



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
STAFF REPORT**

TO: Hearing Examiner
FROM: Planning Staff
DATE: January 30, 2024

RE: PL-SDP-22-0001, PL-SPR-22-0002, PL-SEPA-22-0005, PL-DR-22-0006, PL-FLOOD-22-0001

X2P Boat Barn Moorage & Accessibility Upgrades
Public Hearing Date: February 6, 2024

I. GENERAL INFORMATION:

A. Owners: X2P Boat Barn LLC
PO Box 2116
Tacoma, WA 98401

C. Agent: Carl Halsan
PO Box 1447
Gig Harbor, WA 98335

II. APPLICANT'S REQUEST:

The proposal includes improvements to the site to include: Moorage reconfiguration and replacement, parking lot regrading to accommodate an ADA compliant parking stall, loading and unloading area, and associated parking and surface water management improvements. The proposed moorage reconfiguration consists of the following:

- The existing seven creosote-treated support pile that anchor the floats will be replaced by ten, 12-in-diameter steel pile. The floats

will be anchored using the minimum necessary pile, in number and footprint.

- The boat moorage floats will be configured as a central walkway with three extending branches and will be located waterward of extreme low tide.
- Floatation is fully enclosed and contained under the solid decking portions to ensure that 50 percent of the deck surface contains at least 60 percent functional grating areas.

This request is addressed under Shoreline Substantial Development Permit PL-SDP-22-0001, The proposed improvements are shown in the applicant's site plan, which is included as Exhibit B to this staff report.

III. SITE DESCRIPTION:

- A. Location:** 2907 Harborview Drive. The site is located on the east side of Harborview Dr., approximately 250 feet from the intersection of Soundview and Harborview Dr. Sec 08, Twn 21 N, R 02 , Qtr 12.

Assessor's Parcel Numbers: 0221081058

- B. Site Area/Acreage:** 0.59 acres

C. Existing Site Characteristics:

1. **Topography:** The site's uplands slope down gently from Harborview Drive on the west to Gig Harbor Bay on the east.
2. **Vegetation:** The upland portion of the site is hardscape.
3. **Wetlands and Critical Areas:** The site fronts Gig Harbor Bay, a critical fish and wildlife habitat area. Additionally, U.S. Fish & Wildlife Service (USFWS) National Wetlands Inventory (NWI) mapping identifies potential estuarine and marine wetlands along the Gig Harbor shoreline. No other wetlands or streams are mapped on or near the site.

Per the requirements of the Gig Harbor Municipal Code (GHMC), the applicant prepared a Habitat Management Plan dated February 27, 2023 to address potential impacts to Endangered Species Act (ESA) listed species and associated habitat. Under its "effects determination", the

assessment concluded that the project would have either “no effect” or “may effect, but not likely to adversely affect” ESA-listed species or associated habitat. The Habitat Assessment is included as Exhibit N.

4. **Special Flood Hazard:** The site is also regulated by the City’s Flood Hazard Construction Standard Ordinance (GHMC Chapter 18.10).

The FEMA floodplain map identifies a Base Flood Elevation of 14 feet NAVD 88 on the subject property. Areas within the Base Flood Elevation are considered Special Flood Hazard Areas per GHMC 18.10. However, the proposal is not expected to have an impact on risks associated with flooding. The construction of the proposed modifications will comply with the provisions for flood hazard reduction per GHMC 18.10.070.

D. Zoning:

1. **Subject parcel:** “WC” Waterfront Commercial District & Historic District Overlay
2. **Adjacent zoning and current use:**
 - a. **North:** WC – Netshed
 - b. **South:** WC – Commercial
 - c. **West:** RB-1 – Vacant/Park
 - d. **East:** Gig Harbor Bay

The Gig Harbor Shoreline Master Program (SMP) designates the subject site as a “City Waterfront” Shoreline Environment Designation. SMP subsection 5.2.5 addresses the purpose and management policies for that designation.

- E. **Utilities / Road Access:** The site is accessed from Harborview Drive abutting on the southwest. The property is serviced by City of Gig Harbor sewer and water.

IV. APPLICABLE CODES AND POLICIES:

A. Comprehensive Plan: The site is designated as a “Waterfront” area by the city’s Comprehensive Plan. The purpose of this land use category is to provide for a variety of mixed uses along the waterfront which are allowed under the City of Gig Harbor Shoreline Master Program and as more particularly defined under the zoning code. Generally, the lower

intensity waterfront areas would favor residential and marinas while the more intense waterfront areas would provide for higher density residential and commercial/retail uses.

B. Gig Harbor Municipal Code (GHMC):

The subject parcel is zoned WM Waterfront Commercial District. The following code chapters apply to this proposal:

- a) 17.50 Waterfront Commercial (WC)
- b) 17.96 Site Plan Review
- c) 17.98 and 17.99 Design Review
- d) 18.08 Critical Areas Ordinance
- e) 18.10 Flood Hazard Construction Standards

C. Shoreline Master Program: Development upon the shorelines of Gig Harbor is regulated by the city of Gig Harbor Shoreline Master Program that was adopted on November 25, 2013 and became effective on December 27, 2013. The following sections/subsections of the Master Program apply to this project:

- Subsection 5.2.5-City Waterfront Shoreline Environment Designation
- Subsection 6.2.2-No Net Loss and Mitigation
- Section 7.12-Commercial Uses
- Section 8.2-Types of Shoreline Permits

D. Washington Administrative Code: The Shoreline Substantial Development Permit must be found consistent with the provisions of WAC 173-27-150 which state as follows:

(1) A substantial development permit shall be granted only when the development proposed is consistent with:

- (a) The policies and procedures of the act;
- (b) The provisions of this regulation; and
- (c) The applicable master program adopted or approved for the area. Provided, that where no master program has been approved for an area, the development shall be reviewed for consistency with the provisions of chapter 173-26 WAC, and to the extent feasible, any draft or approved master program which can be reasonably ascertained as representing the policy of the local government.

(2) Local government may attach conditions to the approval of

permits as necessary to assure consistency of the project with the act and the local master program.

