. The purpose of this condition assessment is to provide an inspection report; documenting the existing conditions of the Masonic Lodge. Specifically, the condition assessment focused on documenting the existing building structural design elements including; exterior condition, roof and floor framing elements, load bearing walls and columns, and visible foundation elements. PND performed an initial site inspection on February 10, 2023, in conjunction with representatives of Rolluda Architects and City staff, the observations and inspection findings are described in the following sections of this document.

The report contains two appendices:

- **Appendix A – Framing and Floor Plan Field Notes**
- **Appendix B – Field Photographs**

2. BACKGROUND

As noted in the "Phase 1 Environmental Site Assessment – Masonic Lodge Property" (Aspect 2017), the original Crescent Valley School building was constructed in 1915 and was operated as a school until 1941. The property was then purchased in 1949 by the Masonic Temple Association of Gig Harbor (MTA), after which the building underwent significant remodeling which included an addition to the west side of the building, and removal of the existing second floor of the school building, see photographs 2.1 and 2.2.



Photograph 2-1. Crecent Valley School Building – South and West Exterior prior to MTA remodel (Circa 1948). Photograph from Harbor History Museum website (www.harborhistorymuseum.org)



Photograph 2-2. Masonic Lodge – South and West Exterior current condition, post MTA remodel (2023). Photograph from google maps street view (maps.google.com)

3. SPECIAL REPORTS AND STUDIES

The following reports have been utilized in the development of this document. Each report is within the project file and can be provided upon request.

- “Phase 1 Environmental Site Assessment - Masonic Lodge Property”, City of Gig Harbor, prepared by Aspect Consulting June 2017.
- “Masonic Lodge” Draft - Technical Memorandum – prepared by Rolluda Architects, February 2023

4. INSPECTION METHODOLOGY AND LIMITATIONS

The purpose of the inspection of the existing structure was to observe the condition of the wood framing, the sizing and capacity of the existing members in regard to repurposing the structure, observation of the concrete foundation for any deficiencies, and a general assessment of the overall condition of the structure. Only the members already exposed were examined; no destructive testing was performed.

5. SUMMARY OF EVALUATION AND ASSESSMENT

5.1 BUILDING EXTERIOR

The historic structure exterior wall is built with diagonal 2x planking on 2x studs @ 16” oc. (Photo No. 18) The exterior wall of the addition was not immediately available but appeared to be similar. The historic foundation is built with poured concrete walls, the addition is built with CMU. (Photo No. 1) The concrete has various cracks and chips. There is evidence of a leak in the southeast corner, as observed in the crawlspace. The CMU foundation has several cracks; reinforcement is undetermined. (Photo No. 8)

5.2 ROOF ELEMENTS

A hip roof is constructed with T&G planking on 2x rafters, hip and ridge boards to cover the entirety of the building. (Photo No. 13) Site-built trusses span north-to-south across the full width of the addition part of the building and support an east-west beam that carries the rafters at mid-span. The roof over the historic portion of the building is constructed over the existing second floor framing, forming an attic space. (Photo No. 11) The rafters, trusses and beams appeared generally to be sized appropriately and in acceptable condition.

5.3 2ND FLOOR ELEMENTS

The 2nd floor framing of the historic structure is comprised of 2x14 joists @ 12” oc, generally in good condition. (Photo No. 17) The floor sheathing and joists did not extend to the exterior walls of the historic structure. At the historic side, the area between the 2nd floor and the exterior wall is generally built with smaller 2x ceiling joists above the entry area. On the new side, no floor exists, and the ceiling below is supported by the site-built trusses.

5.4 1ST FLOOR ELEMENTS

The first floor, both the historic portion and the added portion, were not exposed, but appeared to be similarly sized to the 2nd floor. (Photo No. 18) The joists spanned between beams, which were in turn supported on posts. The floor appeared sturdy, with no apparent sags, bounce, or soft spots. The floor plan in Appendix A outlines the location and sizes of the posts and beams.

6. IMPACTS OF PROPOSED ALTERNATIVES

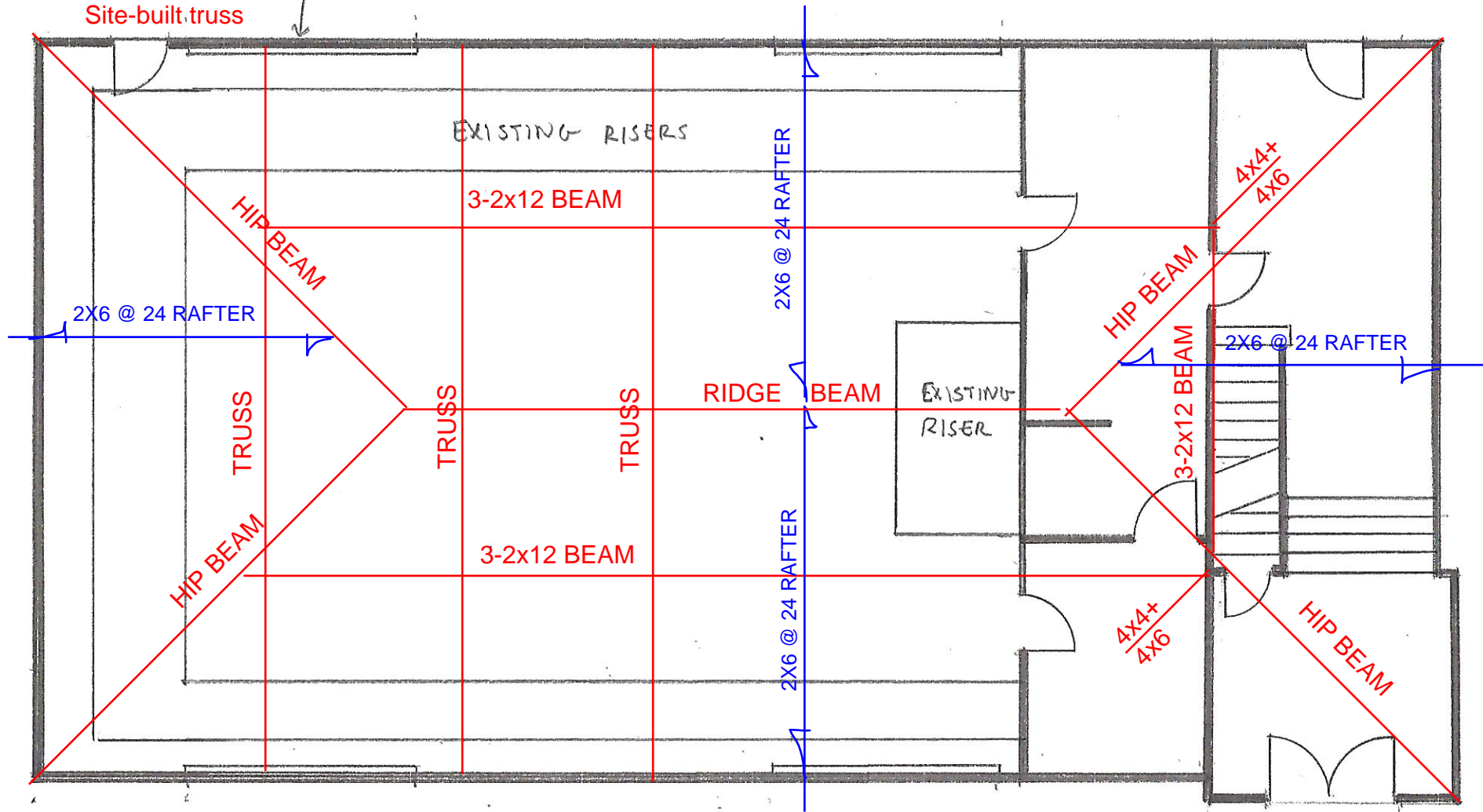
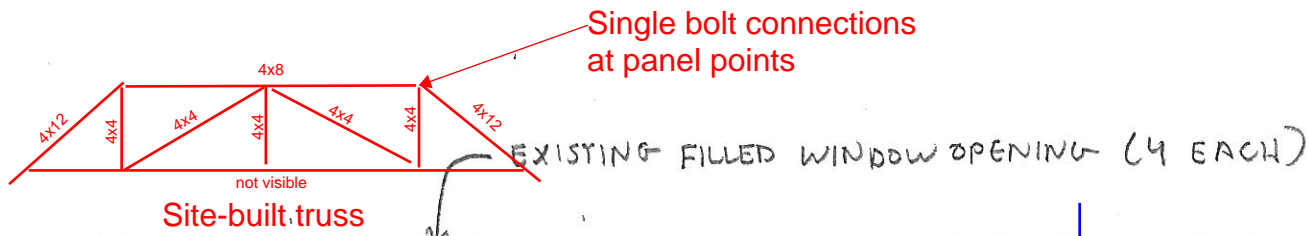
This section is to up updated as part of a later phase of the project once initial concepts for proposed future uses of the facility are considered.

7. RECOMMENDATIONS

This section is to up be updated as part of a later phase of the project once initial concepts for proposed future uses of the facility are considered.

Appendix A. Framing and Floor Plan Field Notes.

See attached.

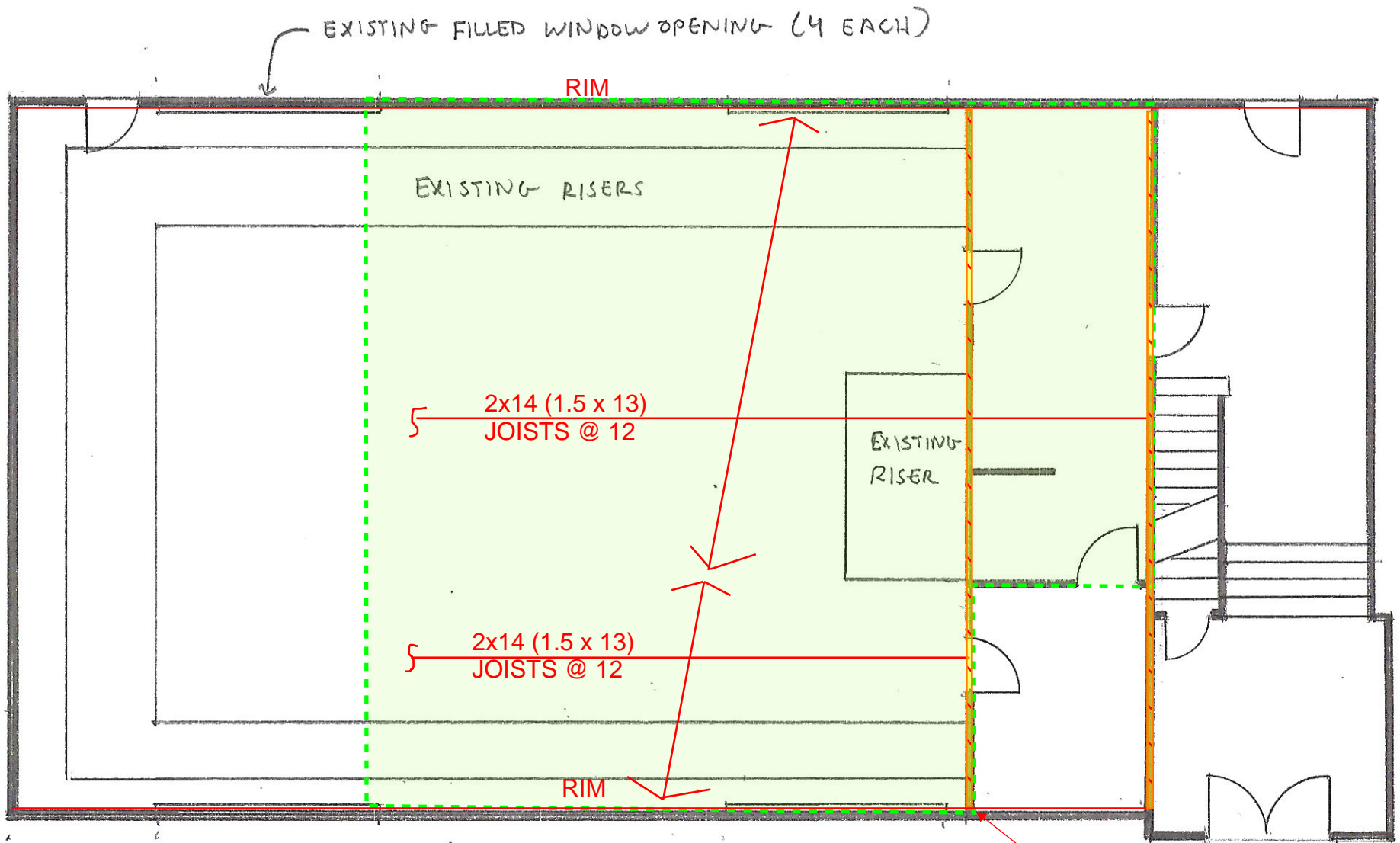


MASONIC LODGE

EXISTING MAIN FLOOR PLAN



ROOF PLAN

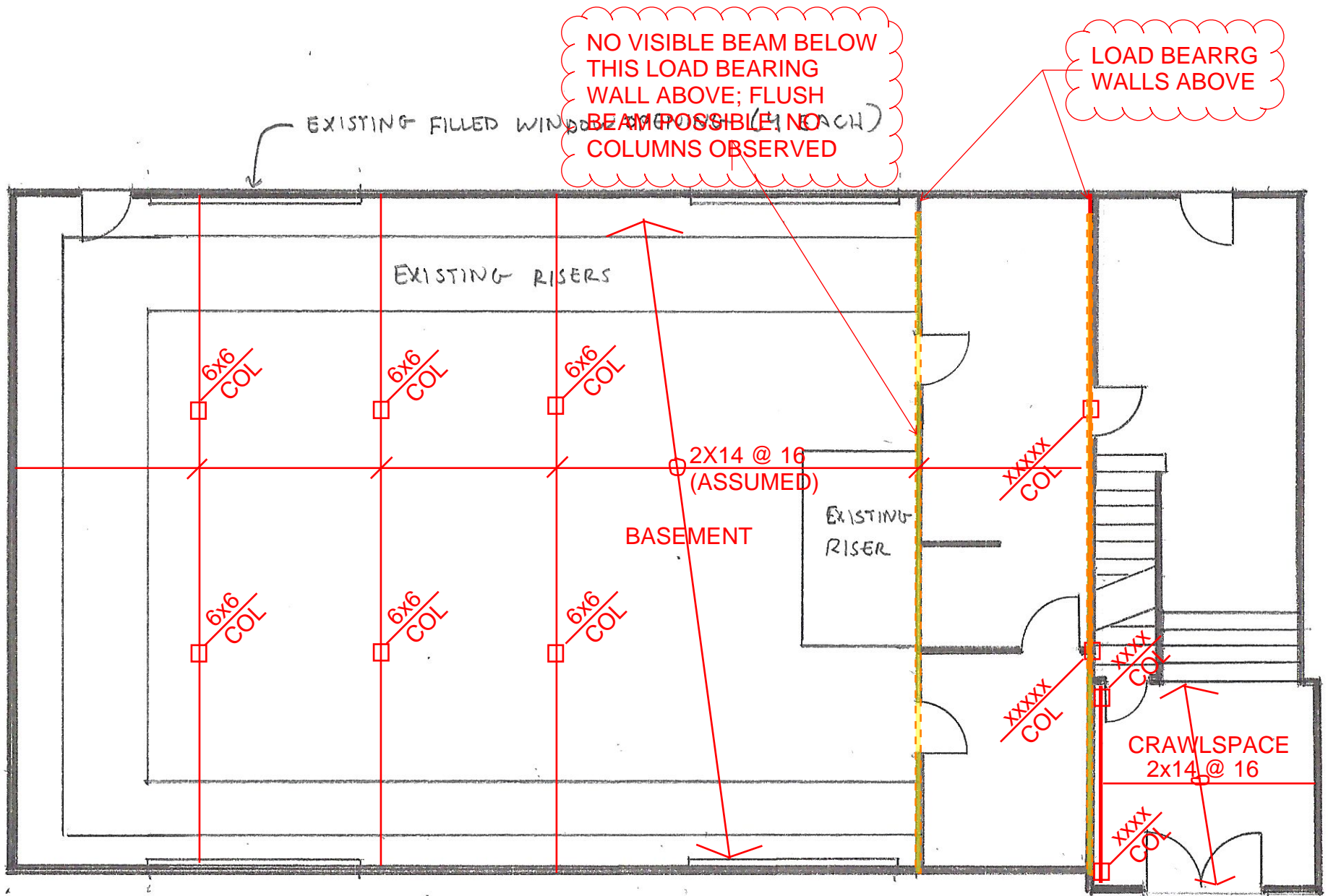


MASONIC LODGE

EXISTING MAIN FLOOR PLAN



2nd FLOOR FRAMING PLAN



MASONIC LODGE

EXISTING MAIN FLOOR PLAN

MAIN FLOOR FRAMING PLAN

Appendix B. Field Photographs.

See attached.



Photograph No. 1

Exterior, north wall, looking south.

Notes:

Wall with historic (left) and addition (right). Crack developed at block/concrete interface.



Photograph No. 2

Exterior, north wall, looking east

Notes:

Typical condition of historic foundation. Block infill at existing opening.

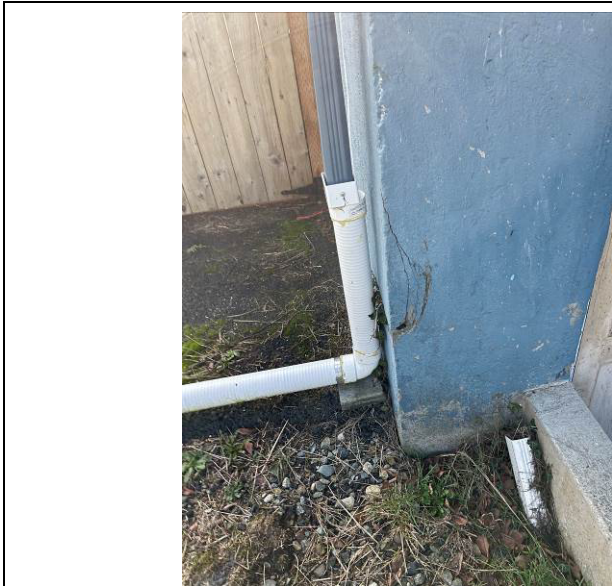


Photograph No. 3

Exterior, north wall, looking east

Notes:

Basement access in historic foundation.



Photograph No. 4

Exterior, northeast corner, looking south.

Notes:

Concrete damage. Possible rebar exposure.

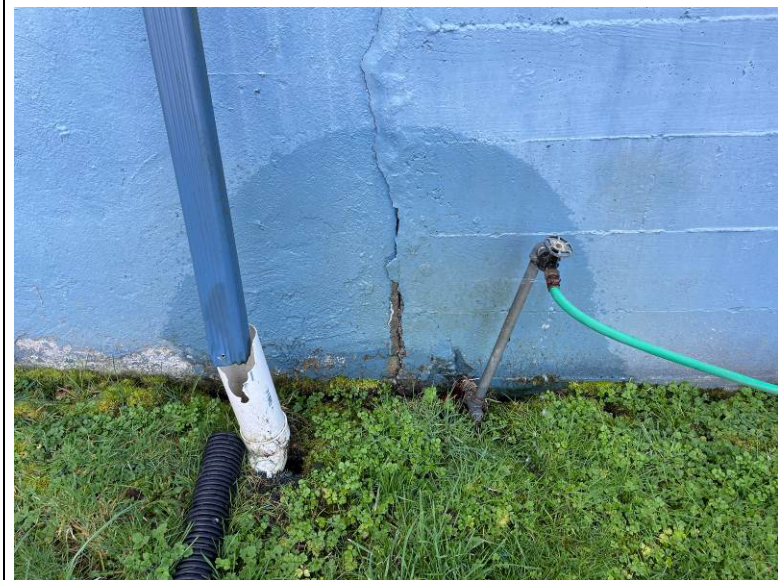


Photograph No. 5

Exterior, north wall, looking south.

Notes:

Exterior exist & stairway from main floor



Photograph No. 6

Exterior, north wall, looking south.

Notes:

Water infiltration risk at interface of historic foundation and addition.



Photograph No. 7

Exterior, west wall, looking east

Notes:

Overview of south end of west addition basement wall



Photograph No. 8

Exterior, west wall, looking east

Notes:

Overview of south end of west addition basement wall.
Note cracks near center



Photograph No. 9

Exterior, west wall, looking east

Notes:

Top of concrete footing visible, depth undetermined.



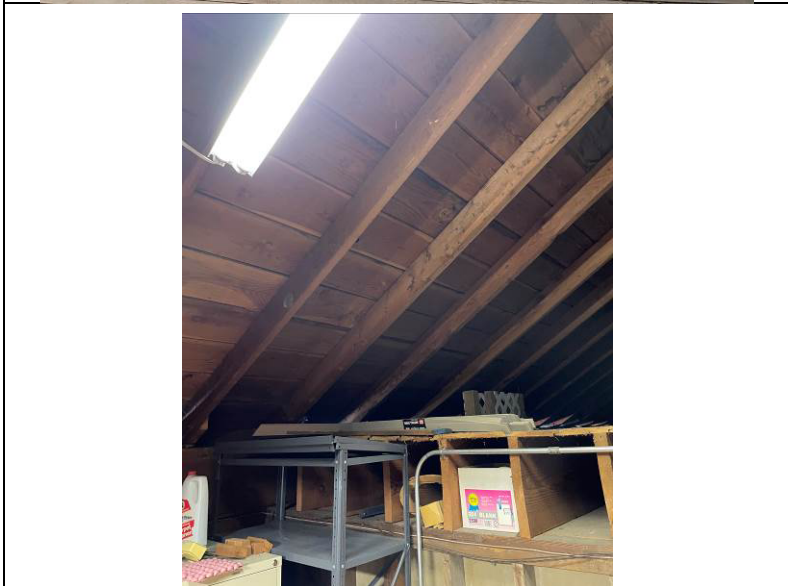
Photograph No. 10
Exterior, west wall, looking east

Notes:
A close up of one of the cracks. The crack begins at the top of a 2x buck that has remained within the CMU wall.



Photograph No. 11
Interior, attic, looking SE

Notes:
Overview of 2x rafters, beam, and historic 2nd floor



Photograph No. 12
Interior, attic, looking SW

Notes:
Close up of 2x rafters bearing on exterior wall.



Photograph No. 13

Interior, attic, looking west

Notes:

Site built truss. 4x members, stitch plates, and rafter beam visible



Photograph No. 14

Interior, attic, looking west

Notes:

Site built truss. 4x members, stitch plates, and rafter beam visible. Note possible water on floor.



Photograph No. 15

Interior, attic, looking east

Notes:

General condition of roof and 2nd floor over historic portion of structure.



Photograph No. 16

Interior, attic, looking north

Notes:

Existing brick chimney

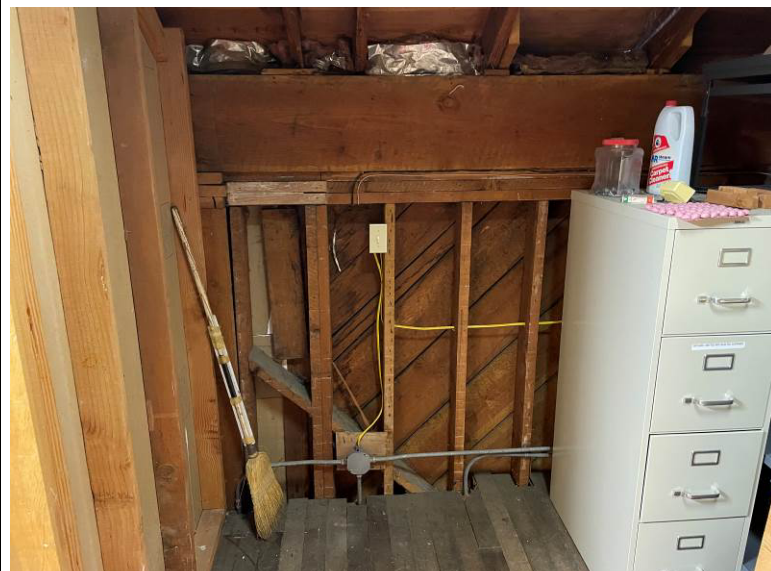


Photograph No. 17

Interior, attic, looking west

Notes:

Typical 1x T&G decking on 2x14 2x14 floor joists at 12" oc. Interior 2x bearing wall below.

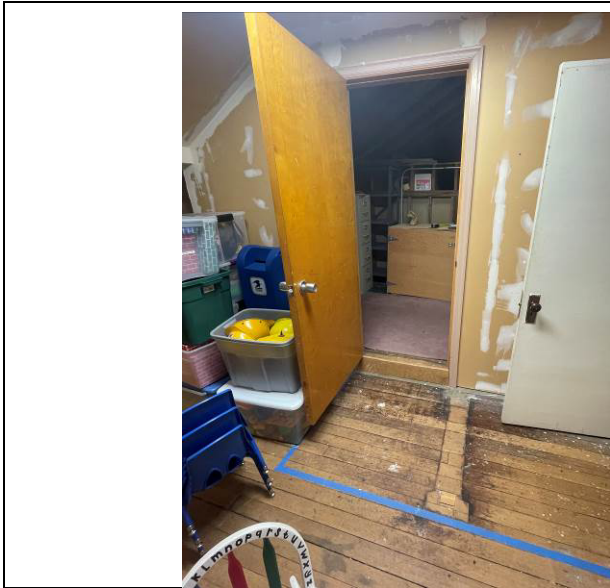


Photograph No. 18

Interior, attic, looking south

Notes:

Rafters bearing on 14" continuous rim beam. Exterior diagonal sheathing visible on typical 2x studs. 14' x continuous rim.

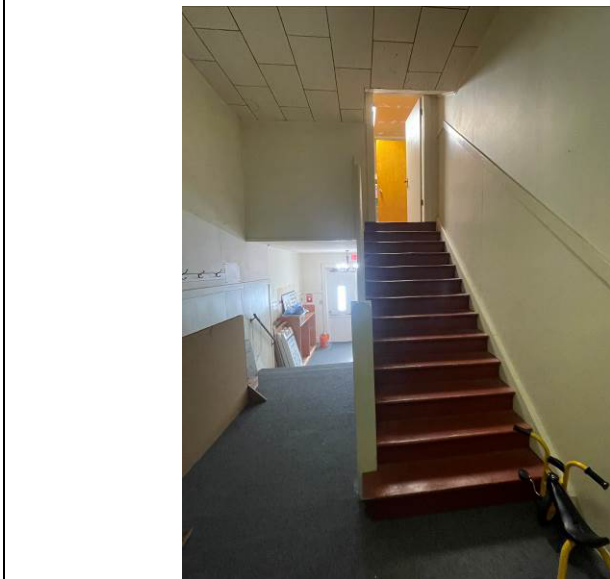


Photograph No. 18

Interior, entrance to attic, looking west

Notes:

Typical interior condition



Photograph No. 18

Interior, entrance to attic, looking south

Notes:

Typical interior condition



Photograph No. 18

Interior, from main entrance, looking north

Notes:

Basement access on left, stairs to main floor on left.
Crawlspace is located under this entrance/foyer floor.