V. BACKGROUND INFORMATION

The existing structure on the site was built in 1936, pre-dating the incorporation of the city by 10 years and the adoption of the State Shoreline Management Act (RCW 90.58) in 1971, and the City of Gig Harbor's original shoreline master program in 1975.

VI. DESIGN REVIEW:

City of Gig Harbor's Design Review process is defined under GHMC 17.98. Subsection 17.98.050(B) states, "the application shall be reviewed by the director for compliance with the specific requirements of Chapter 17.99 GHMC and all other applicable codes." The subject request complies with all applicable requirements of the city's Design Manual.

VII. ENVIRONMENTAL REVIEW:

Pursuant to WAC 197-11 and Gig Harbor Municipal Code Chapter 18.04, on January 12, 2024 the city of Gig Harbor issued a Determination of Non-significance (DNS) for the proposed action. The appeal period for the DNS expires on February 2, 2024. No appeals have been filed at the time of this Staff Report. The DNS is marked as Exhibit D. The City received two (2) comment in response to the DNS. A comment letter (Exhibit L) was provided by the Nisqually Tribe dated January 22, 2024 and noted no specific concerns but asked to be informed if there are any Inadvertent Discoveries of Archaeological Resources/Human Burials. A comment letter (Exhibit M) was provided by Department of Ecology received by the City on January 25, 2024, the letter provides comments regarding toxics cleanup.

VIII. PUBLIC NOTICE & INPUT:

The legal notice of the proposed action and scheduled hearing (Notice of Public Hearing, "NOPH") was published in the Tacoma News Tribune and mailed to all property owners within 300 feet of the subject site on January 23, 2024. The NOPH was also posted on the subject site on January 23, 2024. No comments have been received at the time of this staff report. The Declaration of Mailing, Publishing and Posting are included with this staff report as Exhibit E.

A Notice of Application (NOA) was published in the Tacoma News Tribune, posted on the subject site, and mailed to owners of property within 300 feet of the site on April 13, 2022. The Declaration of Mailing, Publishing and Posting are included with this staff report as Exhibit F.

The City received three (3) comments in response to the NOA. A letter was provided by Squaxin Island Tribe received by the City on April 18, 2022, and notes that the site is in an area with a high potential for location of cultural resources of the and recommended a cultural resource survey and report be completed for this project (Exhibit I) a letter provided by the Puyallup tribe (Exhibit J), received by the City April 26, 2022 and notes that the site is in an area with an very close proximity to known archaeology site of the most sensitive nature, and requires a cultural resource survey prior to any ground disturbance. A letter was provided by Department of Ecology received by the City on June 27, 2022 (Exhibit K), the letter provides comments regarding solid waste management, toxics cleanup, and water quality.

IX. STAFF ANALYSIS AND FINDINGS:

A. Planning Staff

1. Comprehensive Plan: The site is designated as a “Waterfront” area by the city’s Comprehensive Plan. The purpose of this land use category is to provide for a variety of mixed uses along the waterfront which are allowed under the City of Gig Harbor Shoreline Master Program and as more particularly defined under the zoning code. Generally, the lower intensity waterfront areas would favor residential and marinas while the more intense waterfront areas would provide for higher density residential and commercial/retail uses.

The existing Commercial use is considered a non-water-dependent type of land use permitted under the SMP, and the subject site is located in a less intense section of the Waterfront area designation as addressed by the purpose statement above.

Staff analysis: Provided the request is properly conditioned, the proposal would allow for the redevelopment consistent with the requirements of the SMP, is generally consistent with the stated purpose and applicable goals of the Plan.

2. Gig Harbor Municipal Code:

a. 17.50 Waterfront Commercial (WC):

It is the intent of the waterfront commercial district to provide a wide range of uses and activities on the shorelines of Gig Harbor located within the area proximate to the downtown business district. Development should be water-oriented and maintain the scale of existing structures. Highest priority will be accorded to those uses that are water-dependent. Other uses that provide a high degree of physical access to the waterfront have the next priority. Those activities that are not water-dependent but maintain or enhance views and the character of the area may also be permitted.

The proposed improvements would continue an established permitted use on the site and would remain consistent with the intent of the Waterfront Commercial zoning district. If properly conditioned the use can continue to operate at the proposed location in a manner compatible with adjacent and nearby commercial uses.

b. 17.98 and 17.99 Design Review

GHMC Chapter 17.98 sets for the City Design Review process. Consistent with GHMC 17.98.050, an applicant may request administrative processing of a design review application or portions thereof if it conforms to the specific requirements of Chapter 17.99 GHMC. The applicant has requested administrative processing of its design review application.

As proposed, the subject request is generally consistent with the specific requirements of GHMC 17.99, Design Manual.

c. 17.96 Site Plans

In order to grant site plan approval for a project, the granting authority must find it consistent with the criteria set forth in GHMC subsection 17.96.035.A & B.

Provided the request is properly conditioned, the proposed reconfiguration of the moorage facilities and improvements landward of the OHWM is compatible with the surrounding uses. The proposal also complies with all applicable requirements of the city's zoning code and, therefore, the request can be found consistent with the criteria necessary for the approval of site plans.

3. Gig Harbor Shoreline Master Program (SMP):

Consistency with Applicable Goals and Policies:

The following is an analysis of the applicable SMP policies that apply to the proposal:

Relationship to Other Plans and Regulations (SMP 1.5)

*Chapter 1.5 states, **Uses, developments and activities regulated by this Master Program may also be subject to the provisions of the Gig Harbor Comprehensive Plan, the Washington State Environmental Policy Act ("SEPA," Chapter 43.21C RCW and Chapter 197-11 WAC), other provisions of the Gig Harbor Municipal Code (GHMC), including Title 17 Zoning and Title 18 Environment, and various other provisions of local, state and federal law, as may be amended. The specific provisions of GHMC Title 17 shall apply when not specifically addressed by the Master Program's development regulations.***

City Waterfront Environment (SMP 5.2.5)

The purpose of the City Waterfront designation is to accommodate and foster a unique mix of uses and activities that characterize the Gig Harbor Bay waterfront. The City Waterfront Environment is an area of intensive and diverse land use. This environment should protect and preserve the waterfront locations for water-dependent uses, including commercial fishing, boatyards, and marinas; allow for the continued mix of both water oriented and non-water oriented uses as allowed by the City's Zoning Code and Comprehensive Plan in recognition of historic and existing land use patterns and to maintain balance between various land uses.