Photograph No. 18
Interior, main floor, looking south

Notes:
Typical interior condition



Photograph No. 18
Interior, main floor, looking south

Notes:
Typical interior condition



Photograph No. 18
Interior, main floor, looking west

Notes:
Typical interior condition



Hazardous Building Materials Assessment

**3025 96th Street
Gig Harbor, WA 98332**

03 March 2023



Prepared for: City of Gig Harbor
3510 Grandview Street
Gig Harbor, WA 98335

Prepared by: DH Environmental, Inc.
1011 SW Klickitat Way,
Suite 107
Seattle, WA 98134

Professional Services Contract
Project Number: CPP-1925

EXECUTIVE SUMMARY

The City of Gig Harbor retained DH Environmental, Inc. (DH Environmental) to conduct a hazardous building materials assessment for the building located at 3025 96th Street in Gig Harbor, WA. DH Environmental provided one AHERA accredited building inspector to conduct the assessment on March 3rd, 2023. The scope of the services included assessing the building for hazardous building materials in anticipation of the forthcoming renovation.

DH Environmental assessed the building for the following hazardous building materials:

- Asbestos-containing materials (ACM);
- Lead-based paints (LBP)
- Polychlorinated Biphenyls (PCBs)
- Other hazardous building materials (universal waste, refrigerant gases, propane cylinders and smoke detectors)

Twenty-five (25) bulk samples of suspect asbestos-containing materials were collected and analyzed using polarized light microscopy (PLM). **Two (2) of the samples were found to contain asbestos greater than 1%. Building materials that contain greater than 1% asbestos are considered “Asbestos Containing Materials” by regulatory definition.**

Seventy-eight (78) locations in the building were analyzed using an X-ray fluorescence analyzer (XRF). **Thirteen (13) of the locations were found to contain lead above the Federal lead-based paint concentration criteria of 1 mg/cm².**

Other hazardous materials such as fluorescent lamps, light ballasts, fire extinguishers, and emergency exit signs were identified during the inspection and are inventoried in the report.

One sample of suspected PCB containing paint were collected and analyzed for PCBs by EPA Method 8082. The sample was below the regulatory limit of 50 mg/kg for PCBs.

PROJECT INFORMATION

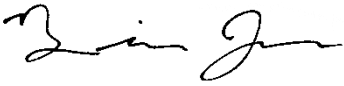

Project Title	3025 96 th Street, Gig Harbor, WA Hazardous Building Materials Assessment
Assessment Conducted by	DH Environmental, Inc. 1011 SW Klickitat Way, Suite 107 Seattle, WA 98134
Project Owner	City of Gig Harbor
Contract Vehicle	City of Gig Harbor Professional Services Contract Project Number: CPP-1925
Owner's Representative	Jennifer Haro Parks Manager
Assessment Personnel	Brian Johnson, OHST, CET AHERA Accredited Building Inspector Certified Lead Risk Assessor Lacee Ostbye, CHMM Sr. Environmental Specialist
Survey Date(s)	03 March 2023
Report Delivery Date	23 March 2023
Report Prepared by	 Brian Johnson, OHST, CIT AHERA Accredited Building Inspector Certified Lead Risk Assessor EHS Program Manager
Report Reviewed by	 Expires 12/01/2023 David Hill, PE, CHMM, CPEA Principal DH Environmental, Inc.

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- Attachment 1 Site Photos
- Attachment 2 Laboratory Analytical Reports
- Attachment 3 XRF Data
- Attachment 4 Laboratory Certifications
- Attachment 5 Inspector Certifications

1.0 INTRODUCTION

The city of Gig Harbor retained DH Environmental, Inc. (DH Environmental) to conduct a hazardous building materials assessment of the building located at 3025 96th Street in Gig Harbor, WA. DH Environmental provided one AHERA accredited building inspector to conduct the assessment on March 3rd, 2023.

1.1 Scope of Services

The scope of the services included assessing parts of the building for hazardous building materials in anticipation of forthcoming renovation in accordance with 40 CFR 763, Puget Sound Clean Air Agency Regulation III, Article 4.02(a), and the Washington State Dangerous Waste Regulations (WAC 173-303).

DH Environmental assessed the building for the following hazardous building materials:

- Asbestos-containing materials (ACM);
- Lead-based paints (LBP)
- Polychlorinated Biphenyls (PCBs)
- Other hazardous building materials:
 - refrigerant gases (CFCs)
 - smoke detectors
 - Fluorescent lamps

1.2 Assessment Objective

The objective of this hazardous building materials assessment is to assist the City of Gig Harbor with communicating the presence of hazardous building materials and the presence, location, and quantity of ACM to employees, vendors, and contractors working in the project area. In addition, this assessment is meant to satisfy the requirements for an asbestos survey for the Puget Sound Clean Air Agency (PSCAA) and a good faith inspection as required by Washington State Department of Labor and Industries' Division of Occupational Safety and Health (DOSH) regulations prior to building demolition or renovation. Regulations require that a complete copy of this assessment be kept in a conspicuous location on-site at all times during activities that may impact known and suspect ACM.

2.0 SITE DESCRIPTION

The building located at 3025 96th Street in Gig Harbor was built in 1915 and is approximately 2,272 sq ft. The building was initially constructed to serve as a school for the growing community. Throughout its long history the building has also served as a Masonic Temple, storage for the City of Gig Harbor, and is currently an active co-op pre-school.

3.0 ASBESTOS CONTAINING MATERIALS ASSESSMENT

3.1 Applicable ACM Regulations

The Washington State Department of Labor and Industries' Division of Occupational Safety and Health (DOSH) and the Puget Sound Clean Air Agency regulate building materials that contain more than 1 percent asbestos as ACM for protection of human health and the environment.

DOSH regulates worker exposure to airborne asbestos fibers during general work activities and construction and demolition activities (WAC 296-62-077). Worker exposure to airborne asbestos fibers must be below the Permissible Exposure Level (PEL) of an 8-hour time-weighted average (8-hr TWA) of 0.1 fiber per cubic centimeter (f/cc) of air. DOSH regulations establish engineering controls and work practices that are designed to mitigate workers exposure to asbestos in the workplace.

The Puget Sound Clean Air Agency (PSCAA) regulates the release of airborne asbestos fibers in King County and surrounding areas. Specifically, PSCAA under Article IV, Regulation III regulates emissions of asbestos during building renovation and demolition projects. This regulation requires that an asbestos survey be conducted prior to demolition, that PSCAA be notified prior to commencing with demolition activities, that ACM be removed prior to demolition, and that asbestos-containing waste materials be properly removed and disposed of in a manner that prevents the release of airborne asbestos fibers. In addition, the United States Environmental Protection Agency (USEPA) requires asbestos abatement workers and supervisors to be trained and certified in accordance with 40 CFR 763 Subpart E, Appendix C. DOSH has analogous training requirements for abatement workers in WAC 296-65. The EPA and DOSH training and certification requirements apply to abatement work for buildings at the subject property.

3.2 Sampling Methodology

The ACM sampling methodology conducted for this assessment was conducted in accordance with Puget Sound Clean Air Agency Guidance Document 66-149, Asbestos Survey Guidance Rev. 2., as well as related AHERA Protocols. A site walk was conducted with the Owner's Project Engineer prior to conducting the assessment.

All areas of the interior and exterior were investigated thoroughly looking for suspected ACM. Destructive sampling was needed in some areas to help identify building material components (e.g., insulation that was found behind the walls). Where appropriate, suspect ACM was grouped as homogenous if the materials were similar in appearance.

Samples were collected, containerized, and delivered to NVL Environmental Laboratories in Seattle, WA following standard chain of custody procedures. Suspect ACM samples were analyzed per EPA Method 600/R93/116 by Polarized Light Microscopy (PLM) analysis. NVL is a National Voluntary Laboratory Accreditation Program (NVLAP) – certified laboratory, certification number 102063-0 (see attachment 4).

3.3 Sampling Results

Twenty-five (25) bulk samples of suspect asbestos-containing materials were collected and analyzed using

polarized light microscopy (PLM). **Two (2) of the samples were found to contain asbestos greater than 1%. Building materials that contain greater than 1% asbestos are considered “Asbestos Containing Materials” by regulatory definition.**

Sample ID	Material Description	Sample Location	Concentration	Material Quantity Estimate (if applicable)
COGH-3025-ACM-01	Layer 1: Green and tan fibrous material Layer 2: Black asphaltic fibrous backing with brown mastic	Interior	ACM (%): ND	NA
COGH-3025-ACM-02	Layer 1: Red fibrous material with gray/white plastic mesh Layer 2: Tan brittle mastic with tan/white fibrous mesh	Interior	ACM (%): ND	NA
COGH-3025-ACM-03	Layer 1: Tan fibrous material with adhesive and paint	Interior	ACM (%): ND	NA
COGH-3025-ACM-04	Layer 1: Tan fibrous material with adhesive	Interior	ACM (%): ND	NA
COGH-3025-ACM-05	Layer 1: Green, tan, and red fibrous material with adhesive	Interior	ACM (%): ND	NA
COGH-3025-ACM-06	Layer 1: Tan compressed fibrous material with paint	Interior	ACM (%): ND	NA
COGH-3025-ACM-07	Layer 1: Tan compressed fibrous material with paint	Interior	ACM (%): ND	NA
COGH-3025-ACM-08	Layer 1: Tan compressed fibrous material with paint	Interior	ACM (%): ND	NA
COGH-3025-ACM-09	Layer 1: Gray and burnt cementitious material	Interior	ACM (%): ND	NA
COGH-3025-ACM-10	Layer 1: Tan fibrous material with multi-colored paper pieces and wood chips	Interior	ACM (%): ND	NA
COGH-3025-ACM-11	Layer 1: Yellow fibrous material with sand dust	Interior	ACM (%): ND	NA
COGH-3025-ACM-12	Layer 1: Pink fibrous material with asphalt dust	Interior	ACM (%): ND	NA
COGH-3025-ACM-13	Layer 1: Gray sandy/brittle material with white/yellow paint	Interior	ACM (%): ND	NA
COGH-3025-ACM-14	Layer 1: White compacted powdery crumbly material with fibrous mesh Layer 2: Crumbly white chalky material with paper	Interior	ACM (%): ND	NA
COGH-3025-ACM-15	Layer 1: Red fibrous material with tan mastic, tan adhesive, and black foamy material	Interior	ACM (%): ND	NA

COGH-3025-ACM-16	Layer 1: Multi-colored fibrous material with plastic/fibrous mesh, gray sandy material, and tan mastic	Interior	ACM (%): ND	NA
COGH-3025-ACM-17	Layer 1: Tan compressed fibrous material with paint	Interior	ACM (%): ND	NA
COGH-3025-ACM-18	Layer 1: Tan/white sheet vinyl with fiber debris Layer 2: Beige paper backing with soaked in beige mastic	Basement Kitchen	ACM (%): Layer 2 44% Chrysotile	Approximately 200 square feet
COGH-3025-ACM-19	Layer 1: Tan fibrous material with paint	Interior	ACM (%): ND	NA
COGH-3025-ACM-20	Layer 1: Tan fibrous material with paint	Interior	ACM (%): ND	NA
COGH-3025-ACM-21	Layer 1: Beige sheet vinyl Layer 2: White paper backing with soaked in white mastic Layer 3: Gray sandy material with tan adhesive	Interior	ACM (%): ND	NA
COGH-3025-ACM-22	Layer 1: Multi-colored fibrous material with plastic/fibrous mesh, tan mastic, and gray sandy material Layer 2: Black foamy material	Interior	ACM (%): ND	NA
COGH-3025-ACM-23	Layer 1: Off-white sheet vinyl in stone pattern Layer 2: Beige paper backing with soaked in tan mastic Layer 3: Brown brittle mastic with white rubbery material and wood flakes	Interior	ACM (%): Layer 2 44% Chrysotile	Approximately 80 square feet
COGH-3025-ACM-24	Layer 1: Light gray/tan fibrous felt Layer 2: White brittle material with gray dust Layer 3: Transparent soft material	Exterior	ACM (%): ND	NA
COGH-3025-ACM-25	Layer 1: Transparent soft material with tan/white paper, silver foil, adhesive, and gray dust Layer 2: White brittle material with wood piece	Exterior	ACM (%): ND	NA

Table 1: ACM Sample Results
 ND: Not Detected at Reporting Limit
 NA: Not Applicable
 ACM: Asbestos Containing Material

4.0 LEAD BASED PAINT (LBP) ASSESSMENT

4.1 Applicable LBP Regulations

DOSH regulates exposure of workers in general industry (WAC 96-62-07521) and construction workers (WAC 296-155-176) to lead in the workplace. The regulations provide engineering controls and work practices to minimize worker exposures. These regulations are applicable to renovation/demolition activities that have the potential to expose workers to airborne concentrations of lead at or above the 8-hr time weighted average (TWA) action level of 30 micrograms per cubic meter ($\mu\text{g}/\text{m}^3$) of air. Workers must not be exposed to lead at concentrations greater than the permissible exposure limit (PEL) of 50 $\mu\text{g}/\text{m}^3$ for an 8-hr TWA. Employers are responsible for determining whether their employees will be exposed to lead. A negative exposure assessment is required, consisting of modeling or air monitoring to verify that workers are not being exposed above the action level. If an exposure assessment cannot be conducted for demolition activities, workers coming into contact with deteriorated paint and paint dust should wear a half-face respirator with a particulate cartridge, coveralls or similar full-body work clothing, gloves, safety glasses, and shoes or disposable shoe coverlets. If the negative exposure assessment reveals that workers are exposed to lead dust above the PEL, the requirements of WAC 296-62-07521 must be implemented, including training, air monitoring, and medical surveillance.

The USEPA regulates LBP activities in residential target housing (40 CFR 745, Subpart L). These regulations include both training and certification requirements for persons involved in LBP activities in target housing, as well as work practice standards for conducting LBP inspections, risk assessments, and abatement activities. The regulations under 40 CFR 745, Subpart L do not apply to LBP activities to be conducted on the subject property.

The USEPA and Washington State requires generators of solid waste to determine whether their waste is a dangerous waste for proper accumulation, transportation, and disposal. For demolition debris-related waste that potentially contains lead or other heavy metals, a representative sample(s) of the debris must be analyzed by the Toxicity Characteristic Leachate Procedure (TCLP) in accordance with WAC 173-303-090. Solid wastes containing leachable lead detected at a concentration of 5 mg/L or greater must be accumulated, stored, transported and disposed of as dangerous waste. Scrap metal that will be recycled is exempt from regulation as a Dangerous Waste in accordance with WAC 173-303-071(ff).

4.2 LBP Sampling Methodology

The testing of suspected lead painted surfaces was conducted by portable XRF lead-based paint analyzer. XRF instruments expose a building component to electromagnetic radiation in the form of X-rays or gamma radiation. In response to radiation, each element, including lead, emits energy at a fixed and characteristic level. Emission of characteristic x-rays is called “X-Ray Fluorescence,” or XRF. The energy released is measured by the instrument’s fluorescence detector and displayed, all of the inconclusive ranges and/or thresholds are based on 1.0 mg/cm². The lead-based paint inspection is in accordance with the methodologies set forth by the U.S. Department of Housing and Urban Development (HUD), and manufacturer’s guidelines.

Locations of the areas tested are shown in Figure 2.

4.3 LBP Sampling Results

Seventy-eight (78) locations in the building were analyzed using an X-ray fluorescence analyzer (XRF). **Thirteen (13) of the locations were found to contain lead above the Federal lead-based paint concentration criteria of 1 mg/cm².** The table below represents the tests that were confirmed positive for lead concentrations exceeding the threshold of 1 mg/cm².

A complete list of test locations and findings can be found in Attachment 3.

Sample ID	Space Name	Component	Substrate	Color	Condition	Concentration	Notes
Pb-10	Interior	Door Jamb	Wood	Beige	Intact	Lead Concentration: 5 mg/cm ²	
Pb-25	Interior	Door	Wood	White	Intact	Lead Concentration: 1.3 mg/cm ²	
Pb-35	Interior	Door	Wood	White	Intact	Lead Concentration: 1.7 mg/cm ²	
Pb-40	Interior	Stair Post	Wood	White	Intact	Lead Concentration: 1.3 mg/cm ²	
Pb-41	Interior	Stair Rail	Wood	White	Intact	Lead Concentration: 1.5 mg/cm ²	
Pb-46	Interior	Wall/Shiplap	Wood	White	Intact	Lead Concentration: 1.1 mg/cm ²	
Pb-51	Interior	Door	Wood	White	Intact	Lead Concentration: 1.4 mg/cm ²	
Pb-54	Interior	Restroom Stall Door	Wood	White	Intact	Lead Concentration: 2.3 mg/cm ²	
Pb-57	Interior	Restroom Stall Door	Wood	White	Intact	Lead Concentration: 1.8 mg/cm ²	
Pb-66	Exterior	Door	Wood	Beige	Intact	Lead Concentration: 5 mg/cm ²	
Pb-71	Exterior	Door	Wood	Beige	Deteriorated	Lead Concentration: 1.4 mg/cm ²	
Pb-73	Exterior	Window Cover	Wood	Blue	Intact	Lead Concentration: 1.1 mg/cm ²	
Pb-76	Exterior	Exhaust Panel	Wood	Blue	Intact	Lead Concentration: 1.5 mg/cm ²	

Table 2: LBP Sample Results
 mg/cm²: milligrams per Square Centimeter
 LBP: Lead Based Paint

5.0 POLYCHLORINATED BIPHENYLS (PCBs) ASSESSMENT

5.1 Applicable PCB Regulations

Common PCB building materials include caulking, paint and adhesives. Current regulations require the removal of building materials containing PCBs if found with concentrations of 50 parts per million (ppm) or greater. Reinforcing this regulatory interpretation, EPA’s current policy is clearly stated on the agency’s website under a page titled *Current Best Practices for PCBs in Caulk Fact Sheet - Removal and Clean-Up of PCBs in Caulk and PCB-Contaminated Soil and Building Material*¹. The website states the following: “Caulk containing PCBs at concentrations \geq 50 ppm is not authorized for use and must be removed and properly disposed. When disposed, the caulk must be managed as *PCB bulk product waste*, defined at 40 CFR §761.3. Regulations governing the cleanup and disposal of *PCB bulk product waste* are provided at 40 CFR §761.62. PCB-containing caulk or caulk coated building material containing PCBs at concentrations \geq 50 ppm must be removed unless otherwise approved by EPA under a risk-based disposal approval issued under 40 CFR § 761.62(c).”

PCBs are also contained within the fluorescent lamp capacitors and interior potting material of old, magnetic lighting fixtures. The capacitor regulates the amount of electricity flowing into the lighting fixture, and the potting material insulates the FLB and reduces the "humming" noise. Because all PCB-containing fluorescent light ballasts currently in use have exceeded their designated life span, they are susceptible to leaking or rupturing. This may lead to increased exposure to building occupants. Residues from these sources are difficult and costly to clean up. Additionally, intact PCB-containing fluorescent light ballasts may emit small amounts of PCBs into the air during normal use of the lighting fixtures.

EPA recommends all PCB-containing fluorescent light ballasts be removed from lighting fixtures. The fluorescent light ballasts and capacitors are regulated in concentrations greater than 50 mg/kg by the USEPA, and at concentrations greater than 2 mg/kg by the Washington State Department of Ecology. In accordance with 40 CFR 761.2, “any person must assume that a capacitor manufactured prior to July 2, 1979, whose PCB concentration is not established contains \geq 500 ppm PCBs. Any person may assume that a capacitor manufactured after July 2, 1979, is non-PCB (i.e., <50 ppm PCBs). If the date of manufacture is unknown, any person must assume the capacitor contains \geq 500 ppm PCBs. Any person may assume that a capacitor marked at the time of manufacture with the statement “No PCBs” in accordance with § 761.40(g) is non-PCB.”

5.2 PCB Sampling Methodology / Findings

Fluorescent lights were observed during the assessment but were not able to be accessed to verify that light ballasts say, “no PCBs”. Careful inspection of each ballast in the building should be conducted upon removal to ensure proper management of the ballasts. If any of the ballasts do not contain the words “no PCBs” and were

¹ <http://www.epa.gov/pcbSincaulk/caulkremoval.htm>

manufactured before July 2, 1979, they must be assumed to contain PCBs unless sampling confirms they do not. In addition, employers must inform their employees of PCB hazards in accordance with WAC 296-800-170.

5.3 PCB Sampling Results

One sample of suspected PCB containing caulking was collected and analyzed for PCBs by EPA Method 8082. The sample was below the regulatory limit of 50 mg/kg for classification as PCB Bulk Product Waste. The location of the sample collection is shown in Figure 2. Table 3 below shows the results of the PCB sample.

Sample ID	Material Description	Sample Location	Concentration	Material Quantity Estimate (if applicable)
COGH-3025-PCB-01	Caulking	Basement HVAC Closet	PCBs (mg/kg): ND	NA

Table 3: PCB Sample Results
 mg/kg: milligrams per kilogram (parts per million)
 PCB: Polychlorinated Biphenyls

6.0 OTHER HAZARDOUS BUILDING MATERIALS ASSESSMENT

A visual inspection was conducted to inventory other hazardous building materials. Other hazardous building materials assessed included universal waste, refrigerant gases, propane cylinders, and fire extinguishers.

6.1 Universal Waste

Universal waste is a category of dangerous waste that allows all businesses to handle several common types of dangerous waste under simplified rules. Managing these materials as universal waste means that they are not counted toward your generator status or reported on your Dangerous Waste Annual Report. In Washington State, five categories of waste can be managed as universal waste:

- Batteries;
- Lights, lamps, light bulbs, and light tubes;
- Mercury-containing thermometers;
- Mercury-containing thermostats;
- Mercury-containing switches and relays.

If any of these materials are identified for disposal for the demolition or renovation project, the materials should be removed, packaged, and recycled as universal waste.

6.2 Refrigerant Gases

Section 608 of the Federal Clean Air Act prohibits individuals from intentionally venting refrigerants into the atmosphere while disposing of refrigeration/AC equipment. “De minimis” quantities of refrigerant released in the course of making good faith attempts to recapture and recycle or safely dispose of refrigerant are not subject to this prohibition (40 CFR 82.154[a][2]). To implement the venting prohibition, Section 608 specifies evacuation level requirements (40 CFR 82.156) and refrigerant recovery equipment requirements (40 CFR 82.158) for both small appliances and other refrigeration/AC equipment. When demolishing or renovating a structure, the following equipment should be assessed to determine the need for evacuation, recovery, or disposal by a licensed technician:

Small Appliances

A small appliance is defined as any appliance that is fully manufactured, charged, and hermetically sealed in a factory with five pounds or less of a CFC or HCFC refrigerant, including the following:

- Refrigerators and freezers (designed for home, commercial, or consumer use);
- Medical or industrial research refrigeration equipment;
- Room air conditioners (including window air conditioners and packaged terminal air heat pumps);
- Under-the-counter ice makers;
- Vending machines; and
- Drinking water coolers.

All Other Equipment

All other equipment refers to all appliances except for small appliances, motor vehicle air conditioners (MVACs), and MVAC-like appliances. Specifically, this equipment includes:

- Chillers;
- Industrial refrigeration equipment (not including research equipment);
- Refrigerant fire suppression systems;
- Commercial refrigeration equipment; and
- Cold storage equipment.

6.3 Fire Extinguishers

Dry chemical and liquid fire extinguishers may designate as dangerous waste if they are disposed of as solid waste. Fire extinguishers should be removed from service prior to demolishing or renovating the area where the fire extinguishers are mounted or stored. If the fire extinguishers cannot be recycled or reused, they must be designated and disposed of accordingly.

6.4 Radioactive Exit Signs and Smoke Alarms

Many exit signs and smoke alarms contain low-level radioactive sources that should be managed in accordance with Nuclear Regulatory Commission Regulations. Accredited mail-in programs are available to recycle these materials. Radioactive exit signs and smoke alarms should be identified for removal and recycling or disposal prior to renovation or demolition of the building or affected area.

6.5 Summary of Other Hazardous Building Materials

This hazardous building materials assessment identified fluorescent light tubes, high intensity discharge lamps, refrigerant gases, mercury thermostats, propane tanks, and fire extinguishers that should be removed and reused, recycled, or disposed of prior to the renovation project. No radioactive exit signs or smoke alarms were identified.

Other Hazardous Building Materials	Total
Florescent Light Tubes	50
Florescent Light Ballast	30-40
HVAC Systems	1
Refrigerator	1
Battery Operated Smoke Detectors	5-10
Exit Signs	5-10
Fire Extinguishers	5-10

7.0 CONCLUSIONS AND RECOMMENDATIONS

7.1 Asbestos Containing Materials

ACM was detected in some of the areas where the work was understood to be conducted. Therefore, we recommend that this work should be considered an “Asbestos Project” as defined in the Puget Sound Clean Air Agency Regulation 3, or WAC 296-62-07701.

7.2 Lead Based Paint

Lead paint was detected in some of the building materials sampled. Therefore, we recommend implementation of engineering and work practice controls to reduce and maintain employee exposure to lead to or below the permissible exposure limit² to the extent that such controls are feasible in accordance with WAC 296-155-17611.

7.3 Polychlorinated Biphenyls

One (1) sample of suspected PCB containing caulking was collected and analyzed for PCBs by EPA Method 8082. The sample was below the regulatory limit of 50 mg/kg for PCBs.

Fluorescent lights were observed during the assessment but were not able to be accessed to verify that light ballasts say, “no PCBs”. Careful inspection of each ballast in the building should be conducted upon removal to ensure proper management of the ballasts. If any of the ballasts do not contain the words “no PCBs” and were manufactured before July 2, 1979, they must be assumed to contain PCBs unless sampling confirms they do not. In addition, employers must inform their employees of PCB hazards in accordance with WAC 296-800-170.7.4 .

² WAC 296-155-17607 (1): You must ensure that no employee is exposed to lead at concentrations greater than 50 micrograms per cubic meter of air (50 µg/m³) averaged over an 8-hour period.

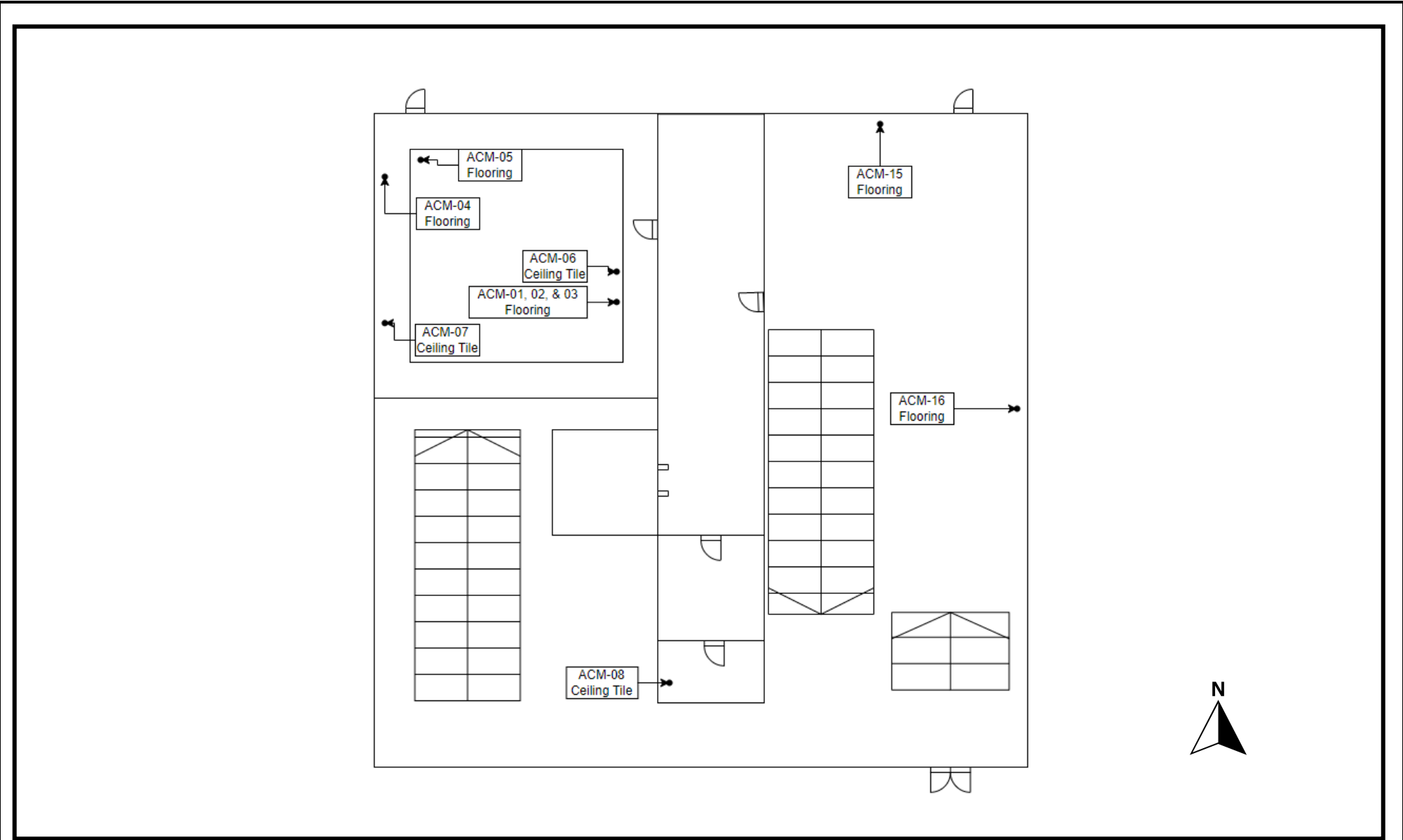
8.0 LIMITATIONS

This report presents the results of the hazardous building materials assessment conducted for the City of Gig Harbor at 3025 96th Street in Gig Harbor, WA. The assessment was conducted with the objective of identifying hazardous building materials in anticipation of demolition in accordance with certain regulations requiring such identification. For example, 40 CFR 763, along with Puget Sound Clean Air Agency Regulation III, Article 4.02(a), requires an “Asbestos Survey” before the renovation or demolition of a building. In addition, the Washington State Dangerous Waste Regulations (WAC 173-303) requires identification and designation of solid waste prior to disposal. This includes suspect lead-based paint and building materials.

Our assessment has considered risks pertaining to asbestos, lead in paint, polychlorinated biphenyls universal waste, and other hazardous building materials discussed in Section 6 of this document. Our assessment is limited to only those locations and materials assessed. This assessment was not designed to identify all potential concerns or to eliminate all risks associated with renovation, demolition, construction, waste disposal, or transferring of property title. Evaluation of other risks not specifically described in the Scope of Work have not been included. For example, the following risks were not assessed: structural integrity, engineering loads, electrical, mechanical, radon gas, slope stability, building settlement, and evaluation of toxic and hazardous substances in, or in contact with, soil and groundwater. No warranty, expressed or implied, is made. DH Environmental has performed the services set forth in the Scope of Work in accordance with generally accepted practices in the same or similar localities, related to the nature of the work accomplished, at the time the services were performed.

The hazardous building materials assessment presented in this report represents the conditions and materials observed on the dates we conducted the sampling and visually inspected the building. This assessment report is intended for the exclusive use of the City of Gig Harbor for specific application to the referenced property. This assessment does not replace or should be used in lieu of professionally developed construction or demolition plans, specifications, or bidding documents. This report is not a legal opinion.

Figure 1 Sample Locations: Main Floor Asbestos Assessment



Date: 03-03-2023



By: Brian Johnson
 AHERA Building Inspector

Site Address: 3025 96th Street
 Gig Harbor, WA 98332

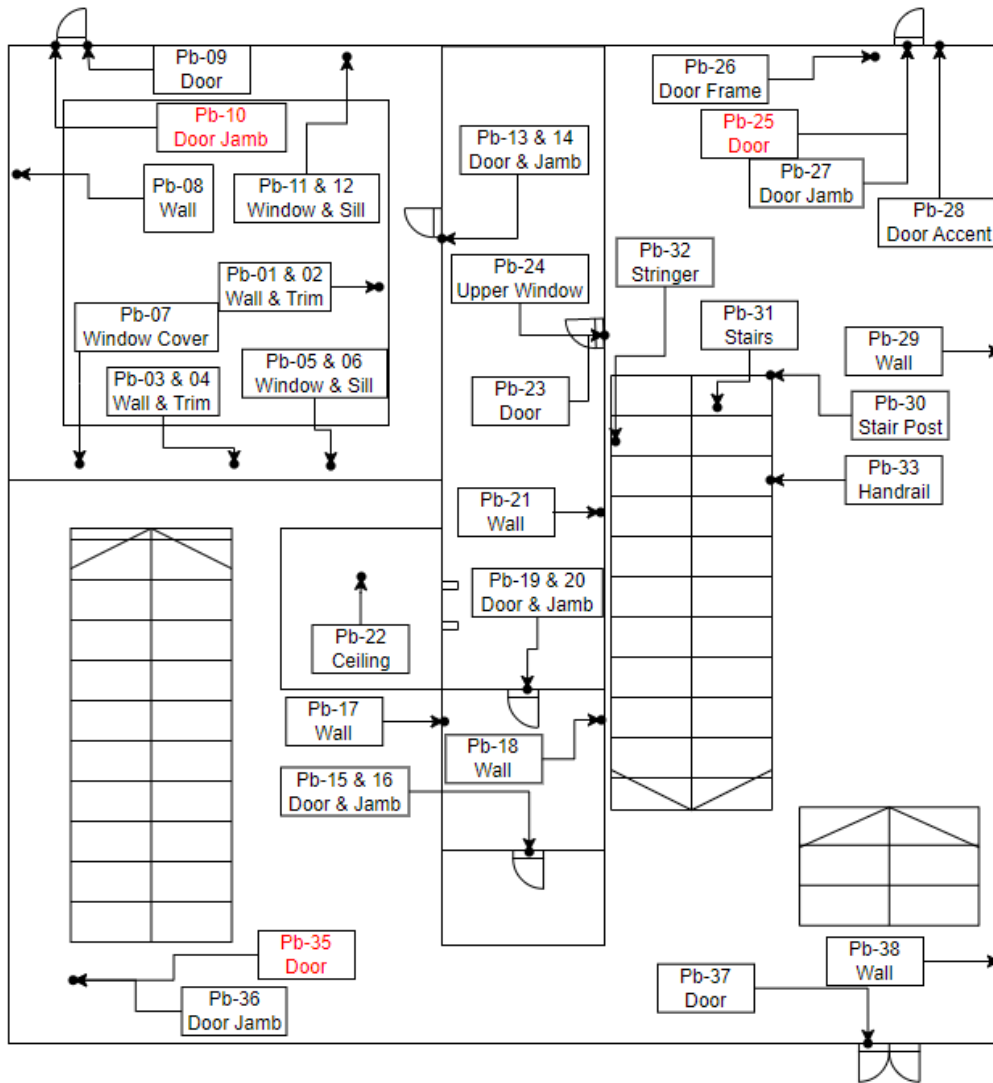
Asbestos Assessment Main Floor

Figure 1
 Sample Locations

Key:
 • Sample Locations
 Red = Positive Test Result

*Not to scale

Figure 2 Sample Locations: Main Floor Lead Paint Assessment



Date: 03-03-2023



Lead Paint Assessment Main Floor

Figure 2
Sample Locations

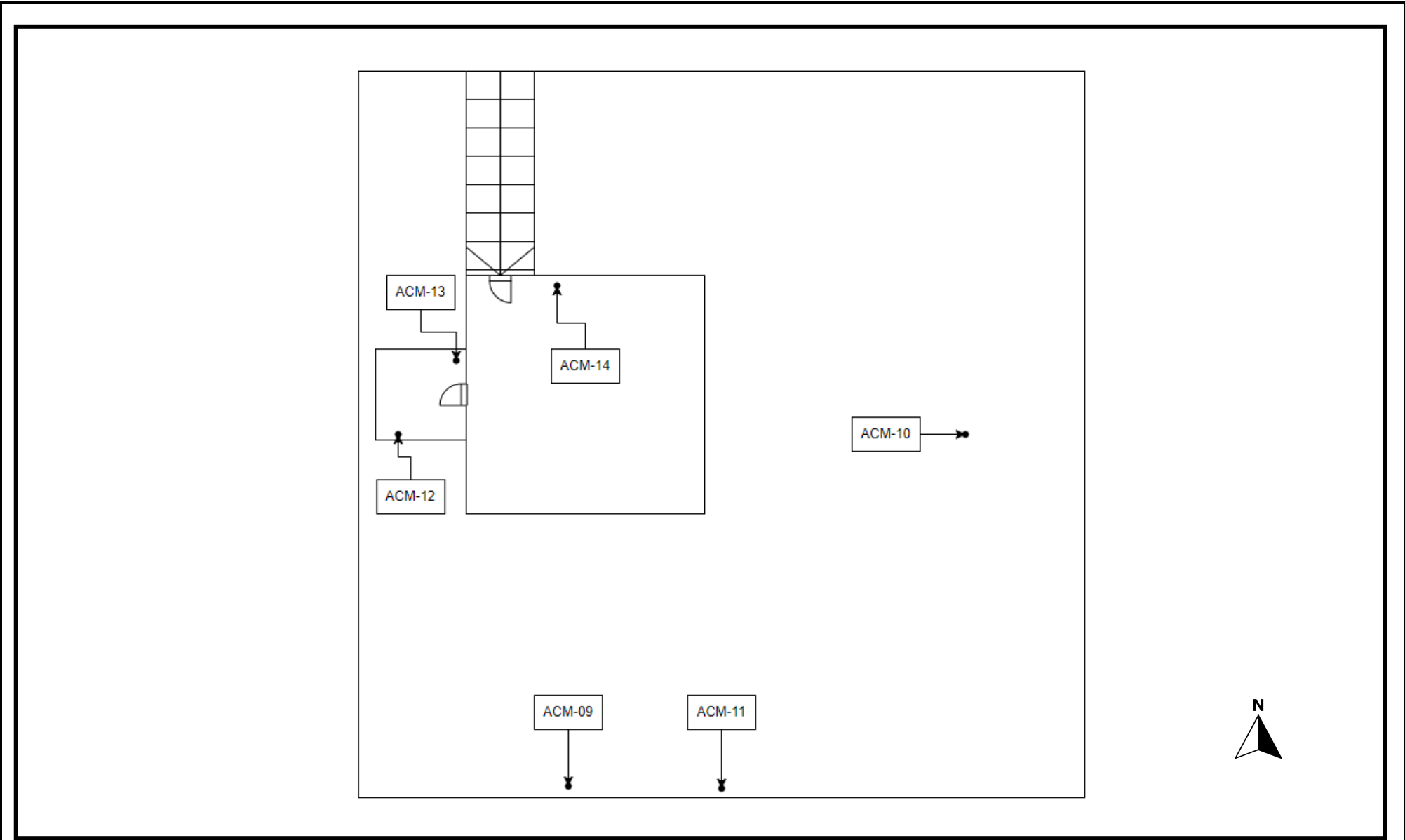
Key:
 • Sample Locations
 Red = Positive Test Result

By: Brian Johnson
 AHERA Building Inspector

Site Address: 3025 96th Street
 Gig Harbor, WA 98332

*Not to scale

Figure 3 Sample Locations: Attic Lead Paint & Asbestos Assessment



Date: 03-03-2023



By: Brian Johnson
 AHERA Building Inspector

Site Address: 3025 96th Street
 Gig Harbor, WA 98332

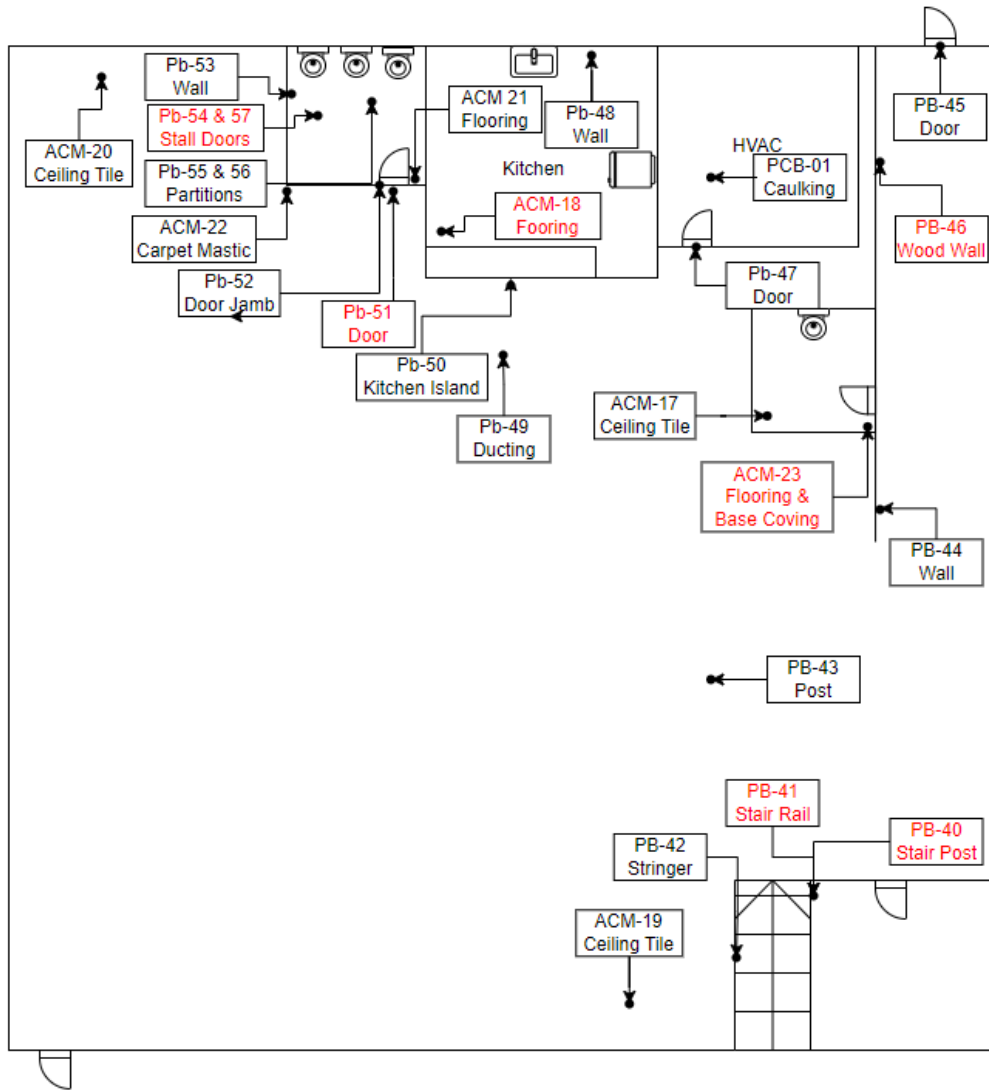
Asbestos Assessment Attic

Figure 3
 Sample Locations

Key:
 • Sample Locations
 Red = Positive Test Result

*Not to scale

Figure 4 Sample Locations: Basement Lead Paint & Asbestos Assessment



Date: 03-03-2023



Lead Paint & Asbestos Assessment Basement

Figure 4
Sample Locations

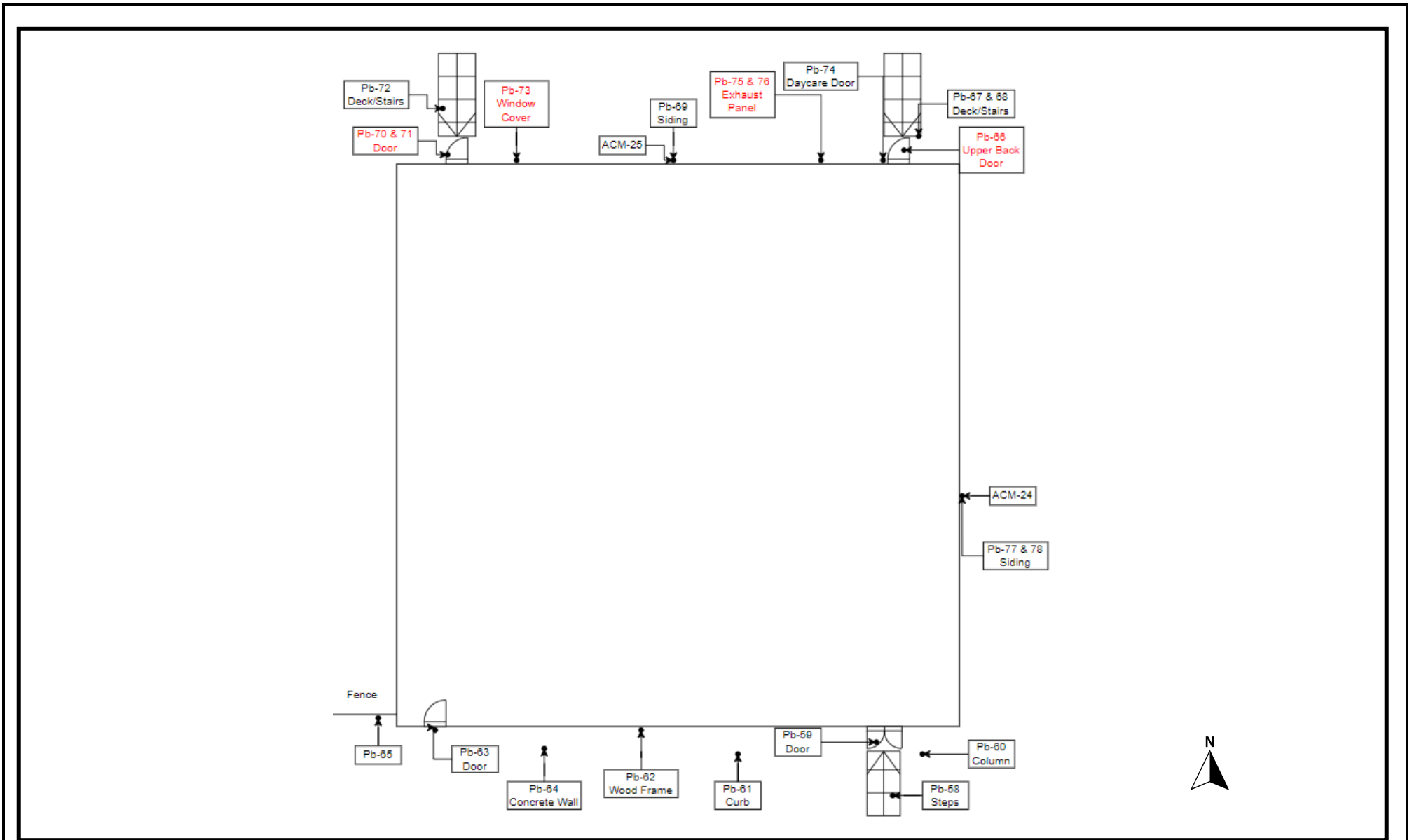
Key:
 • Sample Locations
 Red = Positive Test Result

By: Brian Johnson
 AHERA Building Inspector

Site Address: 3025 96th Street
 Gig Harbor, WA 98332

*Not to scale

Figure 5 Sample Locations: Exterior Lead Paint & Asbestos Assessment



Date: 03-03-2023



Lead Paint & Asbestos Assessment Exterior

Figure 5
Sample Locations

Key:
 • Sample Locations
 Red = Positive Test Result

By: Brian Johnson
 AHERA Building Inspector

Site Address: 3025 96th Street
 Gig Harbor, WA 98332

*Not to scale

Attachment 1 Site Photos



Sample ID: COGH-3025-ACM-01



Sample ID: COGH-3025-ACM-02



Sample ID: COGH-3025-ACM-03



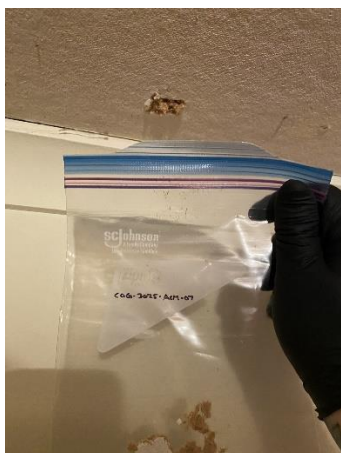
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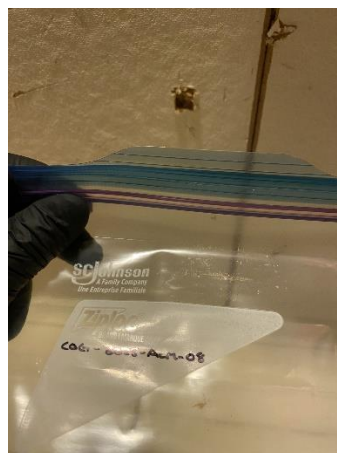
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Sample ID: COGH-3025-ACM-06



Sample ID: COGH-3025-ACM-07



Sample ID: COGH-3025-ACM-08



Sample ID: COGH-3025-ACM-09



Sample ID: COGH-3025-ACM-10



Sample ID: COGH-3025-ACM-11



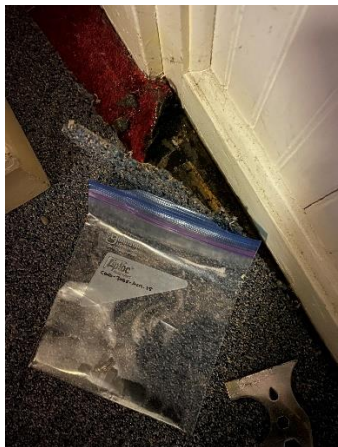
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Sample ID: COGH-3025-ACM-13



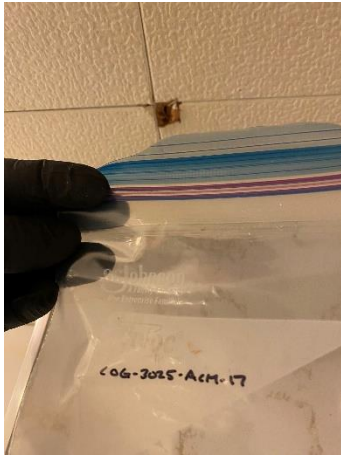
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Sample ID: COGH-3025-ACM-15



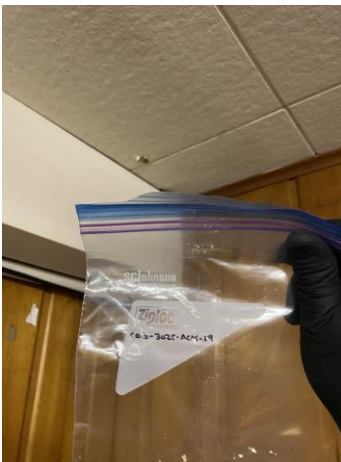
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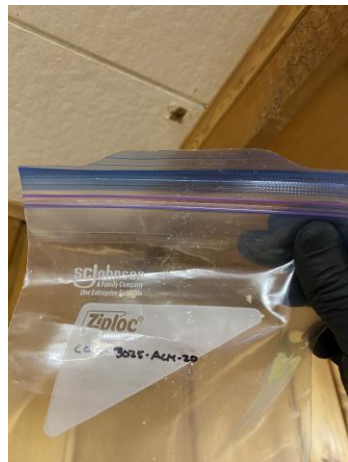
Sample ID: COGH-3025-ACM-17



COGH-3025-ACM-18



COGH-3025-ACM-19



COGH-3025-ACM-20



Sample ID: COGH-3025-ACM-21



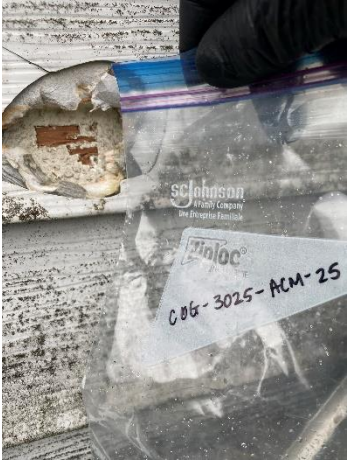
COGH-3025-ACM-22



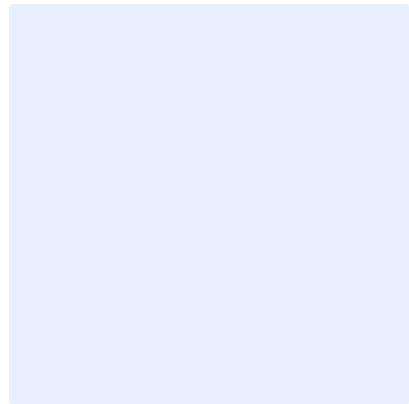
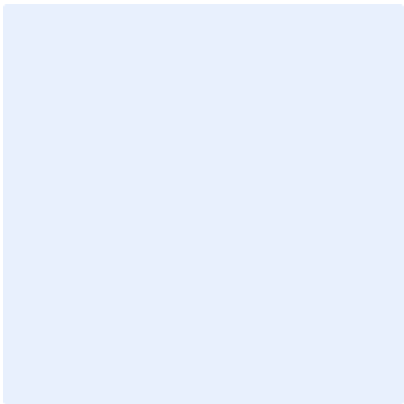
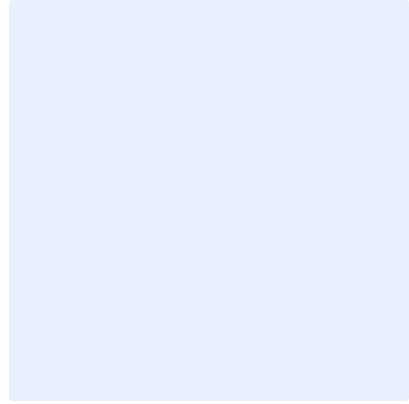
COGH-3025-ACM-23



COGH-3025-ACM-24



Sample ID: COGH-3025-ACM-25



Attachment 2 Laboratory Analytical Reports

March 13, 2023



Brian Johnson
DH Environmental
1011 SW Klickitat Way Suite 107
Seattle, WA 98134

RE: Bulk Asbestos Fiber Analysis; NVL Batch # 2303563.00

Client Project: 3025 96th St
Location: Gig Harbor, WA

Dear Mr. Johnson,

Enclosed please find test results for the 25 sample(s) submitted to our laboratory for analysis on 3/3/2023.