Commercial Uses-Section 7.12

Policy 7.12.1.A-Preferred uses

Give preference to water-dependent commercial uses, then to water-related and water-enjoyment commercial uses in shoreline locations. Non-water-oriented commercial uses should be allowed in the City Waterfront shoreline environment designation. Non-water oriented commercial uses in other shoreline environment designations may be allowed if they are combined with public benefits, such as historic preservation, public access, education and shoreline ecological restoration.

Staff analysis: The existing use of the site is classified as a non-water-dependent commercial use by the SMP and the state

Shoreline Management Act (SMA). The proposal includes restoration of the upper intertidal beach habitat area. This restoration is achieved by removal of large angular rocks beneath the existing overwater commercial building which lies within the upper intertidal environment on the site. Additionally, beach nourishment materials will be placed in this area to restore the beach profile. No change to the established use on the site is proposed.

Marine Shorelines, Vegetation Conservation and Critical Areas Protection-Section 6.2

Policy 6.2.1.B

Assure no net loss of shoreline ecological functions and processes. This means all shoreline use and development should be carried out in a manner that avoids and minimizes adverse impacts so that the resulting ecological condition does not become worse than the current condition. Natural features of the shoreline and nearshore environment that provide ecological functions and that should be protected include marine riparian habitat, banks and bluffs, beaches and backshore, critical saltwater habitat, wetlands and streams. Shoreline processes that should be protected include erosion and accretion; sediment delivery, transport and storage; and large woody debris recruitment.

Staff analysis: The existing development is nonconforming with respect to the required structural setback and vegetative conservation strip requirements. Per 8.11(1) of the SMP (Nonconforming Uses and Structures) nonconformities *shall not be enlarged upon, expanded, extended or be used as grounds for other structures or uses prohibited elsewhere in the same shoreline environment designation*. The proposed alterations to the site and moorage facilities do not expand or enlarge the existing nonconforming commercial structure and is an allowed use in the City Waterfront environmental designation. Per the applicant's Habitat Management Plan (Exhibit N), the project will not result in a net loss of shoreline ecological functions. The conclusions of the Habitat Management Plan have been reviewed and verified by the City's third-party environmental consultant, confirming that the proposed project achieves no net loss of ecological function and is otherwise consistent with the applicable environmental provisions set forth in Chapter 6 of the Gig Harbor Shoreline Master Program (SMP). The technical memorandum detailing the third-party review is included as Exhibit O. A follow-up memo was provided by Soundview Consultants (Exhibit P) which further clarified that the

proposal achieves no net loss to satisfy a comment from the third-party review.

Based on the preceding, the request is consistent with the applicable policies of the city's shoreline master program.

Consistency with WAC 173-27-150-Review Criteria for Substantial Development Permits:

Staff analysis: The subject request is consistent with the goals of RCW 90.58, the State Shoreline Management Act (SMA), that promote the public use of shorelines, while protecting against adverse effects to the public health, the land and its vegetation and wildlife and the waters of the state and their aquatic life. In this regard, the proposed moorage improvement and upgrades to the parking support a permitted use that won't adversely impact the natural environment.

The proposal is also consistent with the applicable requirements of the WAC 173-27 and with the city's master program. In this regard, as addressed above, the request is consistent with the applicable goals and policy guidance set forth in the master program and is also consistent with the applicable regulations that address commercial uses. If properly conditioned, the request can be found consistent with the RCW 90.58, WAC 173-27 and the applicable provisions of the SMP.

B. Operations and Engineering

The City Engineer has reviewed the subject request and has found the proposed development to be generally consistent with the applicable provisions of the Code. This review is detailed in the Public Works SEPA memo included as Exhibit Q.

C. Fire Marshal/Building Official

The Building Official has reviewed the subject request and has found the proposed development to be generally consistent with the applicable provisions of the Code.

X. CONCLUSIONS:

A. Shoreline Substantial Development Permit:

1. The existing commercial use, which is a use permitted by the Shoreline Management Act, is generally consistent with the policies and provisions of the Act.
2. The proposal complies with the requirements of WAC 173-27, including those set forth in WAC 173-27-150.
3. If properly conditioned, the requested Shoreline Substantial Development Permit is consistent with the applicable policies and development standards set forth in the city's Shoreline Master Program.

B. Site Plan Review:

1. As proposed and conditioned, the applicant's site plan is consistent with the requirements of GHMC 17.96.035.A & B.

C. Design Review:

1. The proposal is consistent with the applicable requirements of GHMC Chapter 17.99, Design Manual.

XI. RECOMMENDATIONS:

Should the requested Shoreline Substantial Development Permit be authorized by the Hearing Examiner, staff recommends the imposition of the following special conditions of approval:

Land Use Special Conditions:

1. The applicant shall obtain civil and building permits from the city prior to commencing construction on the proposed improvements, as needed.
2. Prior to final inspection by the City of Gig Harbor Planning staff, the applicant shall provide the Planning Division with any necessary documentation relating to final permit approvals from other agencies.
3. Development of improvements described herein shall be completed in a manner consistent with the site plan as well as the recommendations contained in the Habitat Assessment Report prepared by Soundview Consultants and included as Exhibit N to the staff report.

4. A Cultural resource survey and report shall be completed prior to any ground disturbance and submitted to the City.
5. All construction activities shall incorporate comments provided by the Department of Ecology in their letter dated May 13, 2022.
6. The authorization granted herein is subject to all applicable federal, state, and local laws, regulations, and ordinances. Compliance with such laws, regulations, and ordinances is a condition precedent to the approvals granted and is a continuing requirement of such approvals. By accepting these approvals, the applicant represents that the development and activities allowed will comply with such laws, regulations, and ordinances. If, during the term of the approval granted, the development and activities permitted do not comply with such laws, regulations, or ordinances, the applicant agrees to promptly bring such development or activities into compliance and acknowledges that bringing such development or activities into compliance may require new permit applications to be considered by staff or the Hearing Examiner.

Project Planner: Jeremy Hammar, Senior Planner

Jeremy Hammar

Date:

1-29-24

The following exhibits are included for your review of the development application:

- A. Staff Report dated January 29, 2024
- B. Plan set, dated December 12, 2023
- C. Drainage Report, dated December 12, 2023
- D. Determination of Non-significance dated January 12, 2024
- E. NOPH Certificate of Transmittal and Affidavit of Posting
- F. NOA Certificate of Transmittal and Affidavit of Posting
- G. SEPA Checklist, Dated October 14, 2022
- H. Joint Aquatic Resources Permit Application (JARPA) form, March 21, 2022
- I. NOA Comment Letter from Squaxin Island Tribe, Dated April 18, 2022
- J. NOA Comment Letter from Puyallup Tribe, dated April 26, 2022
- K. NOA Comment Letter from Department of Ecology, Dated May 13, 2022
- L. DNS Comment Letter from Nisqually Tribe, Dated January 22, 2024
- M. DNS Comment Letter from Department of Ecology, Dated January 25, 2024
- N. Habitat Management Plan, prepared by Soundview Consultants, Dated February 27, 2023
- O. Review Memorandum prepared by Grette Associate, Dated June 7, 2023

P. Technical Memorandum provided by Soundview Consultants, Dated June 26, 2023

Q. Public Works Department SEPA Memo, Dated January 8, 2024

Duration of Permit Approval: The shoreline substantial development permit addressed by this decision shall expire two (2) years from the effective date of the decision, unless construction activities commence or, if no construction is proposed, the use or activity is commenced. If substantial progress is made within two years, the permit shall remain valid for five (5) years. If construction is not completed within 5 years, the administrator may grant an extension of time up to but not exceeding one (1) year for substantial progress and for completion of the project pursuant to section 4.08 E of the Gig Harbor Shoreline Master Program and WAC 173-27-090. The remaining land use permits addressed by this decision, shall expire three (3) years from the date of the decision, unless a complete application for subsequent building permit or civil permit has been submitted and remained active, pursuant to GHMC 19.02.008. Upon written request by the property owner, prior to the date of land use permit expiration, the director may grant an extension of time up to but not exceeding one (1) year pursuant to GHMC 19.02.008(F). See GHMC 19.02.008 for complete regulations on the duration of permit approvals and expiration of permits.

Availability of Complete Project Permit File for Review:

The complete project permit file, including findings, conclusions and conditions of approval, if any, is available for review at the city of Gig Harbor Planning Department, 3510 Grandview Street, Gig Harbor, WA 98335. Please contact Jeremy Hammar, Senior Planner, at 253-851-6170 should you desire to review the file.

RECEIVED

By C. ANDREWS at 9:57 am, Dec 15, 2023

XITCO BOAT BARN- ADA COMPLIANCE

EXHIBIT B

CITY OF GIG HARBOR, WASHINGTON SECTION 08, TOWNSHIP 21, RANGE 02

PROJECT DATA

PROJECT NAME
XITCO BOAT BARN - ADA COMPLIANCE

PROJECT LOCATION
2907 HARBORVIEW DRIVE
GIG HARBOR, WA 98335

GENERAL DESCRIPTION OF PROPERTIES
ONE TAX PARCEL (0221081058)
BOUNDED BY: COMMERCIAL DEVELOPMENT
TO THE EAST AND WEST, HARBORVIEW DRIVE TO THE
SOUTH, AND GIG HARBOR TO THE NORTH.

LEGAL DESCRIPTION
COM NE COR OF SE OF NE OF NW TH N 89 DEG 47 MIN
E 30 FT S 39 DEG 43 MIN E 220.5 FT TO POB TH N 50
DEG 17 MIN E 163.94 FT M/L TO ML TH S 45 DEG E ALG
ML 93.58 FT S 20 DEG E 7 FT TH S 50 DEG 17 MIN W
170 FT N 39 DEG 43 MIN W 100 FT TO POB TOG/W 2ND
CLASS TDLDS ABUTT 1.51 CHS

THIS PRELIMINARY CIVIL PLAN SET IS DESIGNED TO THE 2018 CITY OF
GIG HARBOR PUBLIC WORKS STANDARDS AND THE 2016 STORMWATER
MANAGEMENT & SITE DEVELOPMENT MANUAL.