Examination of these samples was conducted for the presence of identifiable asbestos fibers using polarized light microscopy (PLM) with dispersion staining in accordance with **U. S. EPA 40 CFR Appendix E to Subpart E of Part 763**, Interim Method for the Determination of Asbestos in Bulk Insulation Samples and **EPA 600/R-93/116**, Method for the Determination of Asbestos in Bulk Building Materials.

For samples containing more than one separable layer of materials, the report will include findings for each layer (labeled Layer 1 and Layer 2, etc. for each individual layer). The asbestos concentration in the sample is determined by calibrated visual estimation.

For those samples with asbestos concentrations between 1 and 10 percent based on visual estimation, the EPA recommends a procedure known as point counting (NESHAPS, 40 CFR Part 61). Point counting is a statistically more accurate means of quantification for samples with low concentrations of asbestos.

The detection limit for the calibrated visual estimation is <1%, 400 point counts is 0.25% and 1000 point counts is 0.1%

Samples are archived for two weeks following analysis. Samples that are not retrieved by the client are discarded after two weeks.

Thank you for using our laboratory services. Please do not hesitate to call if there is anything further we can assist you with.

Sincerely,

A handwritten signature in black ink that reads "Kunga Woser".

Kunga Woser, Senior Laboratory Analyst



Testing

Lab Code: 102063-0

Enc.: Sample Results

Phone: 206 547.0100 | Fax: 206 634.1936 | Toll Free: 1.888.NVL.LABS (685.5227)
4708 Aurora Avenue North | Seattle, WA 98103-6516



Bulk Asbestos Fibers Analysis

By Polarized Light Microscopy

Client: DH Environmental
 Address: 1011 SW Klickitat Way Suite 107
 Seattle, WA 98134

Batch #: 2303563.00
 Client Project #: 3025 96th St
 Date Received: 3/3/2023
 Samples Received: 25
 Samples Analyzed: 25
 Method: EPA/600/R-93/116

Attention: Mr. Brian Johnson
 Project Location: Gig Harbor, WA

Lab ID: 23022513 Client Sample #: COG-3025-ACM-01

Location: Gig Harbor, WA

Layer 1 of 2	Description: Green and tan fibrous material			Asbestos Type: %
	Non-Fibrous Materials:	Other Fibrous Materials: %		
	Binder/Filler, Fine particles	Synthetic fibers 65%		None Detected ND
		Cellulose 18%		

Layer 2 of 2	Description: Black asphaltic fibrous backing with brown mastic			Asbestos Type: %
	Non-Fibrous Materials:	Other Fibrous Materials: %		
	Asphaltic Particles, Mastic/Binder	Cellulose 45%		None Detected ND

Lab ID: 23022514 Client Sample #: COG-3025-ACM-02

Location: Gig Harbor, WA

Layer 1 of 2	Description: Red fibrous material with gray/white plastic mesh			Asbestos Type: %
	Non-Fibrous Materials:	Other Fibrous Materials: %		
	Binder/Filler, Fine particles, Plastic	Synthetic fibers 73%		None Detected ND

Layer 2 of 2	Description: Tan brittle mastic with tan/white fibrous mesh			Asbestos Type: %
	Non-Fibrous Materials:	Other Fibrous Materials: %		
	Fine particles, Mastic/Binder	Cellulose 65%		None Detected ND

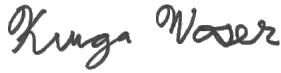
Lab ID: 23022515 Client Sample #: COG-3025-ACM-03

Location: Gig Harbor, WA

Layer 1 of 1	Description: Tan fibrous material with adhesive and paint			Asbestos Type: %
	Non-Fibrous Materials:	Other Fibrous Materials: %		
	Paint, Fine particles, Adhesive/Binder	Cellulose 72%		None Detected ND

Lab ID: 23022516 Client Sample #: COG-3025-ACM-04

Location: Gig Harbor, WA

Sampled by: Client			
Analyzed by: Muhammad Yousuf	Date: 03/10/2023		
Reviewed by: Kunga Woser	Date: 03/13/2023	Kunga Woser, Senior Laboratory Analyst	

Note: If samples are not homogeneous, then subsamples of the components were analyzed separately. All bulk samples are analyzed using both EPA 600/R-93/116 and EPA 40 CFR Appendix E to Subpart E of Part 763 with the following measurement uncertainties for the reported % Asbestos (1%=0-3%, 5%=1-9%, 10%=5-15%, 20%=10-30%, 50%=40-60%). This report relates only to the items tested. If sample was not collected by NVL personnel, then the accuracy of the results is limited by the methodology and acuity of the sample collector. This report shall not be reproduced except in full, without written approval of NVL Laboratories, Inc. It shall not be used to claim product endorsement by NVLAP or any other agency of the US Government



Bulk Asbestos Fibers Analysis

By Polarized Light Microscopy

Client: DH Environmental
 Address: 1011 SW Klickitat Way Suite 107
 Seattle, WA 98134

Batch #: 2303563.00
 Client Project #: 3025 96th St
 Date Received: 3/3/2023
 Samples Received: 25
 Samples Analyzed: 25
 Method: EPA/600/R-93/116

Attention: Mr. Brian Johnson
 Project Location: Gig Harbor, WA

Layer 1 of 1 **Description:** Tan compressed fibrous material with paint

Non-Fibrous Materials:	Other Fibrous Materials: %	Asbestos Type: % None Detected ND
Paint, Binder/Filler, Fine particles	Cellulose 72%	
Wood chips		

Lab ID: 23022521 **Client Sample #: COG-3025-ACM-09**
 Location: Gig Harbor, WA

Layer 1 of 1 **Description:** Gray and burnt cementitious material

Non-Fibrous Materials:	Other Fibrous Materials: %	Asbestos Type: % None Detected ND
Binder/Filler, Fine particles, Mineral grains	Wollastonite 5%	
Gravel	Cellulose 3%	

Lab ID: 23022522 **Client Sample #: COG-3025-ACM-10**
 Location: Gig Harbor, WA

Layer 1 of 1 **Description:** Tan fibrous material with multi- colored paper pieces and wood chips

Non-Fibrous Materials:	Other Fibrous Materials: %	Asbestos Type: % None Detected ND
Binder/Filler, Fine particles, Wood chips	Cellulose 88%	

Lab ID: 23022523 **Client Sample #: COG-3025-ACM-11**
 Location: Gig Harbor, WA

Layer 1 of 1 **Description:** Yellow fibrous material with sand dust

Non-Fibrous Materials:	Other Fibrous Materials: %	Asbestos Type: % None Detected ND
Fine particles, Glass shots & debris	Glass fibers 78%	
	Cellulose 3%	

Lab ID: 23022524 **Client Sample #: COG-3025-ACM-12**
 Location: Gig Harbor, WA

Sampled by: Client		<i>Kunga Woser</i>
Analyzed by: Muhammad Yousuf	Date: 03/10/2023	
Reviewed by: Kunga Woser	Date: 03/13/2023	Kunga Woser, Senior Laboratory Analyst

Note: If samples are not homogeneous, then subsamples of the components were analyzed separately. All bulk samples are analyzed using both EPA 600/R-93/116 and EPA 40 CFR Appendix E to Subpart E of Part 763 with the following measurement uncertainties for the reported % Asbestos (1%=0-3%, 5%=1-9%, 10%=5-15%, 20%=10-30%, 50%=40-60%). This report relates only to the items tested. If sample was not collected by NVL personnel, then the accuracy of the results is limited by the methodology and acuity of the sample collector. This report shall not be reproduced except in full, without written approval of NVL Laboratories, Inc. It shall not be used to claim product endorsement by NVLAP or any other agency of the US Government



Bulk Asbestos Fibers Analysis

By Polarized Light Microscopy

Client: DH Environmental
Address: 1011 SW Klickitat Way Suite 107
Seattle, WA 98134

Batch #: 2303563.00
Client Project #: 3025 96th St
Date Received: 3/3/2023
Samples Received: 25
Samples Analyzed: 25
Method: EPA/600/R-93/116

Attention: Mr. Brian Johnson
Project Location: Gig Harbor, WA

Layer 1 of 1	Description: Pink fibrous material with asphalt dust			
	Non-Fibrous Materials:	Other Fibrous Materials:%		Asbestos Type: %
	Asphaltic Particles, Glass shots & debris, Mineral grains	Glass fibers 76%		None Detected ND
		Cellulose 4%		

Lab ID: 23022525 **Client Sample #: COG-3025-ACM-13**

Location: Gig Harbor, WA

Layer 1 of 1	Description: Gray sandy/brittle material with white/yellow paint			
	Non-Fibrous Materials:	Other Fibrous Materials:%		Asbestos Type: %
	Paint, Talc/Binder, Fine particles	Cellulose 7%		None Detected ND
	Mineral grains, Gravel, Wood fibers	Wollastonite 1%		

Lab ID: 23022526 **Client Sample #: COG-3025-ACM-14**

Location: Gig Harbor, WA


Layer 1 of 2	Description: White compacted powdery crumbly material with fibrous mesh			
	Non-Fibrous Materials:	Other Fibrous Materials:%		Asbestos Type: %
	Calcareous binder, Fine particles, Perlite	Glass fibers 22%		None Detected ND
		Cellulose 1%		

Layer 2 of 2	Description: Crumbly white chalky material with paper			
	Non-Fibrous Materials:	Other Fibrous Materials:%		Asbestos Type: %
	Fine particles, Gypsum/Binder	Cellulose 14%		None Detected ND

Lab ID: 23022527 **Client Sample #: COG-3025-ACM-15**

Location: Gig Harbor, WA

Layer 1 of 1	Description: Red fibrous material with tan mastic, tan adhesive and black foamy material			
	Non-Fibrous Materials:	Other Fibrous Materials:%		Asbestos Type: %
	Fine particles, Mastic/Binder, Adhesive/Binder	Synthetic fibers 9%		None Detected ND

Sampled by: Client		
Analyzed by: Muhammad Yousuf	Date: 03/10/2023	
Reviewed by: Kunga Woser	Date: 03/13/2023	Kunga Woser, Senior Laboratory Analyst

Note: If samples are not homogeneous, then subsamples of the components were analyzed separately. All bulk samples are analyzed using both EPA 600/R-93/116 and EPA 40 CFR Appendix E to Subpart E of Part 763 with the following measurement uncertainties for the reported % Asbestos (1%=0-3%, 5%=1-9%, 10%=5-15%, 20%=10-30%, 50%=40-60%). This report relates only to the items tested. If sample was not collected by NVL personnel, then the accuracy of the results is limited by the methodology and acuity of the sample collector. This report shall not be reproduced except in full, without written approval of NVL Laboratories, Inc. It shall not be used to claim product endorsement by NVLAP or any other agency of the US Government



Bulk Asbestos Fibers Analysis

By Polarized Light Microscopy

Client: DH Environmental
 Address: 1011 SW Klickitat Way Suite 107
 Seattle, WA 98134

Batch #: 2303563.00
 Client Project #: 3025 96th St
 Date Received: 3/3/2023
 Samples Received: 25
 Samples Analyzed: 25
 Method: EPA/600/R-93/116

Attention: Mr. Brian Johnson
 Project Location: Gig Harbor, WA

Layer 1 of 2	Description: Multi-colored fibrous material with plastic/fibrous mesh, tan mastic and gray sandy material	Non-Fibrous Materials: Fine particles, Mastic/Binder, Plastic	Other Fibrous Materials:% Synthetic fibers 57%	Asbestos Type: % None Detected ND
		Mineral grains	Cellulose 6%	
Layer 2 of 2	Description: Black foamy material	Non-Fibrous Materials: Binder/Filler, Fine particles, Foamy material	Other Fibrous Materials:% Cellulose 1%	Asbestos Type: % None Detected ND

Lab ID: 23022535 Client Sample #: COG-3025-ACM-23

Location: Gig Harbor, WA

Layer 1 of 3	Description: Off-white sheet vinyl in stone pattern	Non-Fibrous Materials: Vinyl/Binder, Fine particles	Other Fibrous Materials:% None Detected ND	Asbestos Type: % None Detected ND
Layer 2 of 3	Description: Beige paper backing with soaked in tan mastic	Non-Fibrous Materials: Fine particles, Mastic/Binder	Other Fibrous Materials:% Cellulose 26%	Asbestos Type: % Chrysotile 47%
Layer 3 of 3	Description: Brown brittle mastic with white rubbery material and wood flakes	Non-Fibrous Materials: Fine particles, Mastic/Binder, Rubber/Binder	Other Fibrous Materials:% Cellulose 16%	Asbestos Type: % None Detected ND
		Fine grains, Wood flakes	Wollastonite 3%	

Lab ID: 23022536 Client Sample #: COG-3025-ACM-24

Location: Gig Harbor, WA

Layer 1 of 3	Description: Light gray/tan fibrous felt	Non-Fibrous Materials: Binder/Filler, Fine particles	Other Fibrous Materials:% Cellulose 85%	Asbestos Type: % None Detected ND
---------------------	---	---	--	--

Sampled by: Client

Analyzed by: Muhammad Yousuf

Reviewed by: Kunga Woser

Date: 03/10/2023

Date: 03/13/2023

Kunga Woser

Kunga Woser, Senior Laboratory Analyst

Note: If samples are not homogeneous, then subsamples of the components were analyzed separately. All bulk samples are analyzed using both EPA 600/R-93/116 and EPA 40 CFR Appendix E to Subpart E of Part 763 with the following measurement uncertainties for the reported % Asbestos (1%=0-3%, 5%=1-9%, 10%=5-15%, 20%=10-30%, 50%=40-60%). This report relates only to the items tested. If sample was not collected by NVL personnel, then the accuracy of the results is limited by the methodology and acuity of the sample collector. This report shall not be reproduced except in full, without written approval of NVL Laboratories, Inc. It shall not be used to claim product endorsement by NVLAP or any other agency of the US Government



Bulk Asbestos Fibers Analysis

By Polarized Light Microscopy

Client: DH Environmental
 Address: 1011 SW Klickitat Way Suite 107
 Seattle, WA 98134

Batch #: 2303563.00
 Client Project #: 3025 96th St
 Date Received: 3/3/2023
 Samples Received: 25
 Samples Analyzed: 25
 Method: EPA/600/R-93/116

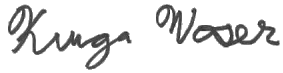
Attention: Mr. Brian Johnson
 Project Location: Gig Harbor, WA

Layer 2 of 3	Description: White brittle material with gray dust			
	Non-Fibrous Materials:	Other Fibrous Materials:%		Asbestos Type: %
	Binder/Filler, Fine particles, Wood flakes	Cellulose 18%		None Detected ND
Layer 3 of 3	Description: Transparent soft material			
	Non-Fibrous Materials:	Other Fibrous Materials:%		Asbestos Type: %
	Binder/Filler, Fine particles, Styrofoam	Cellulose 1%		None Detected ND

Lab ID: 23022537 **Client Sample #: COG-3025-ACM-25**

Location: Gig Harbor, WA

Layer 1 of 2	Description: Transparent soft material with tan/white paper,silver foil,adhesive and gray dust			
	Non-Fibrous Materials:	Other Fibrous Materials:%		Asbestos Type: %
	Fine particles, Adhesive/Binder, Metal foil	Cellulose 33%		None Detected ND
	Styrofoam			
Layer 2 of 2	Description: White brittle material with wood piece			
	Non-Fibrous Materials:	Other Fibrous Materials:%		Asbestos Type: %
	Binder/Filler, Fine particles, Wood flakes	Cellulose 24%		None Detected ND

Sampled by: Client		
Analyzed by: Muhammad Yousuf	Date: 03/10/2023	
Reviewed by: Kunga Woser	Date: 03/13/2023	Kunga Woser, Senior Laboratory Analyst

Note: If samples are not homogeneous, then subsamples of the components were analyzed separately. All bulk samples are analyzed using both EPA 600/R-93/116 and EPA 40 CFR Appendix E to Subpart E of Part 763 with the following measurement uncertainties for the reported % Asbestos (1%=0-3%, 5%=1-9%, 10%=5-15%, 20%=10-30%, 50%=40-60%). This report relates only to the items tested. If sample was not collected by NVL personnel, then the accuracy of the results is limited by the methodology and acuity of the sample collector. This report shall not be reproduced except in full, without written approval of NVL Laboratories, Inc. It shall not be used to claim product endorsement by NVLAP or any other agency of the US Government

ASBESTOS LABORATORY SERVICES



Company DH Environmental	NVL Batch Number 2303563.00
Address 1011 SW Klickitat Way Suite 107 Seattle, WA 98134	TAT 5 Days AH No
Project Manager Mr. Brian Johnson	Rush TAT
Phone (206) 934-4043	Due Date 3/10/2023 Time 3:35 PM
	Email brian.johnson@dhenviro.com
	Fax (206) 930-4043

Project Name/Number: 3025 96th St **Project Location:** Gig Harbor, WA

Subcategory PLM Bulk
Item Code ASB-02 EPA 600/R-93-116 Asbestos by PLM <bulk>

Total Number of Samples 25 **Rush Samples**

Lab ID	Sample ID	Description	A/R
1	23022513	COG-3025-ACM-01	A
2	23022514	COG-3025-ACM-02	A
3	23022515	COG-3025-ACM-03	A
4	23022516	COG-3025-ACM-04	A
5	23022517	COG-3025-ACM-05	A
6	23022518	COG-3025-ACM-06	A
7	23022519	COG-3025-ACM-07	A
8	23022520	COG-3025-ACM-08	A
9	23022521	COG-3025-ACM-09	A
10	23022522	COG-3025-ACM-10	A
11	23022523	COG-3025-ACM-11	A
12	23022524	COG-3025-ACM-12	A
13	23022525	COG-3025-ACM-13	A
14	23022526	COG-3025-ACM-14	A
15	23022527	COG-3025-ACM-15	A
16	23022528	COG-3025-ACM-16	A
17	23022529	COG-3025-ACM-17	A
18	23022530	COG-3025-ACM-18	A

	Print Name	Signature	Company	Date	Time
Sampled by	Client				
Relinquished by	Client				

	Print Name	Signature	Company	Date	Time
Received by	Kelly AuVu		NVL	3/3/23	1535
Analyzed by	Muhammad Yousuf		NVL	3/10/23	
Results Called by					
<input type="checkbox"/> Faxed <input type="checkbox"/> Emailed					

Special Instructions:

Date: 3/3/2023
 Time: 3:57 PM
 Entered By: Kelly AuVu

ASBESTOS LABORATORY SERVICES



Company DH Environmental	NVL Batch Number 2303563.00
Address 1011 SW Klickitat Way Suite 107 Seattle, WA 98134	TAT 5 Days AH No
Project Manager Mr. Brian Johnson	Rush TAT
Phone (206) 934-4043	Due Date 3/10/2023 Time 3:35 PM
	Email brian.johnson@dhenviro.com
	Fax (206) 930-4043

Project Name/Number: 3025 96th St **Project Location:** Gig Harbor, WA

Subcategory PLM Bulk
Item Code ASB-02 EPA 600/R-93-116 Asbestos by PLM <bulk>

Total Number of Samples 25 **Rush Samples** _____

Lab ID	Sample ID	Description	A/R
19	23022531	COG-3025-ACM-19	A
20	23022532	COG-3025-ACM-20	A
21	23022533	COG-3025-ACM-21	A
22	23022534	COG-3025-ACM-22	A
23	23022535	COG-3025-ACM-23	A
24	23022536	COG-3025-ACM-24	A
25	23022537	COG-3025-ACM-25	A

	Print Name	Signature	Company	Date	Time
Sampled by	Client				
Relinquished by	Client				

Office Use Only	Print Name	Signature	Company	Date	Time
Received by	Kelly AuVu		NVL	3/3/23	1535
Analyzed by	Muhammad Yousuf		NVL	3/10/23	
Results Called by					
<input type="checkbox"/> Faxed <input type="checkbox"/> Emailed					

Special Instructions: _____

Date: 3/3/2023
 Time: 3:57 PM
 Entered By: Kelly AuVu



ASBESTOS CHAIN OF CUSTODY

- 1 Hour
- 2 Hours
- 4 Hours
- 24 Hours
- 2 Days
- 3 Days
- 4 Days
- 5 Days
- 10 Days

Please call for TAT less than 24 Hours

Company DH Environmental
 Address 1011 SW Klickitat Way
Seattle, WA 98134
 Phone _____

Project Manager Brian Johnson
 Cell (206) 930-4043
 Email _____
 Fax (____) _____

Project Name/Number 3025 96th St. Project Location Gig Harbor, WA

- PCM Air (NIOSH 7400)
- PLM (EPA 600/R-93-116)
- PLM Gravimetry (600/R-93-116)
- Asbestos Friable/Non-Friable (EPA 600/R-93/116)
- TEM (NIOSH 7402)
- EPA 400 Points (600/R-93-116)
- Asbestos in Vermiculite (EPA 600/R-04/004)
- Other _____
- TEM (AHERA)
- EPA 1000 Points (600/R-93-116)
- Asbestos in Sediment (EPA 1900 Points)
- TEM (EPA Level II Modified)

Reporting Instructions Please send results to Brian Johnson
 Call (____) _____
 Fax (____) _____
 Email brian.johnson@dhenviro.com

Total Number of Samples 25

Sample ID	Description	A/R
1	COG-3025-ACM-01	Carpet & mastic
2	COG-3025-ACM-02	Carpet & mastic
3	COG-3025-ACM-03	Carpet & mastic
4	COG-3025-ACM-04	Carpet & mastic
5	COG-3025-ACM-05	Carpet & mastic
6	COG-3025-ACM-06	Ceiling tile
7	COG-3025-ACM-07	Ceiling tile
8	COG-3025-ACM-08	Ceiling tile
9	COG-3025-ACM-09	fire place concrete
10	COG-3025-ACM-10	insulation
11	COG-3025-ACM-11	insulation
12	COG-3025-ACM-12	insulation
13	COG-3025-ACM-13	concrete wall
14	COG-3025-ACM-14	dry wall & joint compound
15	COG-3025-ACM-15	carpet & mastic

	Print Name	Signature	Company	Date	Time
Sampled by	Brian Johnson		DH Env.	3-3-23	0930
Relinquish by	Brian Johnson		DH Env.	3-3-23	1535

Office Use Only

	Print Name	Signature	Company	Date	Time
Received by	Kenn Adair		NVL	3/3/23	1535
Analyzed by					
Called by					
Faxed/Email by					

2303563



ASBESTOS CHAIN OF CUSTODY

- 1 Hour
- 2 Hours
- 4 Hours
- 24 Hours
- 2 Days
- 3 Days
- 4 Days
- 5 Days
- 10 Days

Please call for TAT less than 24 Hours

Company _____ Project Manager _____
 Address _____ Cell () _____
 _____ Email _____
 Phone _____ Fax () _____

Project Name/Number	Project Location
---------------------	------------------

- PCM Air (NIOSH 7400)
- PLM (EPA 600/R-93-116)
- PLM Gravimetry (600/R-93-116)
- Asbestos Friable/Non-Friable (EPA 600/R-93/116)
- TEM (NIOSH 7402)
- EPA 400 Points (600/R-93-116)
- Asbestos in Vermiculite (EPA 600/R-04/004)
- Other _____
- TEM (AHERA)
- TEM (EPA Level II Modified)
- EPA 1000Points (600/R-93-116)
- Asbestos in Sediment (EPA 1900 Points)

Reporting Instructions _____
 Call () _____ Fax () _____ Email _____

Total Number of Samples 25

Sample ID	Description	A/R
1	COG-3025-ACM-14	carpet & mastic
2	COG-3025-ACM-17	ceiling tile
3	COG-3025-ACM-18	flooring & mastic
4	COG-3025-ACM-19	ceiling tile
5	COG-3025-ACM-20	ceiling tile
6	COG-3025-ACM-21	flooring & mastic
7	COG-3025-ACM-22	carpet & mastic
8	COG-3025-ACM-23	flooring & mastic
9	COG-3025-ACM-24	exterior siding coating
10	COG-3025-ACM-25	insulation & exterior siding coating
11		
12		
13		
14		
15		

Print Name	Signature	Company	Date	Time
Sampled by				
Relinquish by				

Office Use Only

Print Name	Signature	Company	Date	Time
Received by	<i>Kumpson</i>	<i>NVL</i>	3/2/23	15:35
Analyzed by				
Called by				
Faxed/Email by				



March 10, 2023

Mr. Brian Johnson
DH Environmental
1011 SW Klickitat Way, Suite 107
Seattle, WA 98134

Re: **NVL Batch 2303564.00**

Project Name/Number: 3025 96th St

Project location: Gig Harbor, WA

Dear Mr. Johnson,

Enclosed please find test results for samples submitted to our laboratory for analysis. Preparation and analysis of these samples were conducted in accordance with published industry standards and methods specified on the attached analytical report.