PROJECT DIRECTORY

OWNER/APPLICANT: X2 BOAT BARN LLC
P.O. BOX 2116
TACOMA, WA. 98401

GENERAL CONTRACTOR
TBD

SURVEYOR:
GARY A. PROCTOR
THORNTON LAND SURVEYING
P.O. BOX 249
GIG HARBOR, WA 98335
(253) 858-8106

CIVIL ENGINEER:
GEORESOURCES
FRANK FIEDLER/KYLE BILLINGSLEY

4809 PACIFIC HWY. E.,
FIFE, WA. 98424-2642
(253) 896-1011

UTILITIES

WATER
STROHS WATER COMPANY, INC.
3408 HUNT ST NW
GIG HARBOR, WA 98335
(253) 858-2065

SEWER
CITY OF GIG HARBOR
PUBLIC WORKS DEPARTMENT
3510 GRANDVIEW ST
GIG HARBOR, WA 98335
(253) 851-6170

TELEPHONE
CENTURYTEL
8102 SKANSIE AVENUE
GIG HARBOR, WA 98322
(800) 550-8110

NATURAL GAS
PUGET SOUND ENERGY TACOMA,
WA (253) 476-6106

POWER
PENINSULA LIGHT COMPANY
13315 GOODNOUGH DR. NW GIG
HARBOR, WA 98335 (253)
857-5950

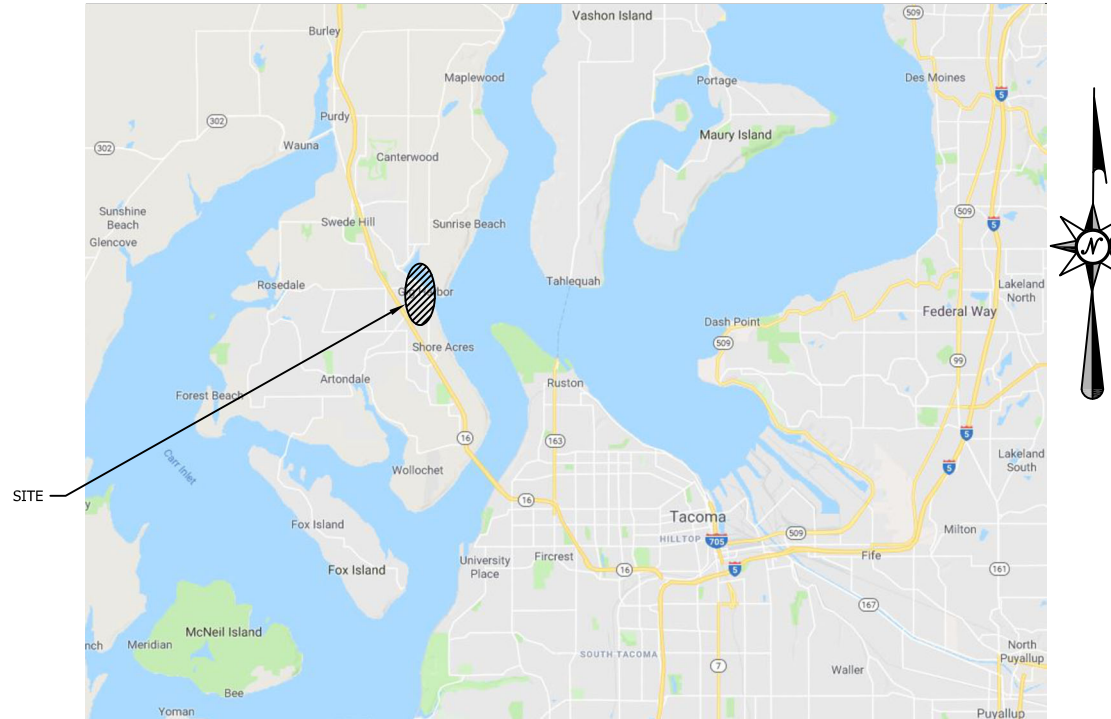
SURVEY DATA

SURVEY DATUM
NVD 88 ELEVATION OBTAINED VIA RTK GPS
AND CONTROL USING PIERCE COUNTY PC3N
NEAR V3 (NAD 83 (CORRS 2011-10) GRS-80
ELLIPSOID, GEOID 12A)

BASIS OF BEARINGS
ASSUMED. LINE BETWEEN THE CITY OF GIG HARBOR
MON. 77 AND 56

TOPOGRAPHY
THORNTON LAND SURVEYING
P.O. BOX 249
GIG HARBOR, WA 98335

CONTOUR INTERVAL: 1 FOOT



SITE LOCATION MAP
NOT TO SCALE
COPYRIGHT GOOGLE 2019

SURFACE SUMMARY			
ITEM	AREA	UNITS	NOTES
EXISTING CONDITIONS			
LOT SIZE	25566	SF	PER PC ASSESSOR WEBSITE
	0.59	ACRES	
EXISTING HARD SURFACES			
TOTAL EXISTING HARD SURFACES	7905		
PROPOSED NEW & REPLACED HARD SURFACES			
PARKING AREAS AND WALKWAY	1702	SF	TO BE REPLACED
DUMPSTER ENCLOSURE AREA AND APPROACH	145	SF	
REPLACED FRONTAGE SIDEWALK AND DRIVEWAY APPROACH	475	SF	NOT INCLUDED IN ONSITE TOTAL
TOTAL PROPOSED ONSITE HARD SURFACES	1847	SF	7.2%
TOTAL HARD SURFACES			
TOTAL LOT COVERAGE	8525	SF	33.3%

STANDARDS

-2023 City of Gig Harbor Stormwater and Site Development Manual

-City of Gig Harbor 2018 Public Works Standards

CONTRACTOR NOTE

ALL EXISTING UTILITIES SHOWN ON PLANS ARE TO BE
VERIFIED HORIZONTALLY AND VERTICALLY PRIOR TO THE
BEGINNING OF ANY CONSTRUCTION ACTIVITIES. ALL
EXISTING FEATURES, INCLUDING BURIED UTILITIES, ARE
SHOWN AS INDICATED ON RECORD MAPS, SURVEY
FURNISHED BY OTHERS, AND CLIENT PROVIDED
INFORMATION. WE ASSUME NO LIABILITY FOR THE
ACCURACY OF THOSE RECORDS AND SURVEY. FOR THE
FINAL LOCATION OF EXISTING UTILITIES IN AREAS
CRITICAL TO CONSTRUCTION CONTACT THE UTILITY
OWNER/AGENCY.

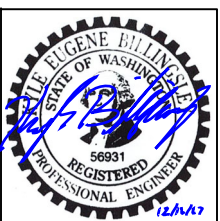
SHEET INDEX

COVER SHEET.....	C-0
SITE PLAN.....	C-1
PAVEMENT PLAN.....	C-2
ACCESS PROFILE.....	C-3
DETAILS.....	C-4.1
FRONTAGE DETAILS.....	C-4.2
SWPPP.....	C-5

LEGEND

PIPES	6" STORMLINE 6" SD
	4" STORMLINE 4" SD
	4" ROOF DRAIN 4" RD
	4" FOUNDATION DRAIN 4" FD
SURFACE WATER FLOW	1.5% MIN
EXISTING CONTOURS	(100)
PROPOSED CONTOURS	(100)
BUILDING SETBACK LINE	---
EXISTING ROAD/DRIVEWAY	[Pattern]
EXISTING PAVED	[Pattern]
EXISTING GRAVEL	[Pattern]
PROPOSED HARD SURFACE	[Pattern]
REGRADE AND REFRESH	[Pattern]
DEMOLITION	[Pattern]
EX BUILDING FOOTPRINT	---
SEPTIC TANK (DESIGN BY OTHERS)	[Symbol]
SEDIMENT CONTROL STRUCTURE	[Symbol]
CATCH BASIN/YARD DRAIN WITH SEDIMENT INSERT	[Symbol]