The content of this package consists of the following:

- Case Narrative & Definition of Data Qualifiers
- Analytical Test Results
- Applicable QC Summary
- Client Chain-of-Custody (CoC)
- NVL Receiving Record

The report is considered highly confidential and will not be released without your approval. Samples are archived for two weeks following analysis. Samples that are not retrieved by the client will be discarded after two weeks.

Thank you for using our laboratory services. If you need further assistance, please contact us at 206-547-0100 or 1-888-NVLLABS.

Sincerely,

Nick Ly, Technical Director

Enclosure: Sample Results

Phone: 206.547.0100 | Fax: 206.634.1936 | Toll Free: 1.888.NVL.LABS (685.5227)
4708 Aurora Avenue North | Seattle, WA 98103



Case Narrative:

The following summarizes samples received on date as shown on the accompanied Chain of custody by NVL Laboratories, Inc. from DH Environmental for Project Number 3025 96th St. Samples were logged in for PCB analysis per client request using both customer sample ID's and laboratory assigned ID's as listed on the Chain-of-Custody (CoC). All samples as received were processed and analyzed within specified turnaround time without any abnormalities and deviations that may affect the analytical results. All quality control requirements were acceptable unless stated otherwise. The conditions of all samples were acceptable at time of receipt and all samples submitted with this batch were analyzed unless stated otherwise on the CoC.

Test Results are reported in milligram per kilogram (mg/kg) for PCB samples as shown on the analytical reports.



Definition Appendix

Terms

% Rec	Percent recovery.
<	Below Reporting Limit(RL) or Limit of Quantitation(LoQ) of the instrument.
B	Blank contamination. The recorded results is associated with a contaminated blank.
DF	Dilution Factor
J	The reported concentration is an estimated value because something may be present in the sample that interfered with the analysis.
J1	The reported concentration is an estimated value because the laboratory control sample (LCS) is out of control limits.
J2	The reported concentration is an estimated value because the percent recovery for matrix spike is out of control limits.
J3	The reported concentration is an estimated value because the relative percent difference(RPD) for duplicate analysis is out of control limits.
J4	Percent recovery is outside of established control limits.
LCS	Laboratory Control Sample.
LFS	Laboratory Fortified Spike
Limits	The upper and lower control limits for spike recoveries.
LN	Quality control sample is outside of control limits. This analyte was not detected in the sample.
LOQ	Limit of quantitation(same as RL)
mg/kg	Milligrams per kilogram.
ND	Analyte not detected or below the reporting limit of the instrument or methodology



Definition Appendix

Terms

PPM	Parts per Million.
QC Batch Group	Quality Control Batch Group. The entity that links analytical results and supporting quality control results.
R	The data are not reliable due to possible contamination or loss of material during preparation or analysis. Re-sampling and reanalysis are necessary for verification.
RL	Reporting Limit. The minimum concentration that can be quantified under routine operating conditions.
RPD	Relative Percent Difference. The relative difference between duplicate results(matrix spike, blank spike, or samples duplicate) expressed as a percentage.
RPD Limit	The maximum RPD allowed for a set of duplicate measurements(see RPD).
SMI	Surrogate has matrix interference.
Spike Conc.	The measured concentration, in sample basis units, of a spiked sample.
SURR-ND	Surrogate was not detected due to matrix interference or dilution.
ug/m3	Micrograms per cubic meter.
ug/mL	Micrograms per milliliter
mg/Kg	milligram per kilogram



ANALYSIS REPORT

Polychlorinated Biphenyls by Gas Chromatography

Client	DH Environmental	Samples Received*	1
SDG Number	2303564.00	Analyzed By	Evelyn Ahulu
Date Reported	03/10/2023	Samples Analyzed*	1
Project Number	3025 96th St	Analysis Method	8082A
Location	Gig Harbor, WA	Preparation Method	3546PR (PCB)

* for this test only

Sample Number	COG-3025-PCB-01	Received	03/03/2023
Lab Sample ID	23022538	Matrix	Material
Initial Sample Size	2.2669 gm	Units of Result	mg/Kg, as received

Analyte	RL	Final Result	Analysis Date
Aroclor-1016	0.88	< 0.88	03/08/2023
Aroclor-1221	0.88	< 0.88	03/08/2023
Aroclor-1232	0.88	< 0.88	03/08/2023
Aroclor-1242	0.88	< 0.88	03/08/2023
Aroclor-1248	0.88	< 0.88	03/08/2023
Aroclor-1254	0.88	< 0.88	03/08/2023
Aroclor-1260	0.88	< 0.88	03/08/2023
PCBs, Total	0.88	<0.88	

Quality Control Results

Project Number:	3025 96th St	SDG Number:	2303564
		Project Manager:	Brian Johnson
QC Batch(es):	Q1907	Analysis Method:	8082A
QC Batch Method:	3546PR (PCB)	Analysis Description:	Polychlorinated Biphenyls by Gas Chromatography
Preparation Date:	03/06/2023		
Blank: MBLK-2303564			

Analyte	Blank Result	Units	DF	RL	Control Limit	Qualifiers
Aroclor-1016	ND	mg/Kg	1	1	1.0	
Aroclor-1221	ND	mg/Kg	1	1	1.0	
Aroclor-1232	ND	mg/Kg	1	1	1.0	
Aroclor-1242	ND	mg/Kg	1	1	1.0	
Aroclor-1248	ND	mg/Kg	1	1	1.0	
Aroclor-1254	ND	mg/Kg	1	1	1.0	
Aroclor-1260	ND	mg/Kg	1	1	1.0	
Aroclor-1262	ND	mg/Kg	1	1	1.0	
Aroclor-1268	ND	mg/Kg	1	1	1.0	
PCBs, Total	ND	mg/Kg	1	1	1.0	
<i>Surrogates:</i>				<i>% Rec</i>		
Tetrachloro-m-xylene			1		92	40-140
Decachlorobiphenyl			1		113	40-140

Lab Control Sample: LCS-1254-2303564

Analyte	Blank Spike Result	Units	DF	Spike Conc.	% Rec	% Rec Limits	Qualifiers
Aroclor-1254	18.4	mg/Kg	1	20.0	92	40-140	
<i>Surrogates:</i>							
Tetrachloro-m-xylene			1		87	40-140	
Decachlorobiphenyl			1		101	40-140	

Lab Control Sample: LCS-1016+1260-2303564

Lab Control Sample Duplicate: LCS Dup-1016+1260-2303564

Analyte	Blank Spike Result	Units	DF	Spike Conc.	% Rec	Limits	RPD	RPD Limit	Qualifiers
Aroclor-1016	15.8	mg/Kg	1	20.0	79	40-140			
	12.1			20.0	61	40-140	26.4	50	
Aroclor-1260	19.6	mg/Kg	1	20.0	98	40-140			
<i>Surrogates:</i>	20.7			20.0	104	40-140	5.5	50	
Tetrachloro-m-xylene			1		63	40-140			
					46	40-140			
Decachlorobiphenyl			1		108	40-140			
					120	40-140			



Surrogate Recovery Summary Report

Client <u>DH Environmental</u>		SDG Number <u>2303564</u>		
Project <u>3025 96th St</u>				
Customer Sample ID	Lab Sample ID	Analyte	Recovery	Limits
COG-3025-PCB-01	23022538	Decachlorobiphenyl	80%	40-140
COG-3025-PCB-01	23022538	Tetrachloro-m-xylene	56%	40-140
LCS Dup-1016+1260-2303564	LCS Dup-1016+1260-2303564	Decachlorobiphenyl	120%	40-140
LCS Dup-1016+1260-2303564	LCS Dup-1016+1260-2303564	Tetrachloro-m-xylene	46%	40-140
LCS-1016+1260-2303564	LCS-1016+1260-2303564	Decachlorobiphenyl	108%	40-140
LCS-1016+1260-2303564	LCS-1016+1260-2303564	Tetrachloro-m-xylene	63%	40-140
LCS-1254-2303564	LCS-1254-2303564	Decachlorobiphenyl	101%	40-140
LCS-1254-2303564	LCS-1254-2303564	Tetrachloro-m-xylene	87%	40-140
MBLK-2303564	MBLK-2303564	Decachlorobiphenyl	113%	40-140
MBLK-2303564	MBLK-2303564	Tetrachloro-m-xylene	92%	40-140

* Recovery outside limits



INITIAL AND CONTINUING CALIBRATION VERIFICATION

SDG No: **2303564**

Contract: **N/A**

Determination: **8082 PCB Aroclors <Material>**

Run	Sample	Source	Analyzed	Analyte	True	Found	Unit	% Rec	Limits
R001902	CCV1 1016-1260	PCB_2022-1-2	03/08/2023	Aroclor-1016	5	5.102	ug/mL	102	80-120
		PCB_2022-1-2	03/08/2023	Aroclor-1260	5	5.339	ug/mL	107	80-120
	CCV1 1254	PCB_2022-1-3	03/08/2023	Aroclor-1254	5	5.016	ug/mL	100	80-120
	ICV 1016-1254- 1260	PCB_2022-1-4	03/08/2023	Aroclor-1016	5	5.702	ug/mL	114	85-115
		PCB_2022-1-4	03/08/2023	Aroclor-1254	5	5.017	ug/mL	100	85-115
		PCB_2022-1-4	03/08/2023	Aroclor-1260	5	5.768	ug/mL	115	85-115
	CCV2 1016-1260	PCB_2022-1-2	03/08/2023	Aroclor-1016	5	5.432	ug/mL	109	80-120
		PCB_2022-1-2	03/08/2023	Aroclor-1260	5	5.993	ug/mL	120	80-120
	CCV2 1254	PCB_2022-1-3	03/08/2023	Aroclor-1254	5	5.069	ug/mL	101	80-120

% Rec = Percent recovery

* = Percent recovery not within control limits

CHAIN of CUSTODY SAMPLE LOG

2303564

LABORATORY + MANAGEMENT + TRAINING

Client DH Environmental
 Street 1011 SW Klickitat Way Suite 107
Seattle, WA 98134

NVL Batch Number _____
 Client Job Number _____

Total Samples _____
 Turn Around Time 1 Hr 6 Hrs 3 Days 10 Days
 2 Hrs 1 Day 4 Days
 4 Hrs 2 Days 5 Days

Project Manager Mr. Brian Johnson
 Project Location _____

Please call for TAT less than 24 Hrs




Email address brian.johnson@dhenviro.com

Phone: (206) 934-4043 Fax: (206) 930-4043

<input type="checkbox"/> Asbestos Air	<input type="checkbox"/> PCM (NIOSH 7400)	<input type="checkbox"/> TEM (NIOSH 7402)	<input type="checkbox"/> TEM (AHERA)	<input type="checkbox"/> TEM (EPA Level II)	<input type="checkbox"/> Other
<input type="checkbox"/> Asbestos Bulk	<input type="checkbox"/> PLM (EPA/600/R-93/116)	<input type="checkbox"/> PLM (EPA Point Count)	<input type="checkbox"/> PLM (EPA Gravimetry)	<input type="checkbox"/> TEM BULK	
<input type="checkbox"/> Mold/Fungus	<input type="checkbox"/> Mold Air	<input type="checkbox"/> Mold Bulk	<input type="checkbox"/> Rotometer Calibration		
METALS	Det. Limit	Matrix	RCRA Metals	<input type="checkbox"/> All 8	Other Metals
<input type="checkbox"/> Total Metals	<input type="checkbox"/> FAA (ppm)	<input type="checkbox"/> Air Filter	<input type="checkbox"/> Arsenic (As)	<input type="checkbox"/> Lead (Pb)	<input type="checkbox"/> All 3
<input type="checkbox"/> TCLP	<input type="checkbox"/> ICP (ppm)	<input type="checkbox"/> Drinking water	<input type="checkbox"/> Barium (Ba)	<input type="checkbox"/> Mercury (Hg)	<input type="checkbox"/> Copper (Cu)
<input type="checkbox"/> Cr 6	<input type="checkbox"/> GFAA (ppb)	<input type="checkbox"/> Dust/wipe (Area)	<input type="checkbox"/> Cadmium (Cd)	<input type="checkbox"/> Selenium (Se)	<input type="checkbox"/> Nickel (Ni)
	<input type="checkbox"/> CVAA (ppb)	<input type="checkbox"/> Soil	<input type="checkbox"/> Chromium (Cr)	<input type="checkbox"/> Silver (Ag)	<input type="checkbox"/> Zinc (Zn)
<input type="checkbox"/> Other Types of Analysis	<input type="checkbox"/> Fiberglass	<input type="checkbox"/> Nuisance Dust	<input checked="" type="checkbox"/> Other (Specify) <u>PCB</u>		
	<input type="checkbox"/> Silica	<input type="checkbox"/> Respirable Dust			

Condition of Package: Good Damaged (no spillage) Severe damage (spillage)

Seq. #	Lab ID	Client Sample Number	Comments (e.g Sample are, Sample Volume, etc)	A/R
1		<u>CO6-3075-PCB-d</u>	<u>caulking</u>	
2				
3				
4				
5				
6				
7				
8				
9				
10				
11				
12				
13				
14				
15				

	Print Below	Sign Below	Company	Date	Time
Sampled by	<u>Brian Johnson</u>		<u>DH Env.</u>	<u>3-3-23</u>	<u>1030</u>
Relinquished by	<u>Brian Johnson</u>		<u>DH Env.</u>	<u>3-3-23</u>	<u>1535</u>
Received by	<u>Kelly Adair</u>		<u>NH</u>	<u>3/3/23</u>	<u>1535</u>
Analyzed by					
Results Called by					
Results Faxed by					

Special Instructions: Unless requested in writing, all samples will be disposed of two (2) weeks after analysis.

Attachment 3 XRF Data

XRF Data - 3025 96th Street, Gig Harbor, WA

Instrument Serial Number	Sample ID	Date	Location	Color	Component	Substrate	Action Level	Units	Concentration	Pass/Fail
821477	1	3/3/2023	3025 - Interior	Beige/White	Wall & Trim	Wood	1	mg/cm2	0.03003	Pass
821477	2	3/3/2023	3025 - Interior	Beige/White	Wall & Trim	Wood	1	mg/cm2	0.0266	Pass
821477	3	3/3/2023	3025 - Interior	Beige/White	Wall & Trim	Wood	1	mg/cm2	0.02274	Pass
821477	4	3/3/2023	3025 - Interior	Beige/White	Wall & Trim	Wood	1	mg/cm2	0.04775	Pass
821477	5	3/3/2023	3025 - Interior	Beige/White	Window & Sill	Wood	1	mg/cm2	0.02487	Pass
821477	6	3/3/2023	3025 - Interior	Beige/White	Window & Sill	Wood	1	mg/cm2	0.06601	Pass
821477	7	3/3/2023	3025 - Interior	Beige/White	Window Cover	Wood	1	mg/cm2	<LOD	Pass
821477	8	3/3/2023	3025 - Interior	Beige/White	Wall	Wood	1	mg/cm2	0.02512	Pass
821477	9	3/3/2023	3025 - Interior	Beige/White	Door	Wood	1	mg/cm2	0.70085	Pass
821477	10	3/3/2023	3025 - Interior	Beige/White	Door Jamb	Wood	1	mg/cm2	5	Fail
821477	11	3/3/2023	3025 - Interior	Beige/White	Window & Sill	Wood	1	mg/cm2	0.03923	Pass
821477	12	3/3/2023	3025 - Interior	Beige/White	Window & Sill	Wood	1	mg/cm2	0.05045	Pass
821477	13	3/3/2023	3025 - Interior	Beige/White	Door	Wood	1	mg/cm2	0.06311	Pass
821477	14	3/3/2023	3025 - Interior	Beige/White	Door Jamb	Wood	1	mg/cm2	0.07503	Pass
821477	15	3/3/2023	3025 - Interior	Beige/White	Door	Wood	1	mg/cm2	0.03536	Pass
821477	16	3/3/2023	3025 - Interior	Beige/White	Door Jamb	Wood	1	mg/cm2	0.07061	Pass
821477	17	3/3/2023	3025 - Interior	White	Wall	Wood	1	mg/cm2	0.03462	Pass
821477	18	3/3/2023	3025 - Interior	White	Wall	Wood	1	mg/cm2	0.05568	Pass
821477	19	3/3/2023	3025 - Interior	Beige/White	Door	Wood	1	mg/cm2	0.02368	Pass
821477	20	3/3/2023	3025 - Interior	Beige/White	Door Jamb	Wood	1	mg/cm2	0.09023	Pass
821477	21	3/3/2023	3025 - Interior	White	Wall	Wood	1	mg/cm2	0.00631	Pass
821477	22	3/3/2023	3025 - Interior	White	Ceiling	Wood	1	mg/cm2	0.10654	Pass
821477	23	3/3/2023	3025 - Interior	Beige/White	Door	Wood	1	mg/cm2	0.06723	Pass
821477	24	3/3/2023	3025 - Interior	White	Window Frame	Wood	1	mg/cm2	0.08904	Pass
821477	25	3/3/2023	3025 - Interior	White	Door	Wood	1	mg/cm2	1.29784	Fail
821477	26	3/3/2023	3025 - Interior	White	Door Frame	Wood	1	mg/cm2	0.00388	Pass
821477	27	3/3/2023	3025 - Interior	White	Door Jamb	Wood	1	mg/cm2	0.30454	Pass
821477	28	3/3/2023	3025 - Interior	White	Door Accent	Wood	1	mg/cm2	<LOD	Pass
821477	29	3/3/2023	3025 - Interior	White	Wall	Wood	1	mg/cm2	0.01158	Pass
821477	30	3/3/2023	3025 - Interior	White	Stair Post	Wood	1	mg/cm2	0.0779	Pass
821477	31	3/3/2023	3025 - Interior	Red	Stairs	Wood	1	mg/cm2	0.07667	Pass
821477	32	3/3/2023	3025 - Interior	White	Stringer	Wood	1	mg/cm2	0.01569	Pass
821477	33	3/3/2023	3025 - Interior	White	Handrail	Wood	1	mg/cm2	0.05861	Pass
Op. Error	34	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error
821477	35	3/3/2023	3025 - Interior	White	Door	Wood	1	mg/cm2	1.72166	Fail

Instrument Serial Number	Sample ID	Date	Location	Color	Component	Substrate	Action Level	Units	Concentration	Pass/Fail
821477	36	3/3/2023	3025 - Interior	White	Door Jamb	Wood	1	mg/cm2	0.04234	Pass
821477	37	3/3/2023	3025 - Interior	White	Door	Wood	1	mg/cm2	0.72438	Pass
821477	38	3/3/2023	3025 - Interior	White	Wall	Wood	1	mg/cm2	<LOD	Pass
Op. Error	39	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error	Op. Error
821477	40	3/3/2023	3025 - Interior	White	Stair Post	Wood	1	mg/cm2	1.34326	Fail
821477	41	3/3/2023	3025 - Interior	White	Stair Rail	Wood	1	mg/cm2	1.55025	Fail
821477	42	3/3/2023	3025 - Interior	White	Stringer	Wood	1	mg/cm2	0.11992	Pass
821477	43	3/3/2023	3025 - Interior	White	Post	Wood	1	mg/cm2	0.29431	Pass
821477	44	3/3/2023	3025 - Interior	White	Wall	Drywall	1	mg/cm2	<LOD	Pass
821477	45	3/3/2023	3025 - Interior	Beige/White	Door	Wood	1	mg/cm2	0.00583	Pass
821477	46	3/3/2023	3025 - Interior	White	Wall	Wood	1	mg/cm2	1.13235	Fail
821477	47	3/3/2023	3025 - Interior	White	Door	Wood	1	mg/cm2	<LOD	Pass
821477	48	3/3/2023	3025 - Interior	White	Wall	Drywall	1	mg/cm2	0.00194	Pass
821477	49	3/3/2023	3025 - Interior	Beige/White	Ducting	Metal	1	mg/cm2	0.1391	Pass
821477	50	3/3/2023	3025 - Interior	White	Island	Wood	1	mg/cm2	0.00819	Pass
821477	51	3/3/2023	3025 - Interior	White	Door	Wood	1	mg/cm2	1.41304	Fail
821477	52	3/3/2023	3025 - Interior	White	Door Jamb	Wood	1	mg/cm2	0.29809	Pass
821477	53	3/3/2023	3025 - Interior	White	Wall	Wood	1	mg/cm2	<LOD	Pass
821477	54	3/3/2023	3025 - Interior	White	Stall Doors	Wood	1	mg/cm2	2.3231	Fail
821477	55	3/3/2023	3025 - Interior	White	Partitions	Wood	1	mg/cm2	0.04777	Pass
821477	56	3/3/2023	3025 - Interior	White	Partitions	Wood	1	mg/cm2	0.07442	Pass
821477	57	3/3/2023	3025 - Interior	White	Stall Doors	Wood	1	mg/cm2	1.815	Fail
821477	58	3/3/2023	3025 - Exterior	Blue	Stairs	Concrete	1	mg/cm2	0.00495	Pass
821477	59	3/3/2023	3025 - Exterior	White	Door	Wood	1	mg/cm2	0.61761	Pass
821477	60	3/3/2023	3025 - Exterior	White	Column	Metal	1	mg/cm2	0.10583	Pass
821477	61	3/3/2023	3025 - Exterior	Blue	Curb	Concrete	1	mg/cm2	<LOD	Pass
821477	62	3/3/2023	3025 - Exterior	Blue	Window Frame	Wood	1	mg/cm2	<LOD	Pass
821477	63	3/3/2023	3025 - Exterior	Blue	Door	Wood	1	mg/cm2	<LOD	Pass
821477	64	3/3/2023	3025 - Exterior	Blue	Wall	Concrete	1	mg/cm2	0.00316	Pass
821477	65	3/3/2023	3025 - Exterior	White	Fence	Wood	1	mg/cm2	<LOD	Pass
821477	66	3/3/2023	3025 - Exterior	Beige/White	Upper Door	Wood	1	mg/cm2	5	Fail
821477	67	3/3/2023	3025 - Exterior	Blue	Deck	Wood	1	mg/cm2	<LOD	Pass
821477	68	3/3/2023	3025 - Exterior	Blue	Deck Stairs	Wood	1	mg/cm2	<LOD	Pass
821477	69	3/3/2023	3025 - Exterior	Beige/White	Siding	Wood	1	mg/cm2	0.04575	Pass
821477	70	3/3/2023	3025 - Exterior	Beige/White	Door	Wood	1	mg/cm2	0.26203	Pass
821477	71	3/3/2023	3025 - Exterior	Beige/White	Door	Wood	1	mg/cm2	1.36283	Fail
821477	72	3/3/2023	3025 - Exterior	Blue	Deck Stairs	Wood	1	mg/cm2	<LOD	Pass

Instrument Serial Number	Sample ID	Date	Location	Color	Component	Substrate	Action Level	Units	Concentration	Pass/Fail
821477	73	3/3/2023	3025 - Exterior	Blue	Window Cover	Wood	1	mg/cm2	1.09854	Fail
821477	74	3/3/2023	3025 - Exterior	Beige/White	Lower Door	Wood	1	mg/cm2	0.00547	Pass
821477	75	3/3/2023	3025 - Exterior	Blue	Exhaust Panel	Wood	1	mg/cm2	<LOD	Pass
821477	76	3/3/2023	3025 - Exterior	Blue	Exhaust Panel	Wood	1	mg/cm2	1.5092	Fail
821477	77	3/3/2023	3025 - Exterior	Beige/White	Siding	Wood	1	mg/cm2	0.36584	Pass
821477	78	3/3/2023	3025 - Exterior	Beige/White	Siding	Wood	1	mg/cm2	0.41911	Pass

Attachment 4 Laboratory Certifications

United States Department of Commerce
National Institute of Standards and Technology



Certificate of Accreditation to ISO/IEC 17025:2017

NVLAP LAB CODE: 102063-0

NVL Laboratories, Inc.
Seattle, WA

*is accredited by the National Voluntary Laboratory Accreditation Program for specific services,
listed on the Scope of Accreditation, for:*

Asbestos Fiber Analysis

*This laboratory is accredited in accordance with the recognized International Standard ISO/IEC 17025:2017.
This accreditation demonstrates technical competence for a defined scope and the operation of a laboratory quality
management system (refer to joint ISO-ILAC-IAF Communique dated January 2009).*

2022-10-01 through 2023-09-30

Effective Dates



A handwritten signature in blue ink, which appears to read "Dana S. Gorman".

For the National Voluntary Laboratory Accreditation Program

SCOPE OF ACCREDITATION TO ISO/IEC 17025:2017

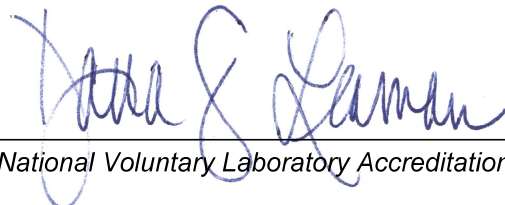
NVL Laboratories, Inc.
4708 Aurora Avenue N.
Seattle, WA 98103
Mr. Nghiep Vi Ly
Phone: 206-547-0100 Fax: 206-634-1936
Email: nick.l@nvllabs.com
<http://www.nvllabs.com>

ASBESTOS FIBER ANALYSIS

NVLAP LAB CODE 102063-0

Bulk Asbestos Analysis

<u><i>Code</i></u>	<u><i>Description</i></u>
18/A01	EPA -- 40 CFR Appendix E to Subpart E of Part 763, Interim Method of the Determination of Asbestos in Bulk Insulation Samples
18/A03	EPA 600/R-93/116: Method for the Determination of Asbestos in Bulk Building Materials



For the National Voluntary Laboratory Accreditation Program

Attachment 5 Inspector Certifications

STATE OF WASHINGTON

Department of Commerce

Lead-Based Paint Abatement Program

Brian Gary Johnson

*Has fulfilled the certification requirements of
WAC 365-230
and has been certified to conduct lead-based
paint activities as a
Risk Assessor*

Certification #

7170

Issuance Date

02/23/2021

Expiration Date

03/27/2024

THE ASBESTOS INSTITUTE

Certifies that

Brian Johnson

has attended and received instruction in the EPA approved course

AHERA Building Inspector Refresher

on

June 30, 2022

and successfully completed and passed the competency exam.

Certificate:
ON-4644-2900-063022

Date of Examination:
30-Jun-2022

Date of Expiration:
30-Jun-2023



William T. Cavness
Director



Approved Instructor

THE ASBESTOS INSTITUTE

20033 N. 19th Ave, Building 6, Phoenix, AZ 85027

602-864-6564 – www.theasbestosinstitute.com

This training meets all requirements for asbestos certification under Toxic Substance Control Act Title II.

From: [Jon Keiser](#)
To: [Maureen Whitaker](#)
Cc: [Juliet Vong](#); [Adam Tyner, PE](#); [Jennifer Haro](#)
Subject: RE: CCP - Masonic Lodge Meeting
Date: Thursday, April 20, 2023 1:23:32 PM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image021.png](#)

Maureen,

This email is in response to clarifications requested at the April 19 meeting with the City on the Masonic Lodge.

PND's structural design and cost estimate was based on what it took to bring the building up to minimum current code from an occupancy/ADA/architectural standpoint; limited to the changes needed to be made to accommodate the required Architectural changes needed to support use of the upper level of the building. PND's review was limited to non-invasive measures in order to avoid disturbance to the existing preschool use. Any further detailed evaluation would require invasive measures that could only occur when the preschool was not in session, including repair of areas disturbed as a result of the review. As a result, PND did not analyzing the seismic capacity or integrity, nor did we have the ability to investigate the presence of reinforcement in the wall or foundation or the connection of the building to the foundation.

If requested, PND can analyze the building per ASCE standard, ASCE 41-17 Seismic Evaluation and Retrofit of Existing Buildings. It is very unlikely the existing building meets the IBC 2021 code requirements for seismic. We would need to perform a seismic evaluation of the existing building to determine the seismic retrofits necessary for the building, which includes invasive work to the interior of the building that can only occur while the preschool is not in session. We would also need a geotechnical investigation to determine the site-specific seismic requirements and to assess the potential for liquefaction at the building site. The cost for this additional work could be approximately \$100,000 and would take 4-5 months to complete. We would then have the information needed to assess how the building would perform in an earthquake and we would be able to recommend any seismic retrofits needed for the structure and provide order of magnitude cost estimates.

Let us know if the City has any questions?

Thanks

Jon

Jon B. Keiser, P.E. P.Eng. | Vice President
P|N|D Engineers, Inc.
p. 206.624.1387 f. 907.563.4220
jkeiser@pndengineers.com | www.pndengineers.com

TECHNICAL MEMORANDUM

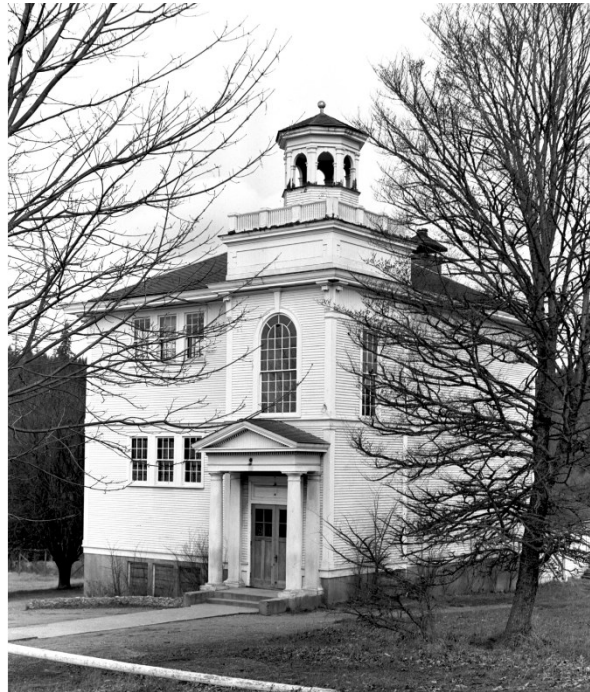
Date: February 24, 2023

To: Juliet Vong
HBB Landscape Architecture

From: Rolluda Architects

Project: Crescent Creek Park Master Plan Project #:

Re: Masonic Lodge



*Harbor History Museum Collection, Catalog Numbers GH-152, E-03.2, FS72-5, Sch-183-CV
2020 Photos: Kellys on Pioneer, Harborview Drive, and Crescent Valley School Now by Stephanie Lile*

1. PROJECT OVERVIEW

This memo evaluates the existing conditions and uses of the Masonic Lodge and determines potential improvements. Features that would help create continuity between the different park elements will be considered, along with protecting the natural environment and the existing park character.

2. HISTORY

- a. Crescent Valley School was built in 1915 located on the corner (Vernhardson / 96th and Crescent Valley Road) where the old Masonic Temple structure still stands. The building was decommissioned as a school in 1942 and was purchased in 1949 when it became the Masonic Temple (John Paul Jones Lodge #217) and remodeled by the Masonic Temple Association. The original schoolhouse was extensively remodeled and expanded

at some point, believed to be in the late 1940s. There was an addition to the west that doubled the building's footprint, and the schoolhouse's second floor and tower element were removed. The main floor windows were infilled at some point during its history.

b. Historical Significance

i. Criteria for evaluation of whether a property is eligible for being listed on the National Register of Historic Places:

1. Be associated with important events that have contributed significantly to the broad pattern of our history, or
2. Be associated with the lives of persons significant in our past, or
3. Embody the distinctive characteristics of a type, period or method of construction; or represent the work of a master; or possess high artistic values; or represent a significant and distinguishable entity whose components may lack individual distinction, or
4. Have yielded, or may be likely to yield, information important in prehistory or history.

ii. Because the building has been modified extensively over the past 100+ years, with the removal of the 2nd story of the original school house, the doubling of the building's footprint, the infilling of the main floor windows, the replacement of siding with vinyl siding, and the replacement of the roofing with standing seam metal roofing, it would appear that there is little remaining of the original building fabric to have the structure considered for nomination under criteria 3 above.

3. GENERAL DESCRIPTION

- a. The Masonic Lodge is on a 1.1-acre parcel in unincorporated Pierce County. It borders the City of Gig Harbor on 3 of its sides. The structure has a concrete foundation with a concrete slab on grade at the basement level. The concrete foundation walls seem to extend to the main floor framing. From that point, the building is constructed of wood studs and clad with vinyl siding. The siding on the north side of the building appears to have mildew growth on the surface. The hipped roof is clad with a standing seam metal roof. The finish of the roof appears to be chalking and the age of the roof is unknown. We understand anecdotally that the basement has experience moisture intrusion, believed to be caused by ground water moving across the site from east to west.
- b. A Phase 1 Environmental Site Assessment was performed in 2017. This assessment revealed no evidence of recognized environmental conditions, except for the following:
 - i. Heating Oil Tank located in the northeast corner of the building, which may not have been properly decommissioned.
 - ii. The property is located within the Tacoma Smelter Plume.
 - iii. Hazardous Building Materials are suspected, given the age of the building.
- c. Structural Analysis: An analysis of the building's structure was performed and is included under separate cover.

4. CODE REVIEW (IBC 2018)

- a. Zoning
 - i. Overview

1. The Masonic site is located in unincorporated Pierce County and is zoned Single Family (SF). The parcel directly adjacent to the site's western boundary is within the City of Gig Harbor and is zoned Public Institutional District (PI) and is listed on the Historic Register. The parcel to the north and east is also within the City of Gig Harbor and is zoned PI. The parcel to the south, across 96th St NW is within unincorporated Pierce County and is zoned SF.
- ii. SF Zone
 1. Civic Use, Public Park Facilities, Levels 1, 2, and 4 are permitted.
 - a. Level 1 - Local Parks. Local Parks such as playfields, neighborhood parks, and small community parks have limited facilities and typically include a playground, sports field, tennis or basketball courts, internal pathway, and supporting amenities.
 - b. Level 2 - County Parks and rest areas associated with a major transportation route. County Parks are large community parks that support a wide range of recreation interests, attract residents from nearby communities, provide active and passive recreation opportunities and may also incorporate natural open space.
 - c. Level 4 - Linear Parks/Trails and Resource Conservancy Parks. Linear Parks/ Trails and Resource Conservancy Parks include built or natural corridors which provide recreation or non-motorized transportation linkages within the county or green buffers between communities. Recreational use is generally passive and trail-related and may include supporting facilities, such as viewing areas, play areas, picnic tables, or trailheads.
 - d. Day Care Centers are not listed as a permitted use in SF zones.
 - iii. Development Standards
 1. Setbacks - Front - 12 ft for porches, 15 ft for other portions of building; Interior/Side - 10 ft; Rear – 10 ft
 2. Building Height Limits – 35 ft
 - iv. Adjacent Zoning:
 1. West: Public-Institutional District, Historic Register (City of Gig Harbor)
 2. North and East: Single-Family Residential (City of Gig Harbor)
 3. South: Single-Family (Pierce County)
 - v. Parking Requirements - TBD
- b. Building
 - i. Occupancy (Chapter 3)
 1. Existing

The Masonic Lodge main level falls under Assembly **Group A - 3** occupancy, per 2018 IBC, Sec 303.1 and Sec 303.4. Group A occupancy includes, among others, the use of a building or structure, or a portion thereof, for the gathering of persons for purposes such as civic, social, or religious functions; recreation, food or drink consumption or awaiting

transportation. Group A-3 occupancy includes assembly uses intended for worship, recreation or amusement and other assembly uses not classified elsewhere in Group A including Community halls.

The Masonic Lodge basement-level falls under **Group E** Day Care facilities, per 2018 IBC 305.2. This group includes buildings and structures or portions thereof occupied by more than five children older than 2 1/2 years of age who receive educational, supervision or personal care services for fewer than 24 hours per day.

- ii. Construction Type: Type V-B
- iii. Allowable Area (Chapter 5): Assumption – Building is 1-story, non/sprinkled, with basement.
 - 1. A-3 Occupancy: 6,000 sf
 - 2. E-1 Occupancy: 9,500 sf
- iv. Means of Egress (Chapter 10)

MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT (Table – 1004.5)

DESCRIPTION	AREA SQ FT	AREA SQ FT	OCCUPANT LOAD FACTOR	OCCUPANT
01-LEVEL 1 - A3				
Assembly area		1864	7	266.285714
Entry	115			
Corridor	302			
Room	120			
Store	10			
Store/ Utility	65			
Store	41			
00-BASEMENT - E				
Day Care		1739	35	49.6857143
Kitchen		172	200	0.86
Restroom	102			
Restroom	36			
Mechanical Equipment	54			
Corridor	166			
				316.831429
TOTAL OCCUPANCY				317

- 1. Exit width

- a. Main Floor:
 - i. Required: Doorways - 54 in; Stairs – 80.1 in
 - ii. Provided: Doorways – 64 in; Stairs – 144 in
 - b. Basement:
 - i. Required: 10 in
 - ii. Provided: 66 in
- v. Accessibility (Chapter 11): up to 20% of the construction budget will be required to be allocated to address accessibility deficiencies.
- 1. Interior:
 - a. Restrooms do not comply with accessibility requirements (maneuvering/turning space, fixture heights)
 - b. Kitchen does not comply with accessibility requirements (knee space, workspace height)
 - c. Stairs
 - i. Stair nosing projection: underside of projects does not have curved or beveled underside
 - ii. Handrail lack extensions at top and bottom, and do not return to the wall.
 - iii. Guards spaced greater than 4 in apart.
 - d. Assembly space on the main floor is not wheelchair accessible, only accessible from the main entry by stairs.
 - e. The exit door at the northwest corner of the assembly space is ~12 in higher than main floor level, accessible only by stairs.
 - f. The only restroom facilities in the building are at the basement level, which are not wheelchair accessible from the main level.
 - g. The stairs to the attic does not have a handrail on both sides of the stairs, spacing of guards are greater than 4”, handrail does not have extensions at top and bottom.
 - 2. Exterior
 - a. Main entry is not wheelchair accessible.
 - b. Main entry stair has only 1 handrail.
 - c. North exit stairs have open risers and noncompliant handrails.

vi. Plumbing Fixtures (Chapter 29)

MINIMUM NUMBER OF REQUIRED PLUMBING FIXTURES (See Sections 2902.2 and 2902.3)

Occupants: 317

NO	CLASSIFICATION	OCCUPANCY	WATER CLOSET / URINAL			LAVATORIES			BATHTUBS / SHOWERS	DRINKING FOUNTAINS
			MALE	FEMALE	UNISEX	MALE	FEMALE	UNISEX		

			1 PER 125	1 PER 65	--	1 PER 200			--	1 PER 500
1	Assembly	A-3*	1.268	2.438462	--	0.7925	0.7925	--	--	0.634

* Auditoriums without permanent seating, art galleries, exhibition halls, museums, lecture halls, libraries, arcades and gymnasiums.

5. CONCEPT ALTERNATIVES - TBD

From: [Jennifer Haro](#)
To: [Eric Baker](#)
Subject: FW: Gig Harbor Masonic Lodge
Date: Tuesday, October 7, 2025 7:49:46 AM
Attachments: [image009.png](#)
[image010.png](#)
[image011.png](#)
[image012.png](#)
[image016.png](#)
[image001.png](#)

FYI

Jennifer Haro | Parks Manager

City of Gig Harbor
3510 Grandview Street
Gig Harbor, WA 98335
(253) 853-8253
www.gigharborwa.gov

Stay Connected! [Sign up for the city's weekly Gig-A-Byte email newsletter.](#)

From: Jennifer Haro
Sent: Wednesday, March 29, 2023 10:45 AM
To: Katrina Knutson <kknutson@gigharborwa.gov>; Jeff Langhelm <JLanghelm@gigharborwa.gov>
Subject: FW: Gig Harbor Masonic Lodge

See below from the DAHP re: Masonic Lodge.

From: Elenga, Maureen (DAHP) <Maureen.Elenga@dahp.wa.gov>
Sent: Wednesday, March 29, 2023 7:56 AM
To: Jennifer Haro <JHaro@gigharborwa.gov>
Cc: Vann, Nicholas (DAHP) <Nicholas.Vann@dahp.wa.gov>
Subject: RE: Gig Harbor Masonic Lodge

Hi Jennifer,

Evaluating National Register eligibility for a building that has been this drastically altered is complicated. Eligibility would depend on it having strong historical significance as a Masonic lodge, as it has lost nearly all of its character-defining features as a 1915 school building. It does seem to retain integrity from the 1940s alterations, which are now historic in their own right. Evaluating it for what it essentially is, a 1940s former Masonic lodge, one could argue that the alterations/lack of fenestration convey its historic significance and function as a secret society lodge; but it's not the original purpose of the building, so perhaps not the strongest argument for eligibility unless, again, it has an important connection to a person, event or pattern of history at the local, state or national level.

Evaluating it for local landmarking eligibility is going to be the best way to guide the commission's decision. It sounds as though this building is pretty important to people in the community, given that there are calls to save it. I would encourage the commission to make a decision on the building

based on local input and on your local landmarking codes. We suggest engaging your architectural historian/consultant to evaluate the building's local historical significance as a post-war Masonic lodge and produce a report for the commission and the community to consider in deciding the future of the building.

Warm regards,

Maureen Elenga, M.A. | *Architectural Historian – Transportation Project Reviewer*
(360) 972-4539
maureen.elenga@dahp.wa.gov

My work hours are 7:00am – 3:30pm, Mon-Fri

Dept. of Archaeology & Historic Preservation | www.dahp.wa.gov
1110 S. Capitol Way, Suite 30 | Olympia, WA 98501
PO Box 48343 | Olympia WA 98504-8343



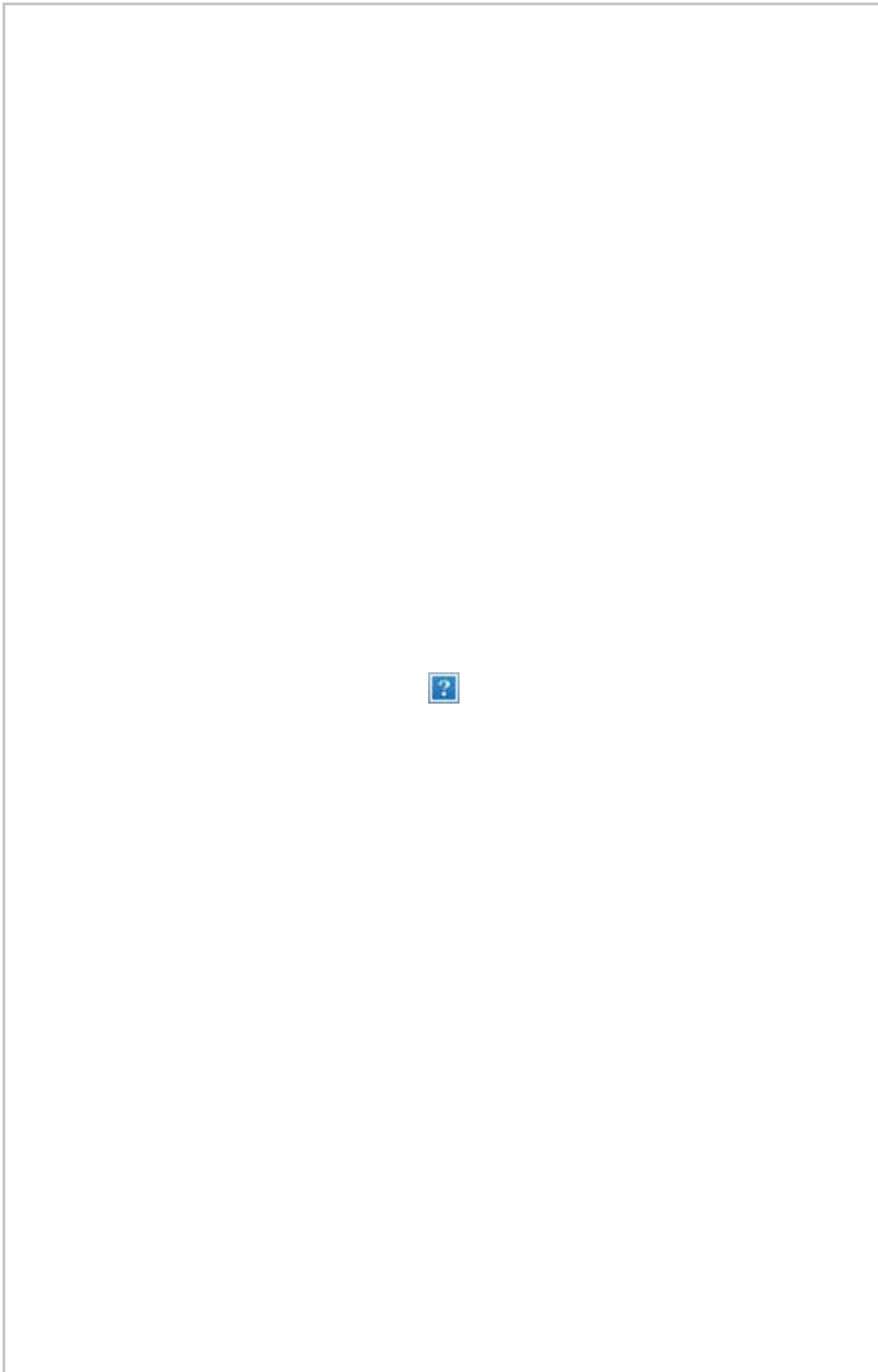
From: Jennifer Haro <JHaro@gigharborwa.gov>
Sent: Monday, March 27, 2023 10:46 AM
To: Vann, Nicholas (DAHP) <Nicholas.Vann@dahp.wa.gov>
Subject: Gig Harbor Masonic Lodge

External Email

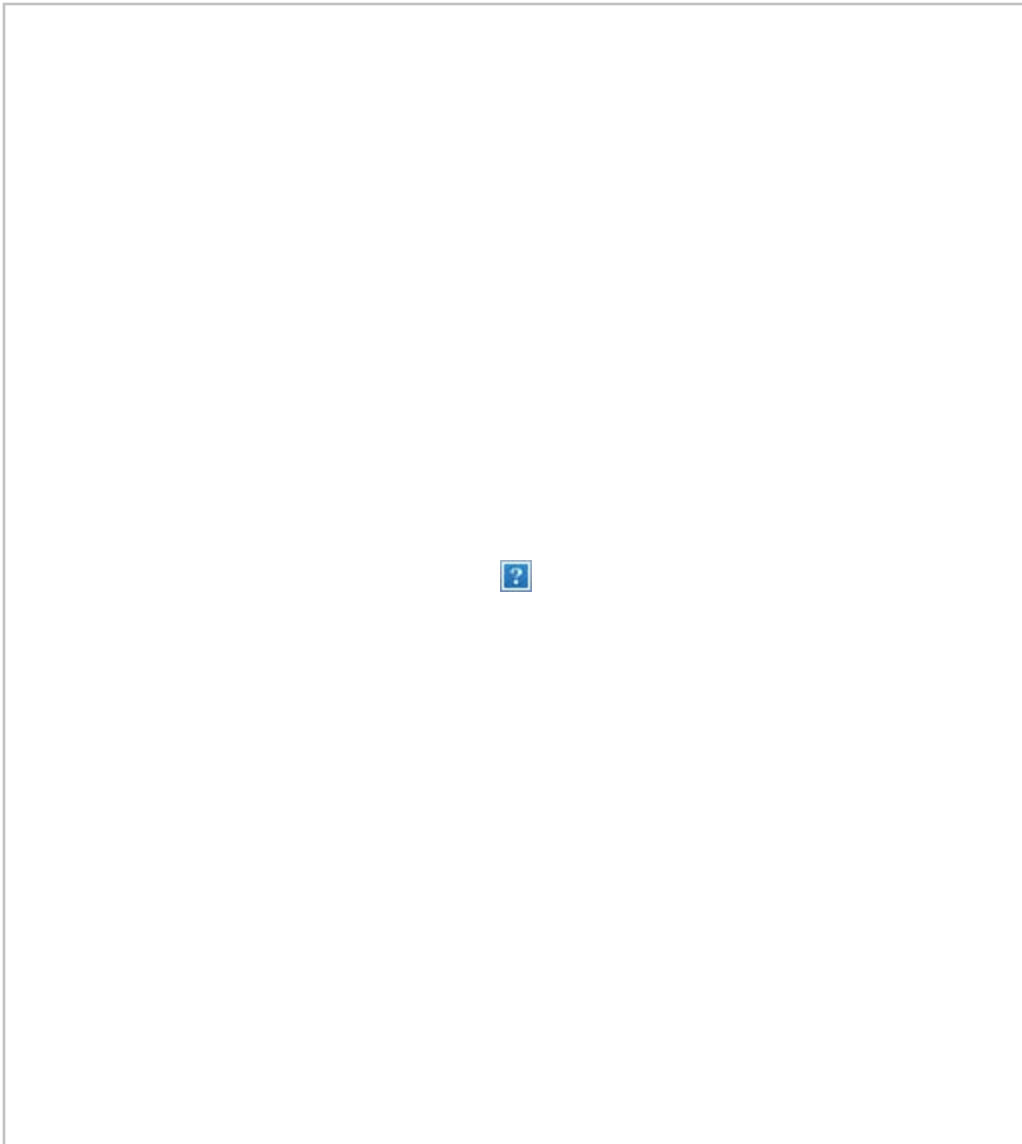
Hi Nicholas,

Our City Administrator asked me to reach out to you about a building that is owned by the City of Gig Harbor that we are trying to decide the future of. We have a an architectural consultant who has said that it has been altered too much to be considered for a historical listing, but we have citizens who think it should be saved. Would you be able to give your opinion? Our City Administrator thinks that your opinion would have a lot of weight as the Council decides what to do with the building.

The original building was built in 1915 as a school – photo below:



Then, in 1946 or 47, the school district sold the property to the Masons, who razed the 2nd floor, built a 30 x 39 foot addition with a basement and covered up all the windows (except in the basement), and added a kitchen. A photo of what it looks like today is below.



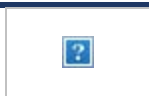
If you are able to give an opinion on whether the building could qualify for a historical listing, please let me know. Or let me know if you would need any more information. The City Council is set to meet about the future of the building on April 13. We have many citizens who want it saved because of its historical value.

Thank you,

Jennifer Haro | Parks Manager

3510 Grandview St • Gig Harbor, WA 98335

253-851-8136 253-853-8253 (direct) www.cityofgigharbor.net





REPURPOSING PROPOSAL SUMMARY

~ FORMER MASONIC LODGE ~

“[The Schoolhouse design] speaks to the structure’s history as the school and to its long tenure as the Masonic Lodge, and to the building that has existed there for as long as I can remember. It is a signature historic structure for Gig Harbor and Crescent Valley.”

Updated 7/10/24

Prepared by: The Masonic Lodge Community Advocacy Group

Stephanie Lile, MFA, MEd ~ Harbor History Museum & Gig Harbor Peninsula Historical Society

John McMillian and Mary Manning, McMillian Design/Music Instruction

Rory Turner, Developer of Historic Properties

Erica Williams, Neighbor and President of Harbor History Museum Board of Trustees

Rex Davidson, Ghostlight Performing Arts

Guy Hoppen, Neighbor and Gig Harbor BoatShop

Mark Hoppen, Retired City Administrator

Riley Hall, Preservation Specialist - Neighbor

Zerah F. ~ Washington Patriot Construction – John Holmaas, Neighbor and Real Estate Broker

Overview

The Masonic Lodge building as we know it today originated as the Crescent Valley School. Built in 1915 as a two-room, two-story structure, it served as a school for four decades.

It was purchased by the Masons in 1949 and renovated to the floorplan we know today. It served as a Masonic Lodge for nearly six decades. Numerous prominent community members were active Masons, instrumental in the shaping of our city as we know it today.

The City of Gig Harbor bought the Lodge and surrounding property in [2017] with the intention of adding the property to Crescent Creek Park. This will involve annexing the property into the city and rezoning it to PI (Public Institution).

The building has a long history of being a public gathering place, from its days as a school to its home for the masons (and other community groups). **It is the goal of the Community Advocacy Group to see it once again serving the community as a Community Recreation Hall, a use for which it is already zoned and the primary preferred use identified by survey respondents.**

Community Advocacy

During a study session in 2023, the Gig Harbor City Council discussed the demolition of the Lodge and appeared to conclude that that direction was the preferred path of the council. Community outcry by neighbors, historic preservationists, and past masons and school students put demolition on hold and activated an MOU between the city and the Harbor History Museum (HHM)/Gig Harbor Peninsula Historical Society. This all-volunteer group assembled by HHM, consisted of approximately 20 participants representing various backgrounds and interests. They met in monthly public meetings over the last year to secure public input and provide community members with the opportunity to provide input into potential uses, designs, and funding strategies.