GEORESOURCES
earth science & geotechnical engineering
5007 Pacific Hwy. E., Suite 16 | Fife, WA 98424 | 253.896.1011 | www.georesources.com



PROJECT
XITCO BOAT BARN- ADA COMPLIANCE

SITE ADDRESS
2907 HARBORVIEW DR
CITY OF GIG HARBOR, WASHINGTON
PARCEL NUMBER: 0221081058

REVISIONS

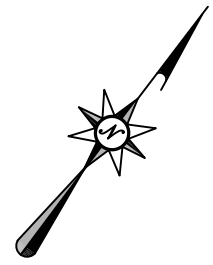
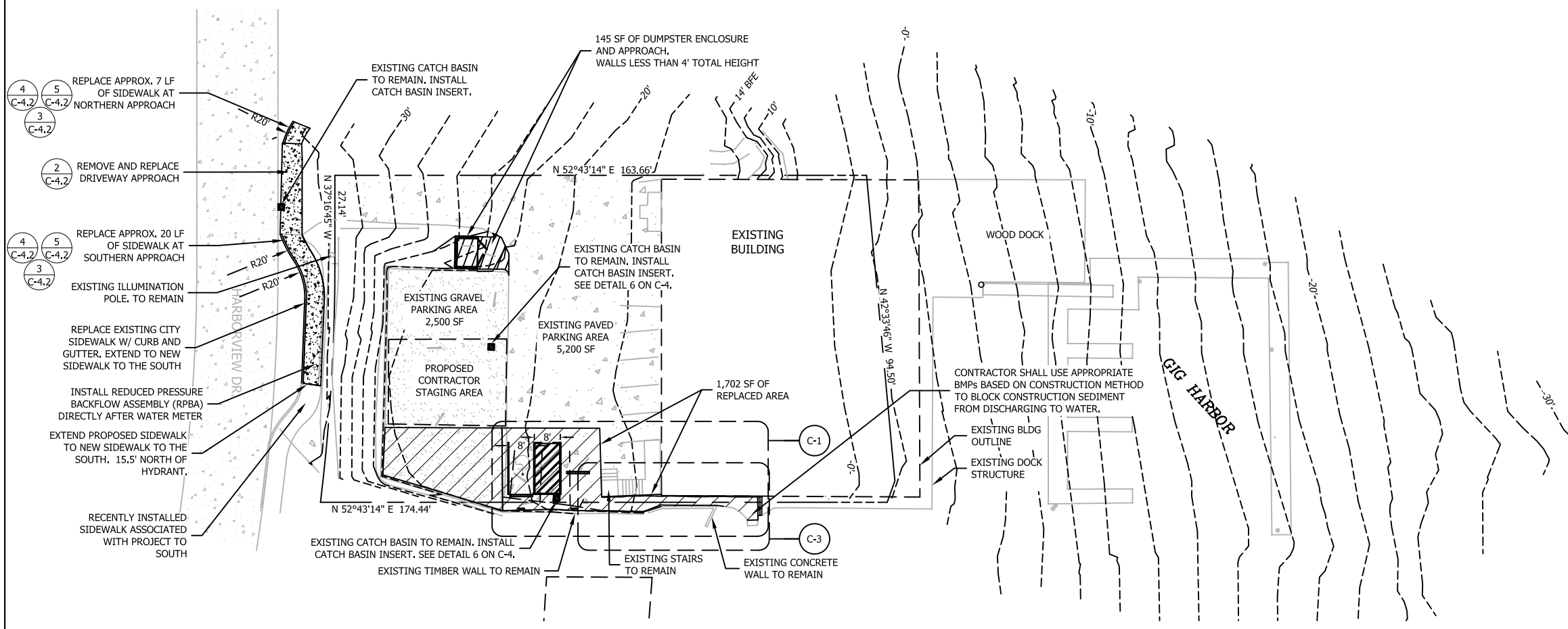
ENGINEER: FF
DRAWN: JP
DATE: 9/6/2019
PLOT DATE: 12/12/23
JOB NAME: XITCO BOAT BARN-
ADA COMPLIANCE

SHEET TITLE
COVER SHEET

SHEET NO.
C-0



Know what's below.
Call before you dig.



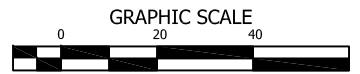
THIS PROJECT SHALL BE IN COMPLIANCE WITH 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.

TITLE III REGULATIONS AT 28 CFR PART 36 SUBPART D AND THE 2004 ADAAG AT 76 CFR PART 1191, APPENDICES B AND D.