After two public surveys and nearly a year of review and discussion, the committee is proud to put forward the following recommendation to City Council.

Summary Recommendation

In short, the group--with considerable public input (1000+ responses to Survey #1 and 223 responses to Survey #2)--recommends that the old Masonic Lodge be repurposed as a Community Recreation Hall on the upper floor and museum-quality storage on the lower floor. These two uses complement each other, are in existing code compliance, and accommodate the mandated ratio of occupants to parking spaces (4:1).

This use scenario and design solution also accomplishes a number of important services to the community:

1. Repurposes a well-built building for much-needed community use
2. Retains our local history and provides an avenue for interpreting said history in an active and engaging way
3. Provides secure, climate-controlled space for both city and museum collections
4. Provides much-needed parking and restrooms in the upper area of the park
5. Follows a well-established pattern of community hall/structural rehabilitation in our area
6. Answers the demands of numerous community arts, heritage, science, and public groups who need year-round indoor gathering space

Cost Summary

The Community Advocacy Group met with Washington Patriot Construction who graciously agreed to provide a construction estimate based on the “schoolhouse” design (as selected by survey). This cost estimate assumed that the building would be re-roofed and sided, an addition for restrooms and catering kitchen would be added, ADA compliances addressed, and all asbestos and lead paint sites would be remediated.

Construction Estimate – Building rehabilitation and addition: \$4,583,077 (incl \$354,558 tx)

Further review with Washington Patriot Construction determined that a tear-down and rebuild would be approximately \$1 million more.

A rehabilitation of the building alone with no new addition (hence no park restrooms or a community catering kitchen) would be about \$1 million less.

Survey Summary

Overall, **Survey 1** was intended to determine the level of community need and desire for saving the building and repurposing it for arts, heritage, science, and general community use. The response was a surprising 1001 replies with significant support for a community theater and/community recreation hall. No images were used in this survey because use and need were the primary items to be measured. Many other potential uses were identified in the survey, but almost all could be accommodated via the community recreation hall designation.

Building on the previous survey, **Survey 2** used images and scenarios to gauge interest in particular styles of renovation and their associated costs. Of the 208 responses, the “schoolhouse” conceptual design ranked an average of 72 out of 100, with WPA and “Basic” ranking 35 and 33 respectively. Respondents ranked the need for an addition including kitchen and restrooms an average of 71 out of 100.

When it came to the bottom line, in terms of design, cost, and useability, 63.76% of respondents felt that repurposing the Lodge with the new addition for restrooms and kitchen was the best option, trailed by 16.51% for the most basic rehabilitation, 11.01% preferring demolition for parking and freestanding restrooms, and finally 8.72% opting for a brand-new building.

In short, there was marginal support for demolition in either survey, despite a stated desire for more volleyball and pickleball courts. For reference, the lodge footprint is the equivalent of just one volleyball court, and any Lodge parking installed (54 spaces are required) would also serve other park uses.

Our takeaway from the Survey and Review process was that the vast majority of our community respondents were in favor of the building’s adaptive reuse--including a new addition for restrooms and kitchen, as well as a design that echoed the Crescent Valley School and Masonic Lodge--even if it fell in the \$4.5 million dollar category.

Additionally, there was a high level of support for nomination of the building to the city historic register; a recognition that can assist with grant funding as well.

Funding Strategy

The city has a responsibility and general desire to care for and make functional for public use the historic properties it purchases. Certain challenges exist, as they always do with historic public properties, but they are not insurmountable. The city has demonstrated this desire with the successful rehabilitation of Ancich Netshed, the Andrew Skansie House, and the Gig Harbor BoatShop and Brick House.

The easiest route to funding is through a Building for the Arts grant, the model for which would look like this:

Project Budget: \$4.5 million

BFA Grant* funds = \$1.5 million (applications open in 2026, 2:1 match req)

City Funds = \$2,956,000 (up to \$2+ million can be committed via Hospital Benefit Zone)

Community Funds Already Committed: \$44,000 (for catering kitchen and Geotech testing)

*Grant writing and project management services may be contracted for via HHM.

Additional Public Funds may be secured through:

Pierce County Landmarks and Historic Preservation Building Fund IF the building is placed on the city and/or county historic register.

Washington State Heritage Capital Projects Fund (applications open 2026)

Maritime Washington National Heritage Area

State Appropriation

Cultural Access Funding IF designated for use by arts and cultural organizations who provide educational programming.

Federal Sources such as:

National Endowment for the Arts: Our Town Grants (up to \$150,000)

National Park Service: Competitive Grants and HPF Formula Grants for Historic Preservation

National Trust for Historic Preservation

Lease-Management Model

Management and funding must work in partnership in order to be successful. The management model proposed as a result of the investigations of the community advocacy group are as follows:

- **A single non-profit entity leases the building as both “manager” and “occupant”** for a nominal fee (equitable to other NP-City managing leases). They assume the responsibility for booking and cleaning the community recreation hall and catering kitchen. Community renters are responsible for set-up and clean up per signed rental agreements. Rental payments are processed through the leasing organization to cover the cost of recreation hall basic cleaning, maintenance, and management overhead.
- **The managing organization is the occupant of the lower-level storage space.** They will be responsible for collections-storage “tenant improvements” such as shelving and specialty storage containers separate and apart from building renovation. However, basic improvements to the work/storage space will be part of the building renovation plan.
- **The city, as owner of the building, shall be responsible for** upkeep of the grounds, parking areas, general building maintenance, trash removal and park restroom cleaning/upkeep.
- **Capital improvements**, if and when needed, would be planned, approved, and funded in league with the city/property owner.
- **Equipment for Community use/rentals** (tables, chairs, and AV) **is estimated at \$35,000** for tables, chairs, AV equip (microphone, stand, and cables), minimal linens, and misc kitchen trays. Funding for this element of the project would be done via community groups who would be likely to use the space. Basic kitchen equipment (sink, oven, cabinets, refrigerator, dishwasher) would be part of the renovation fixtures budget line.

Conclusion

Overall, there is significant community support for repurposing the building as a community recreation hall. Funding sources are available with a required city match. Management of the building would require minimal city involvement if leased to a managing non-profit.

Improvements to the building/site also provide much-needed services (i.e. restrooms & parking) to other park activities. The existing city comp plan includes goals for an Arts & Culture facility, and this is an ideal site for that. The building should be added to the city’s Capital Facilities Plan as a strategic priority central to the Crescent Creek Park master plan.

Community Support

From the Board of the East Gig Harbor Association, an organization of East Side homeowners dedicated to preservation and improvement of the immediate area, including Crescent Creek Park and the Lodge:

The Directors of the East Gig Harbor Association, at its May 16, 2024, Board meeting voted unanimously to support repurposing the Crescent Valley Grade School/Masonic Lodge, for community use, as opposed to demolition of the building. Reuse should include a new addition for a kitchen and restrooms that would serve inside use as well as the volleyball players. An indoor year-round space would provide a venue for cultural, heritage, arts, senior activities, youth activities and private parties.

Respectfully submitted,

Carole Holmaas

Carole Holmaas, Secretary



The recommended concept design addresses user needs for ADA, upper park restrooms, parking, and preservation of open space. Special thanks to John McMillian for developing the concept renderings.



CRESCENT LODGE GIG HARBOR MASONIC TEMPLE

WA Patriot Budget
April 29, 2024

LEAD | BUILD | SERVE | LIVE

Conceptual Pricing



WA Patriot Concept Estimate Summary

BASE BID ESTIMATE TOTAL

4,208,519

<i>Washington State Sales Tax (WSST at 8.9%)</i>	<u>374,558</u>
Grand total with Sales Tax	<u><u>4,583,077</u></u>

Conceptual pricing includes construction costs only, does not include

1. Design/Permitting Fees (estimate 12-15% of construction costs)
2. Owner Move & Furniture, Fixtures, Equipment (estimate 10-12% of construction costs)

Crescent Lodge - GH Masonic Temple

WA Patriot Concept Estimate Detail

THE CURRENT GRAND TOTAL = \$ 4,208,519

CSI / Spec	Description	Sub Name or Unit Price	Labor	Material	Sub	Equip/ Other	TOTAL	Comments
01 1000	General Conditions	estimated	520,000	X	X	X	520,000	8 months at \$65k per month allow for GCs
01 1010	Utility Hook-up Fees	By Owner	X	X	X	X	0	Excludes City Fees for Sewer / Water Connections
02 4000	G.C. Sitework	estimated	2,280	750	X	1,500	4,530	Allow for misc TESC support
02 4100	Demolition	estimated	X	X	60,000	X	60,000	Select Interior Demolition + Remove Siding + Openings in Wall for new building tie-in
02 0000	Asbestos Removal	estimated	X	X	12,500	X	12,500	allow for select ACM abatement - extents unknown
03 0000	Foundation Repairs	estimated	X	X	30,000	X	30,000	Allow for potential structural foundation repairs, extents TBD based on cracking
03 3000	Concrete Footings	estimated	X	X	15,000	X	15,000	120 LF of Footings for New Building
03 3000	Concrete SOG	estimated	X	X	11,000	X	11,000	\$10/SF SOG
03 3000	Concrete Walls	estimated	X	X	58,800	X	58,800	120 LF of 10' high concrete wall at basement perimeter (42 CY at \$1400/CY)
05 1000	Structural Steel - FOB	estimated	X	15,000	X	X	15,000	Steel Columns Support - 4 to 6 columns assumed
05 5000	Misc. Metal - Labor	estimated	9,120	1,300	X	2,500	12,920	Erect Steel Columns
05 5000	Misc. Metal - FOB	estimated	X	22,750	X	X	22,750	85 LF railing at \$150/LF + \$10k for Metal Canopy at Basement Entry
06 1000	Rough Carpentry	estimated	X	X	99,000	X	99,000	2200 SF at \$45/SF New Wood Framed Structure
06 8000	Finish Carpentry	estimated	15,200	15,000	X	X	30,200	Allow for select trim / features thruout first floor spaces
07 1111	Bituminous Waterproofing	estimated	X	X	20,000	X	20,000	Below grade waterproofing at basement walls
07 1500	Weather Barriers	estimated	X	X	11,970	X	11,970	\$3/SF for Tyvek + Furring for rainscreen
07 2100	Building Insulation	estimated	X	X	35,000	X	35,000	Insulate Exterior Walls New Building + Roof
07 4113	Metal Roof	estimated	X	X	120,000	X	120,000	4,000 SF New Metal Roof at \$30/SF
07 4213	Siding	estimated	X	X	79,800	X	79,800	\$20/SF metal or fiber cement siding
07 6200	Sheet Metal	estimated	X	X	15,000	X	15,000	Allow for misc window and door opening flashings
07 9005	Caulking & Sealants	estimated	3,800	1,500	X	X	5,300	Misc siding / trim caulking at exterior of building
08 0000	Doors & Windows Labor	estimated	20,900	1,500	X	X	22,400	Labor for install 22 new door openings
08 1113	Steel Doors & Frames	estimated	X	26,550	X	X	26,550	HM Frames & Doors Supply
08 2000	Wood Doors	estimated	X	19,500	X	X	19,500	Feature Entry Doors at \$6k + \$1500 for wood door/jamb on first floor interior doors
08 7000	Door Hardware - FOB	estimated	X	27,500	X	X	27,500	\$1250 per opening allow for door hardware
08 8000	Glass & Glazing	estimated	X	X	46,080	X	46,080	\$90/SF allowance for storefront or wood windows
09 2116	Gypsum Wallboard	estimated	X	X	50,000	X	50,000	Hang/Tape/Finish GWB Walls and Ceilings
09 3000	Ceramic Tile	estimated	X	X	44,130	X	44,130	Floor Tile at Restrooms + Wall tile to 6' high at wet walls
09 9500	Acoustical Ceilings	estimated	X	X	5,300	X	5,300	\$10/SF for Grid & Tile at Select Basement Rooms. Assume remianing OTS
09 9500	Acoustic Panels	estimated	X	X	19,800	X	19,800	1100 SF at \$18/SF for Felt or other acoutiscs at Multi-Purpose Space First Floor
09 6000	Resilient Flooring	estimated	X	X	42,000	X	42,000	3500 SF at \$12/SF for Resilient LVT Flooring at First Floor or Refinish Wood Floor or other
09 6500	Carpet	estimated	X	X	4,000	X	4,000	\$8/SF allow for select carpet tile at basement office / misc spaces
09 7000	Polished Concrete	estimated	X	X	24,500	X	24,500	2600 SF at \$7/SF allow for basement concrete finish
09 9000	Painting	estimated	X	X	45,000	X	45,000	Paint Exterior Siding + Paint Interior Partitons / HM Doors/Frames
10 1000	Specialty Labor	estimated	7,600	X	X	X	7,600	Install Toilet Accessories + Misc
10 1010	Toilet Partitions	estimated	X	X	13,500	X	13,500	9 Partitions at \$1500 each - high abuse resistant
10 1101	Visual Display Boards	No Scope	X	X	X	X	0	Assume none in scope
10 10260	Wall & Corner Protection	estimated	1,140	1,500	X	X	2,640	Allow for stainless steel corner guards at outside corners
10 10440	Signage	estimated	X	X	15,000	X	15,000	Allow for exterior / interior signage + signage at road
10 10520	Fire Extinguishers & Stuff	estimated	760	3,000	X	X	3,760	4 fire extinguishers and recessed cabinets
10 10800	Toilet Accessories	estimated	X	9,450	X	X	9,450	63 accessories at \$150 each average (soap disp, PT disp, mirrors, TP, etc.)
12 12000	Kitchen Equipment	estimated	X	X	35,000	X	35,000	Range/3 Comp Sink/Dish Washer/Hood/Free Standing Cooler/Freezer at Catering
12 12400	Casework	estimated	X	X	48,750	X	48,750	65 LF Plam casework w/ SS at \$750 per LF
12 12540	Window Blinds	estimated	X	X	7,680	X	7,680	512 SF at \$15/SF Allow for roller shades
21 0000	Fire Protection	Not Included	X	X	X	X	0	Assume Fire Sprinkler not required for building size / site access
22 0000	Plumbing	estimated	X	X	202,500	X	202,500	27 new fixtures waste/supply/vent at \$7500 per fixture
23 0000	HVAC	estimated	X	X	237,000	X	237,000	\$30/SF for new electrical HVAC Systems
26 0000	Electrical	estimated	X	X	474,000	X	474,000	\$60/SF allow for electrical primary power / lighting / added service / EV
26 0000	Solar Array	estimated	X	X	25,000	X	25,000	Allow for code compliant PV array for energy credit compliance
28 0000	Communications	estimated	X	X	50,000	X	50,000	Data and Camera / Security / Low Voltage Systems
28 0000	Fire Alarm	estimated	X	X	62,608	X	62,608	\$8/SF Allow for fire alarm
31 0000	Earthwork	estimated	X	X	350,000	X	350,000	Storm Tanks, Ex for Foundation, Sewer Connection, Electrical Trench etc.
31 1000	-ROW Bond	estimated	X	X	X	5,000	5,000	Required for any public ROW work
32 1216	Asphalt	estimated	X	X	167,200	X	167,200	20,900 SF Asphalt Pavement at \$8/SF
32 1313	Site Concrete	estimated	X	X	78,700	X	78,700	80 LF Concrete Ramp + 240 LF Sidewalk + 240 LF Curb/Gutter + 1 Approach
32 1723	Pavement Markings	estimated	X	X	10,000	X	10,000	Allow for parking lot striping + ADA Signage + wheelstops
32 2000	Site Fencing	estimated	X	X	17,500	X	17,500	Allow for select site fencing - none shown on prints currently
32 8000	Landscaping	estimated	X	X	150,000	X	150,000	7500 SF at \$20/SF landscaping at ROW + adjacent to building only
99 0000	Const Contingency	Allowance	X	X	X	352,842	352,842	10% Allow for design development, potential cost escalation, scope gaps
SUB-TOTAL			580,800	145,300	2,793,318	361,842	3,881,260	
Mark-up on Labor & Materials @ 7.0			40,656	10,171		25,329	76,156	
Mark-up on Sub-Contractors @ 7.0					195,532		195,532	
							4,152,948	
								BOND Excluded
								INSURANCE (G/L) 26,994
								INSURANCE (BUILDERS B/R) 8,306
								PERMIT By Owner
								PLAN CHECK FEE By Owner
								B & O TAX 20,271
GRAND TOTAL							4,208,519	

Washington Patriot Clarifications

1	Base Bid detail pricing does not include sales tax. Bid Summary includes sales tax as add item.
2	Pricing includes builder's risk insurance by WA Patriot
3	Conceptual pricing provided based on renderings, floor plan and site plan conceptual plans dated 04/02/2024 and job walk of existing building held on April 15, 2024.
4	Pricing assumes entire building will need to comply with current energy code standards - including provisions for all electric mechanical systems, EV Charging and Solar Array to meet efficiency requirements.
5	Reference conceptual estimate detail notes for specific assumptions on individual line items for finishes and scope of work.
6	Pricing includes allowance for hazardous materials (asbestos / lead paint)
7	Pricing excludes design fees, permit fees, utility connection fees, special inspection and testing, commissioning, owner move-in, furniture, fixtures & equipment. See estimated percentage mark-ups on estimate summary for potential costs to be carried in owner budget for these items.
8	Pricing assumes work will take place in late 2025 or early 2026.
9	Pricing includes a construction contingency for material cost escalation and design development.



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P.O. Box 339, Gig Harbor, WA 98335 | P: (253) 853-2304 | www.wapatriot.com



CRESCENT LODGE

Crescent Valley School ~
Masonic Lodge

A Vision for the Future

CRESCENT LODGE COMMUNITY ADVOCACY COMMITTEE

Assembled with the goal to create a community-centered adaptive reuse plan for the Crescent Valley School/Masonic Lodge building.

Guy & Ann Hoppen

Josie Turner

Steve Paris

Eryca Anson

John McMillian

Mary Manning

Jennifer Leaf

Riley Hall

Stephanie Lile

Mark Hoppen

Rory & Laurel Turner

Erica Williams

John Holmaas

Rex Davidson

Will Foley

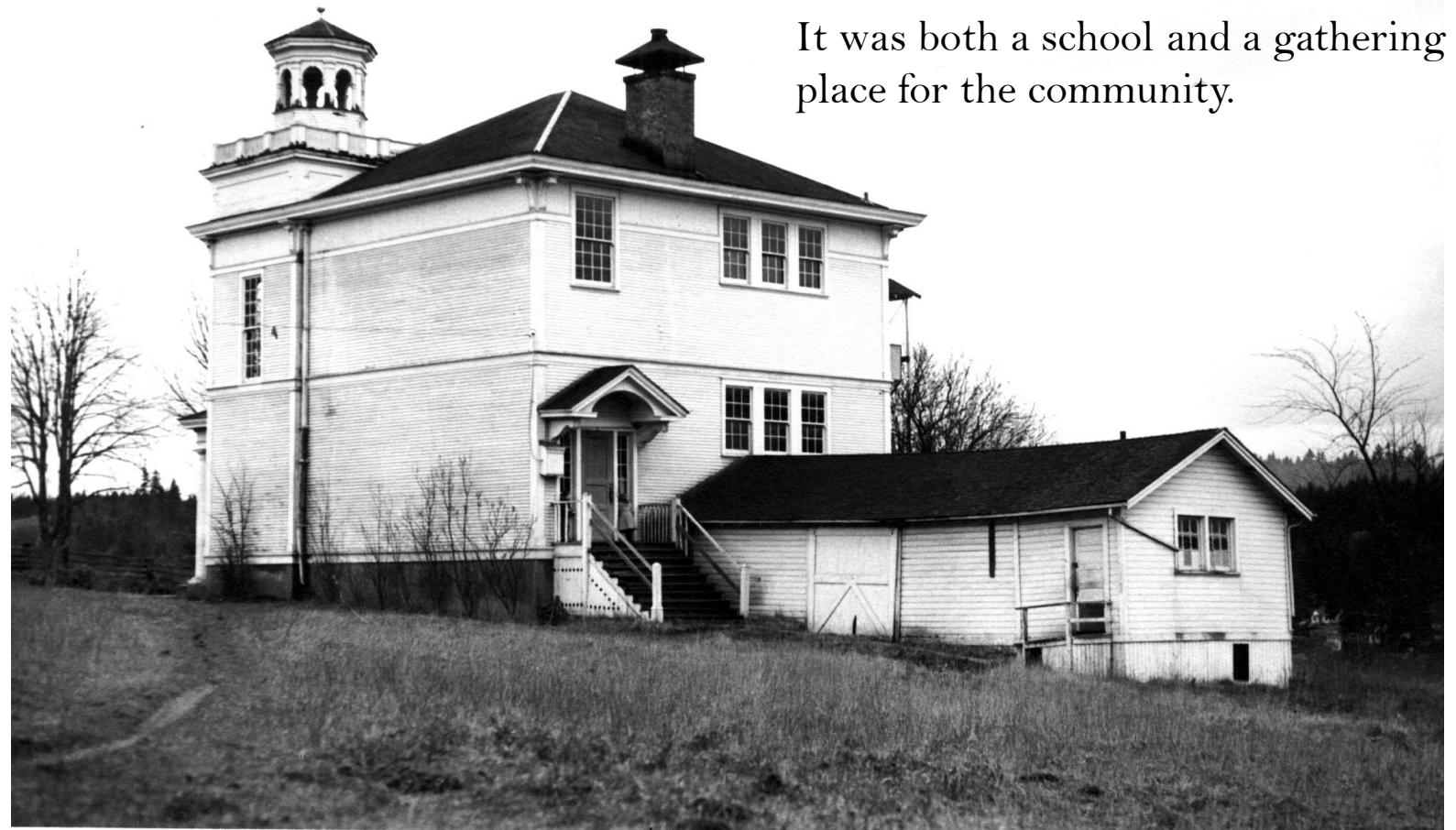


Front view of the school, c. 1920s.

The building began as the Crescent Valley School opened in 1915.

An addition was built at the back of the school not long after it opened.

It was both a school and a gathering place for the community.



The school was sold to the Masons,
remodeled, and opened as the John Paul
Jones Temple in 1951.

The entry and windows were retained, but
the footprint was doubled.



**CRESCENT VALLEY SCHOOL HOUSE
SOLD TO MASONS**

The Crescent Valley School with
three acres of land has been sold to
the John Paul Jones Masonic Temple
Association.

The School Board voted to take the
necessary action to relinquishing its
title to the Crescent Valley Park ad-
joining the school property.

To include this beautiful park as one
of the city's recreation properties is a
very laudable move, and will mean
much to the future pleasure of our
people.

Imagine an adaptive reuse that honors our community history...



Crescent Lodge, Gig Harbor, WA
Exterior (NW view)

Schoolhouse

Photo illustration by John McMillan © 2023
Crescent Lodge - Ext (NW) 05.PDF



A PLACE TO GATHER, LEARN AND GROW

Imagine a place where everyone is welcome.

Imagine a place where arts, heritage, and environmental science merge to create extraordinary learning experiences.

Imagine a year-round gathering space that provides a community balance between investments in arts/culture and sports.

Imagine saving a signature historic structure for use by all.

PROJECT PROCESS

- Open Meetings held for Community Review & Input
- Identified community & park needs
- Conducted two community surveys
- Sought professional input for construction estimates and feasibility
- Met with specific groups to review need
- Museum or Theater Management
- Cost Estimate: \$4.5 million
- Recommended for City Historic Register



Crescent Lodge, Gig Harbor, WA
(NW view)

Schoolhouse

SURVEY FINDINGS

1010 Responses in Survey #1 ~ 232 Responses in Survey #2

Primary uses requested:

- Community Theater
- **Community Recreation Hall** (allowed in current zoning)
- **Top Conceptual Style** – Schoolhouse with new addition for restrooms and kitchen
 - 63.64% In favor of renovation with the addition for restrooms and kitchen
 - 16.82% In favor of very basic restoration with no addition
 - 10.91% In favor of demolishing building for parking or sport courts
 - 8.64% In favor of tear down and new build



Crescent Creek Overlook

All Park Restrooms

Maritime PlayZone

Crescent Creek Park
Tranquil site with a playground & art

Lodge footprint in red (below)

Gig Harbor Cooperative Preschool

BMX Park and Beach Volleyball Courts

96th St

Vernhardson St

Vernhardson St

Crescent Valley

Gig Harbor Lodge B & B

Randall Dr

31st Ave Ct NW

Crescent Valley Dr NW

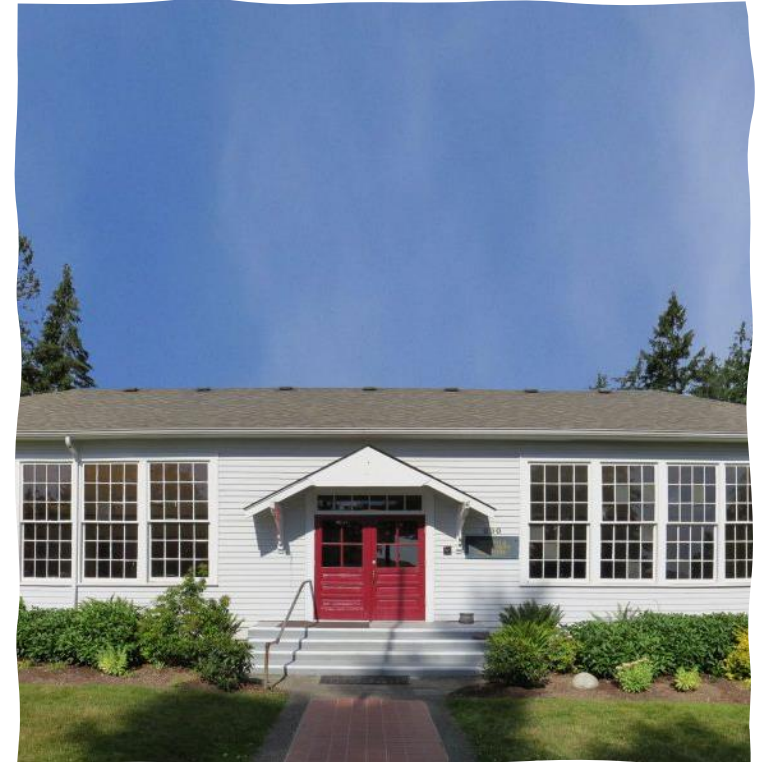
The only restrooms in the park were built by the WPA in the 1930s.