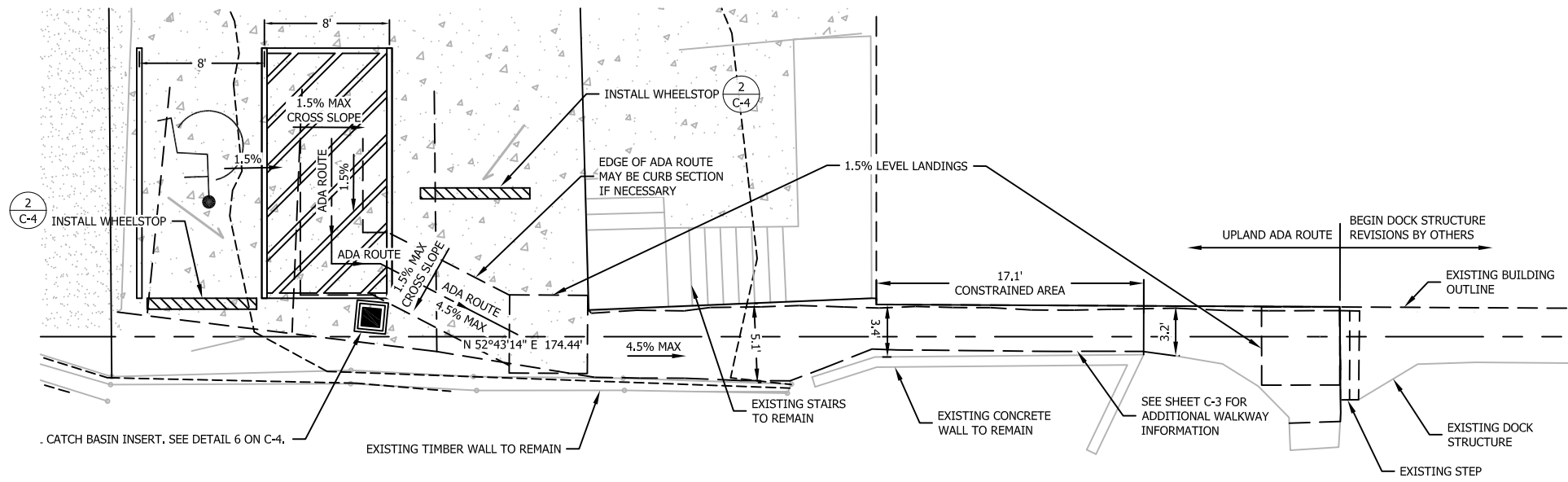
ALL CLEAR WIDTH SHALL BE 36 INCHES MINIMUM.

ALL PAVEMENT TRANSITIONS SHALL BE FLUSH ($\frac{1}{4}$")

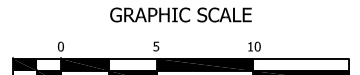
PROPOSED SITE PLAN



1 INCH = 20 FEET (22"x34")
1 INCH = 40 FEET (11"x17")



WALKWAY PLAN



1 INCH = 5 FEET (22"x34")
1 INCH = 10 FEET (11"x17")

CUT/FILL QUANTITIES
ADA WALKWAY - 7.0 CY FILL
DUMPSTER ENCLOSURE - 6.2 CY CUT
TOTAL: 0.8 CY FILL

ALL AREAS OF ADA ACCESS ROUTE SHALL BE 1.5% CROSS SLOPE MAXIMUM



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EUGENE BILLINGSLEY
STATE OF WASHINGTON
56931 REGISTERED
PROFESSIONAL ENGINEER

PROJECT: **XITCO BOAT BARN- ADA COMPLIANCE**
SITE ADDRESS: **2907 HARBORVIEW DR
CITY OF GIG HARBOR, WASHINGTON
PARCEL NUMBER: 0221081058**

REVISIONS

--	--

ENGINEER: FF
DRAWN: JP
DATE: 9/6/2019
PLOT DATE: 12/8/23
JOB NAME: XITCO BOAT BARN- ADA COMPLIANCE

SHEET TITLE
SITE PLAN

SHEET NO.
C-1

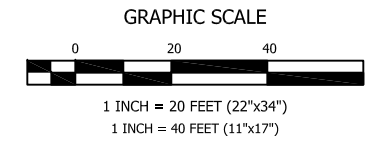
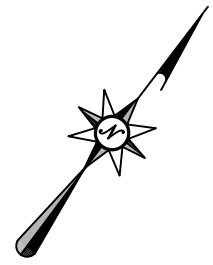
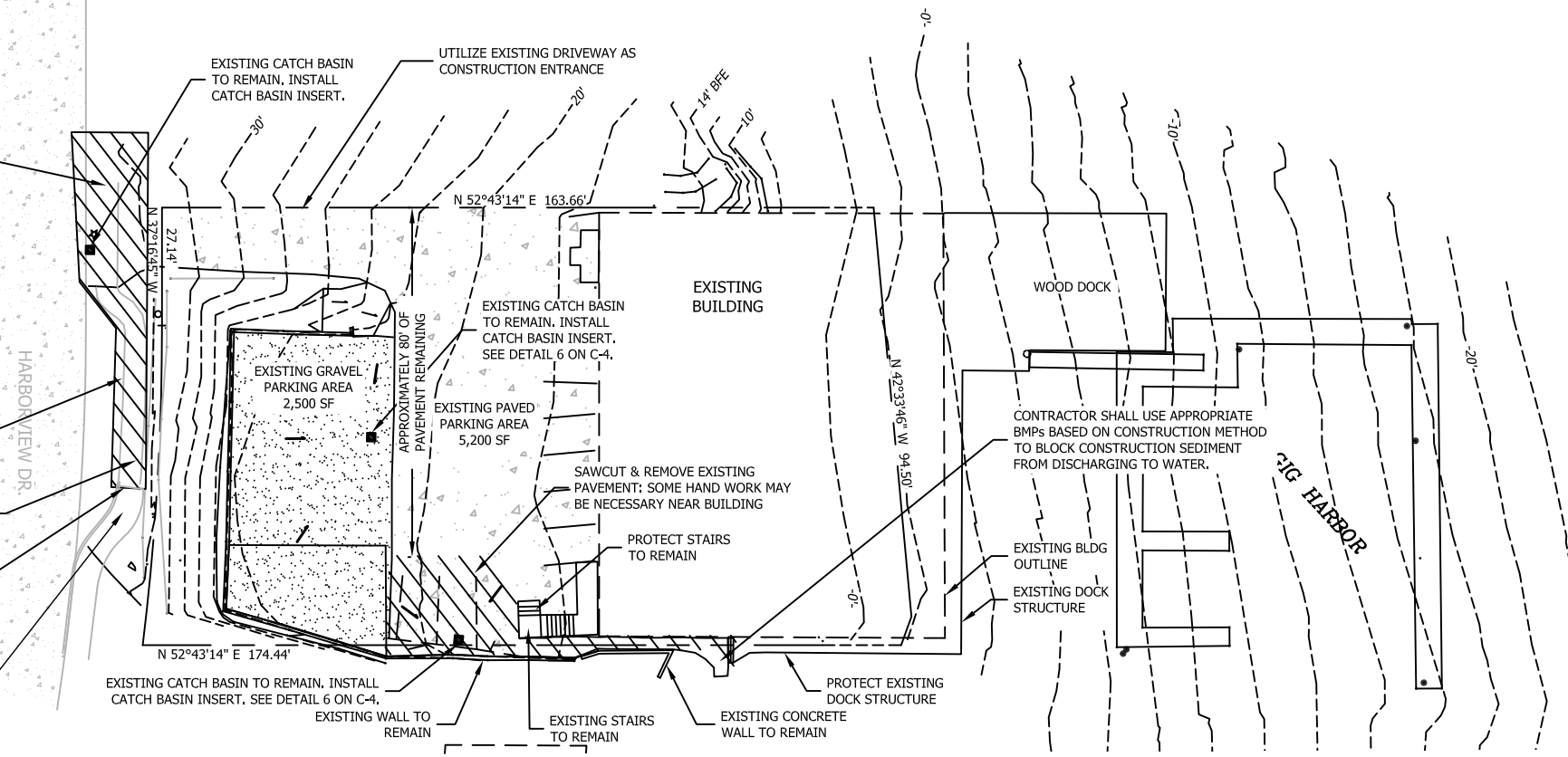
SAWCUT & REMOVE EXISTING CONCRETE SIDEWALK AND APPROACH. REMOVE ASPHALT DRIVEWAY AS NEEDED TO MAINTAIN LESS THAN 2% CROSS SLOPE ON CONCRETE APPROACH. REPLACE SIDEWALK WITH APPROACH ANGLES LESS THAN 7% WITH LESS THAN 2% CROSS SLOPE.