Note:

Crescent Creek Park is Gig Harbor's first and oldest city park!

There is precedent for preserving community halls in our local parks.





The Main Hall of the Lodge would have the capacity to hold as many as 200 people based on square footage. The space can transform from this to...



From this...





The exterior would pay tribute to both Crescent Valley School and the Masonic Lodge. ADA access addressed via new ramp.



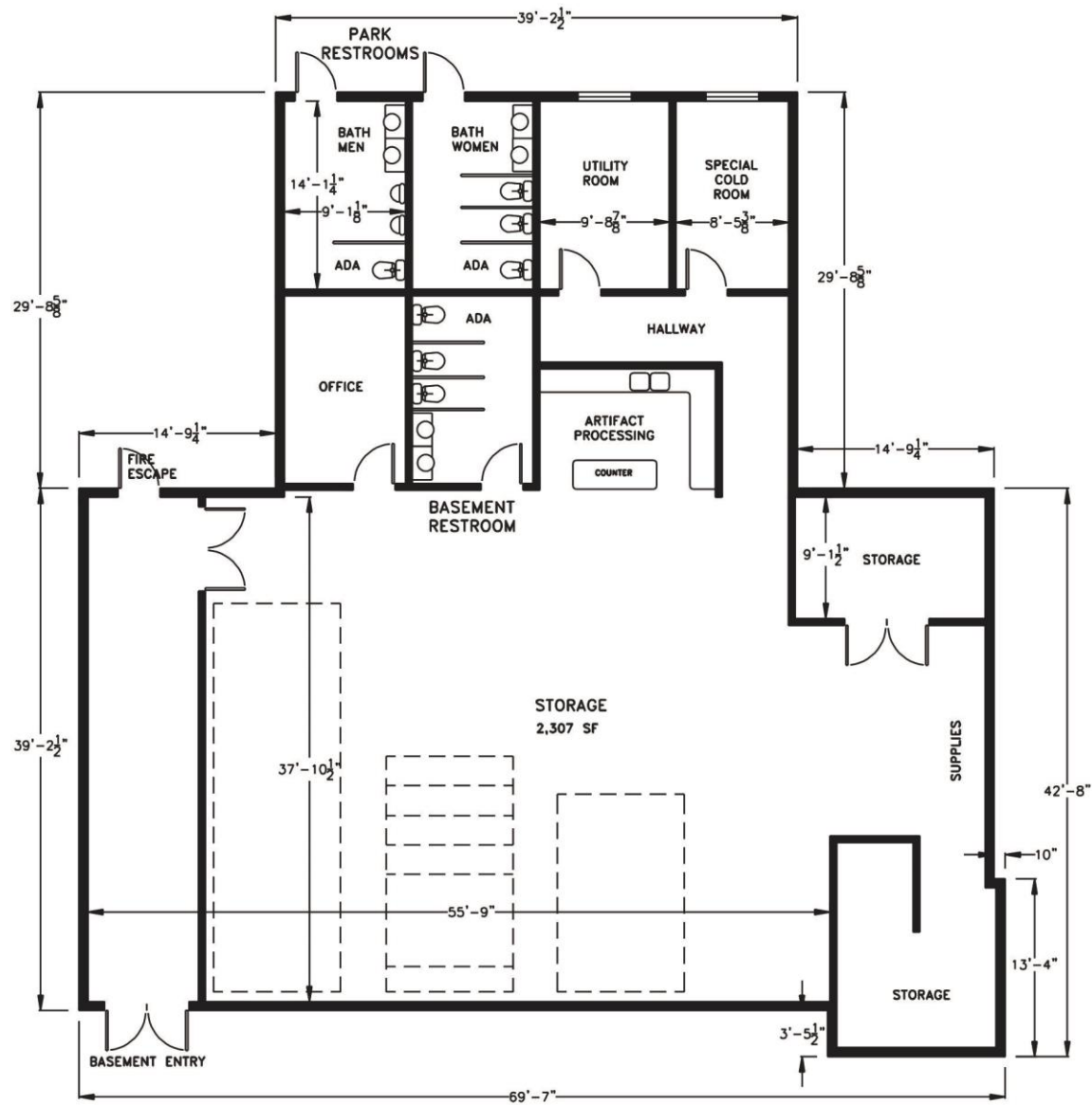


Park Restrooms included and independently accessible to park visitors.

Schoolhouse

Crescent Lodge, Gig Harbor, WA
Exterior (SW view)

Photo illustration by John McMillan 6-2023



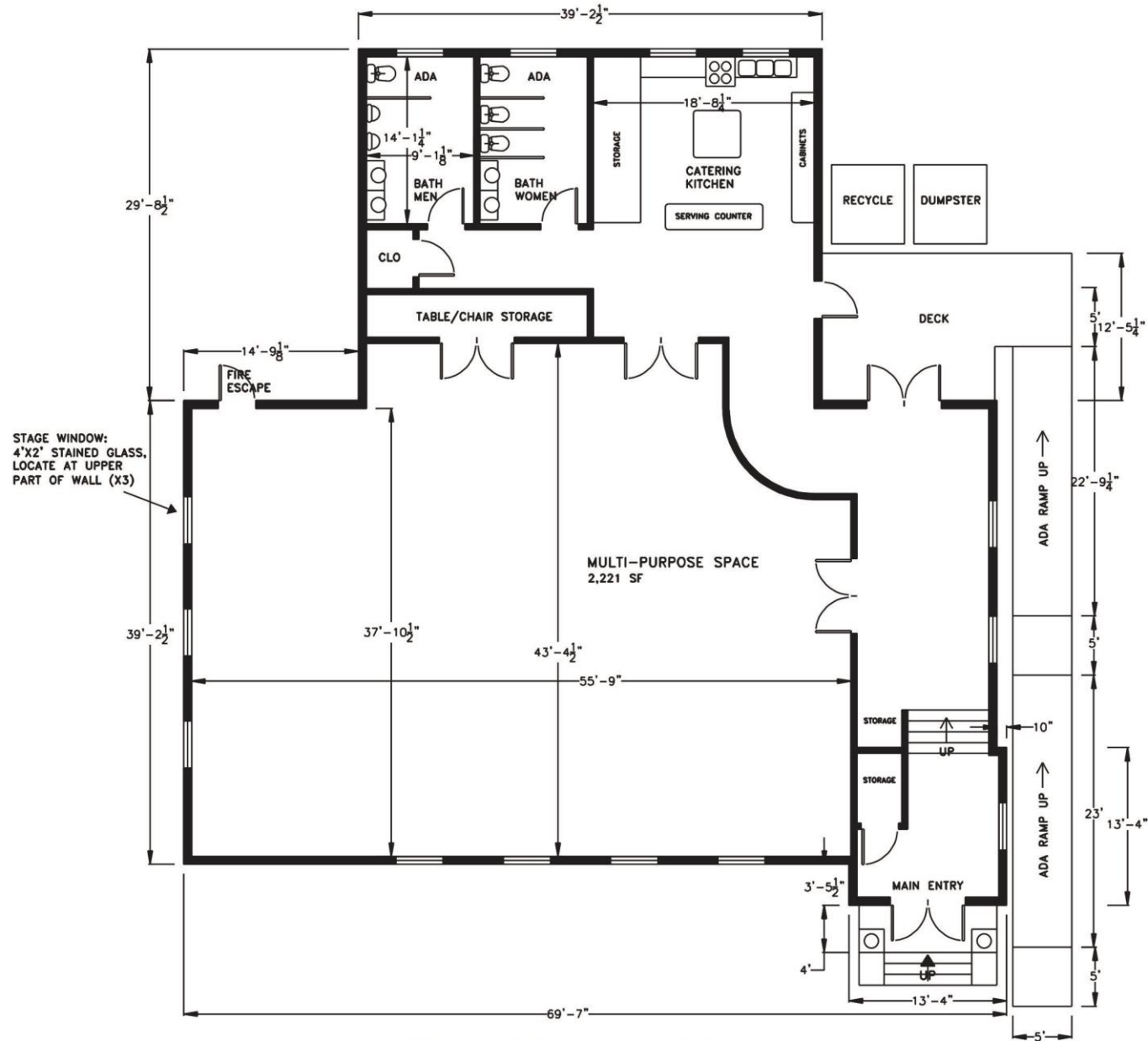
BASEMENT: PLAN VIEW
3,727 SF OVERALL

Schoolhouse v.7



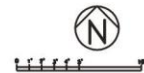
McMillan DESIGN, INC 9816 Jacobsen Lane Gig Harbor, WA 98332 USA 253-279-0325
SCALE: NTS
DRAWN BY JHM
DATE: 01-27-24
REVISED: 01-27-24
DRAWING NO. 012724B

An addition for kitchen and bathrooms is an excellent solution to addressing these needs.



FIRST FLOOR: PLAN VIEW
3,727 SF OVERALL

Schoolhouse v.7



McMillan
DESIGN, INC.
9816 Jacobean Lane
Gig Harbor, WA 98332 USA
253-279-0325

SCALE: NTS

DRAWN BY JHM

DATE: 01-27-24

REVISED: 01-27-24

DRAWING NO. 012724A

CRESCENT LODGE

CONCEPTUAL FLOOR PLAN

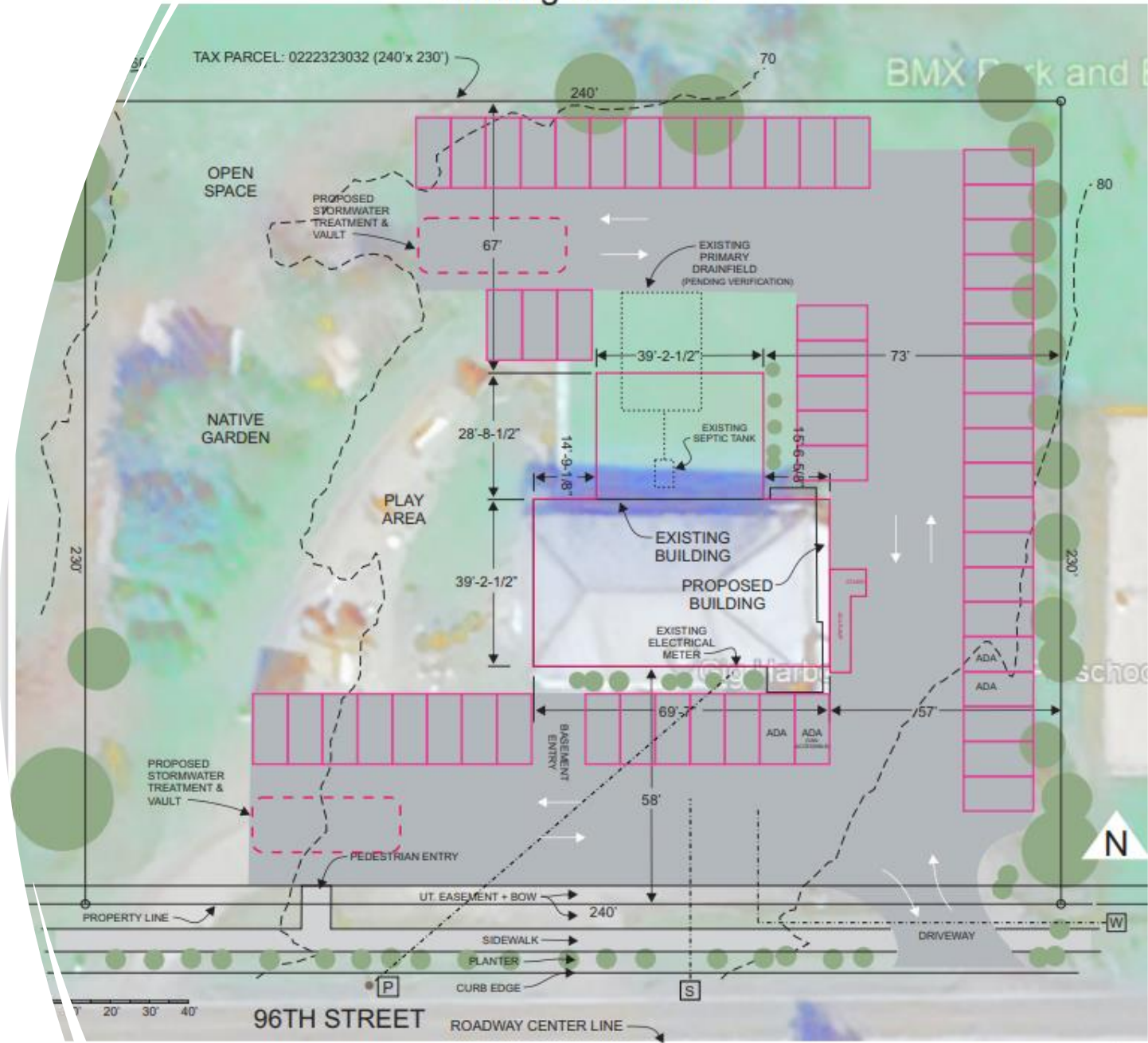
GIG HARBOR, WA

Binding Site Plan

Site Plan – Parcel Only

53 Parking Spaces

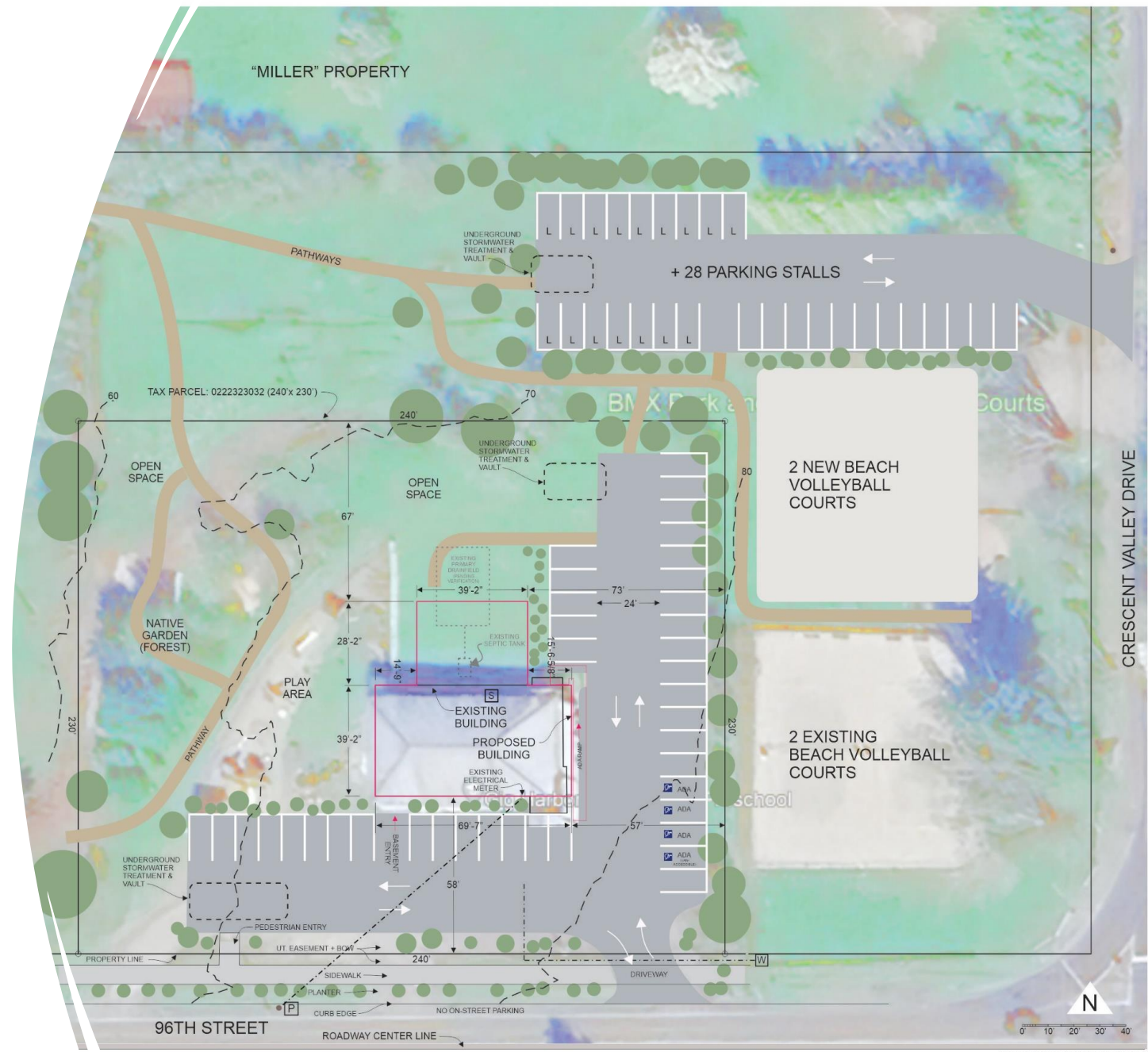
Building Occupancy:
217



PLAN DETAIL - Proposed CRESCENT LODGE: Community Recreation Hall

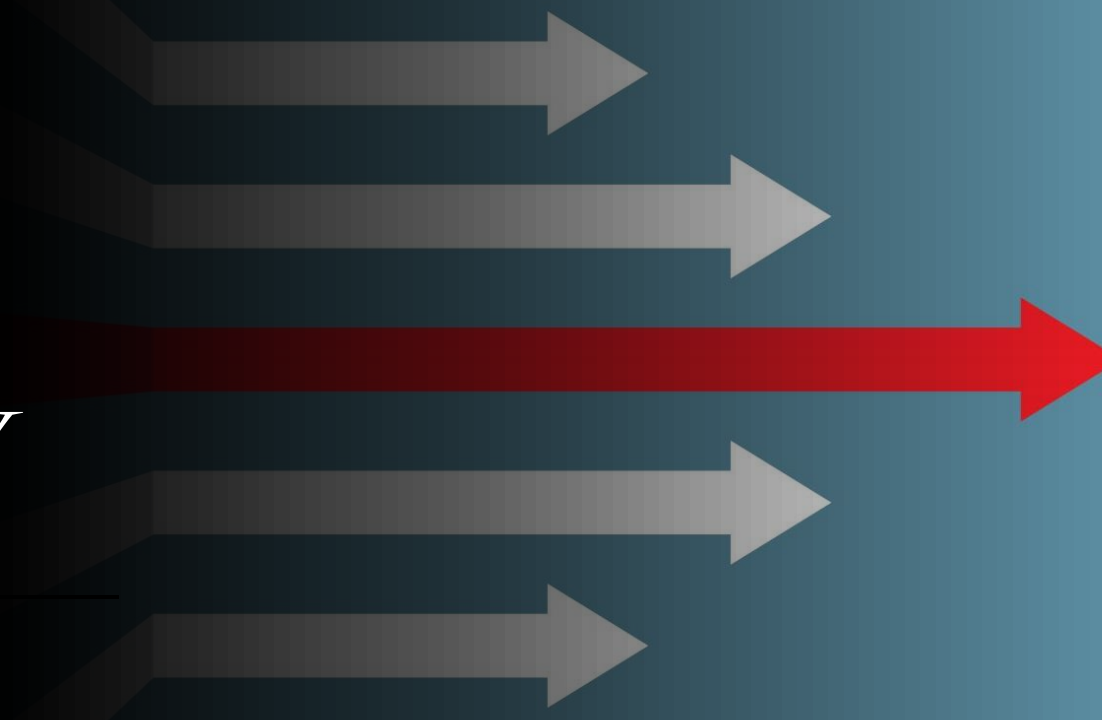
NE IT CREEK PARK

- **Alternate Option** for integrated parking reduces impact on Lodge surround and provides more parking for other use areas.





FUNDING
STRATEGY



FUNDING = THREE KEY INGREDIENTS

1. Community Support ✓
2. Ground Floor Commitment – City Priority
3. Strategic Plan of Action for Implementation of Fund Raising
 - a. Full-on Commitment by Owner
 - b. 50/50 Approach (Invest/Raise)
 - c. One Third, One Third, One Third
 - i. Grant sources include county, state, and federal sources
 - i. Private donors (\$44k committed)



FUNDING SOURCES

“At Home” Commitment Options:

- Hospital Benefit Zone – Crescent Creek Park is already listed
- Capital or Operations Project Fund
- Parks Bond

“Big Bite” Grant Sources:

- Building for the Arts Fund (up to \$2M)
- Heritage Capital Projects Fund (up to \$1M)
- National Park Service – Historic Preservation Programs
- IMLS, NEA, and NEH, National Trust

Historic Register Structures can open doors to county, state and federal funding for preservation and “third place” community uses.



MANAGEMENT MODEL

If managed/leased by cultural-arts non-profit:

- Lower level is sole occupancy; upper level is managed Community Space
- Lease occupant is responsible for scheduling and general upkeep; building & grounds care by city
- Rental fees help support maintenance and upkeep; capital improvements in partnership
- Could include a fund-raising pre-management contract

Crescent Lodge, Gig Harbor, WA
Exterior (NW view)

Schoolhouse





PROJECT TAKE AWAYS

- There is a need for a Community Hall in Gig Harbor
- Concept plan addresses park needs for public restrooms and parking
- Addresses need for secure museum storage
- Arts groups need rehearsal and performance space
- A Community Hall opens the door to Leisure Tourism funding
- Project showed strong support for renovation of Lodge for many community uses
- **The Lodge becomes a place where everyone is welcome**

Crescent Lodge, Gig Harbor, WA
Exterior (NW view)

Schoolhouse





**City of Gig Harbor
City Council Agenda Bill**

Meeting Date: September 11, 2025

SUBJECT: Parks Commission's Masonic Lodge Recommendation

SUBMITTED BY: Parks Manager Jennifer Haro

DEPARTMENT: Public Works

PHONE: (253) 853-8253

SUGGESTED MOTION: N/A

BACKGROUND INFORMATION: At the August 6, 2025, parks commission meeting, commissioners were briefed on the latest developments with the Crescent Creek Park master plan. They were informed that the concept that keeps the baseball field where it is was moving forwards, and that two alternatives to that concept would be developed based on council direction - one that keeps the Masonic Lodge, and one that doesn't. A discussion about the Lodge followed, and commissioners requested that they consider a formal recommendation for demolishing the Lodge at their September meeting.

At the September 3 meeting, the parks commission voted 7-0 to approve the recommendation. The approved memo is attached.

No action is necessary.

FISCAL CONSIDERATION:

ATTACHMENTS:

1. Parks Commission Memo - Masonic Lodge
-

STRATEGIC PLAN PRIORITY: Ensure sustainable future for public services and facilities



TO: Mayor Barber & City Council
FROM: Parks Commission (Chair Louise Tieman, Vice-Chair Hanley Bonyngne, Guy Magnus, Andrew Peabody, Stace Gordon, Larry Johns, Kim Anderson)
CC: Katrina Knutson, Jeff Langhelm, Jennifer Haro
Date: September 3, 2025
Subject: Crescent Creek Park – Masonic Lodge recommendation

The Gig Harbor Parks Commission has received regular updates on provided input on the Crescent Creek Master Planning process since it began in 2023. We understand and are aware of the important history of the building as a school and a Masonic Lodge.

However, we would like to formally recommend that the city demolish the Masonic Lodge, for the following reasons:

1. The Masons significantly altered the building from its original form, which in the opinion of Rolluda Architects, on its February 24, 2023 technical memo, stated *“because the building has been modified extensively over the past 100+ years, with the removal of the 2nd story of the original school house, the doubling of the with vinyl siding, and the replacement of the roofing with standing seam metal roofing, it would appear that there is little remaining of the original building fabric to have the structure considered for nomination (to National Historic Register) under criteria 3 above.”*
2. We have been made aware of problems with mold, as well as asbestos and lead present in the building.
3. It is unclear if the foundation is safe, and it appears to let water infiltrate the basement.
4. The Lodge proposal would require 54 new parking spots, in a park that is already short on parking for its current uses.
5. Many people who comment on the park master planning process want it to remain a more passive, natural park. Inviting the traffic for events that might have over 100 people in attendance will greatly increase the traffic and use of the park, as well as noise.
6. The footprint could be used for open space, a shelter, or gardens that would look great and better tie the space into the overall park. The new space could honor the old school/lodge building to remind park visitors of the history.
7. While the proposal from the volunteer group to remodel the building into a community gathering place would be great, costs will likely be greater, if not much greater, than anticipated due to general inflation, as well as unforeseen issues due to the age of the building. Further, people would likely have to pay to



- rent it, while all city taxpayers would have footed the bill for the remodel.
8. The money could be better used on other priorities, including projects that were carefully considered in the 2022 Parks, Recreation and Open Space plan, that are currently unfunded. Some of these projects include: Wilkinson Farm Park barn stabilization and master planning, Cushman Trail extension, KLM Veterans Park amenities, future phases of the Gig Harbor Sports Complex and trail development.
 9. We are aware of budgeting shortfalls that most counties, park districts and cities, including Gig Harbor, are currently facing. There are many projects that are worthy of being built with our limited tax dollars, but do not think that this is one of them.

We urge you, as city residents and taxpayers who volunteer our free time to serve as advisors to you about parks, to choose the more fiscally responsible option for this building and demolish it.

We respectfully submit this recommendation for your consideration.

Are Gig Harbor's Parks Commission Findings Premature?

The **Masonic Lodge** is a local *Landmark* owned by the City. By code, Historic Assets located in City Parks should not rely solely on a *Parks Commission* review. Yet, at the time they made their recommendation to demolish the Lodge, the City's own *Historic Preservation Commission* (HPC) had not yet met to consider the historic significance of this 100+ year old building.

REGISTER LISTING

The City consultant's assessment of the **Lodge** as ineligible for a "*National Register Listing*" was correct, but a "*Local and/or State Register*" listing or "*Landmark*" status eligibility has yet to be determined.

CONDITIONS ASSESSMENT

The **Lodge** may have some mold, asbestos, and foundation seepage but these conditions are easy to mitigate and should not drive a premature decision to demolish the structure.

PARKING

There is ample space to add the 55 parking stalls (without cutting down any trees) as is currently required for a community center in the City. The capacity would then be 150 people. Was the *Parks Commission* informed that the City may change parking standards as part of Phase 2 Code Development under review in early 2026?

SURVEY

The City's Survey results that were provided to the *Parks Commission's* were directly tied to a \$4.5M cost estimate. A more modest design could significantly reduce that figure.

Would this new information alter the *Parks Commission's* findings?

John McMillan

11-5-25