REPLACE EXISTING CITY SIDEWALK W/ CURB AND GUTTER, EXTEND TO NEW SIDEWALK TO THE SOUTH

INSTALL REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) DIRECTLY AFTER WATER METER

EXTEND PROPOSED SIDEWALK TO NEW SIDEWALK TO THE SOUTH, 15.5' NORTH OF HYDRANT.

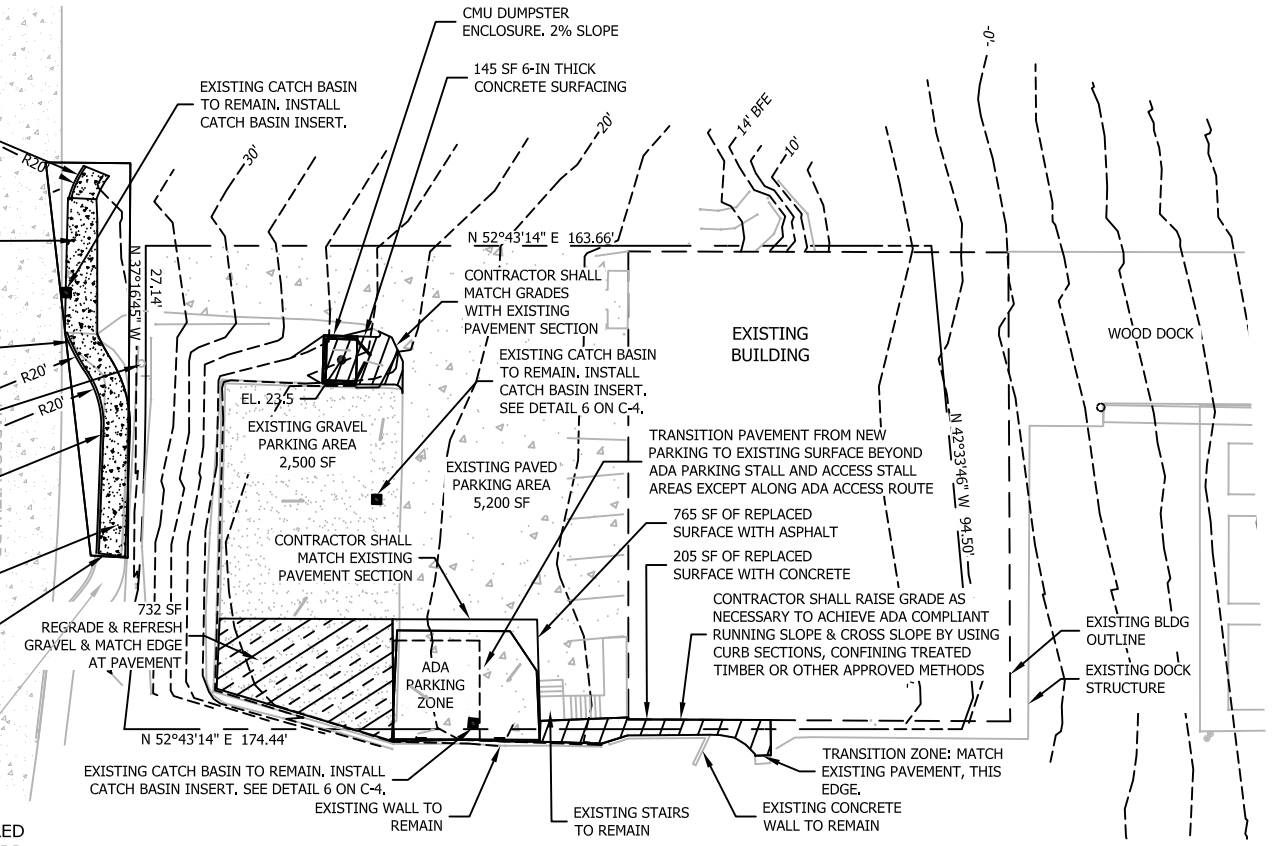
RECENTLY INSTALLED SIDEWALK ASSOCIATED WITH PROJECT TO SOUTH



DEMO PLAN

- 3 C-4.2 4 C-4.2 5 C-4.2 REPLACE APPROX. 7 LF OF SIDEWALK AT NORTHERN APPROACH
- 2 C-4.2 REMOVE AND REPLACE DRIVEWAY APPROACH
- 3 C-4.2 4 C-4.2 5 C-4.2 REPLACE APPROX. 20 LF OF SIDEWALK AT SOUTHERN APPROACH

- EXISTING ILLUMINATION POLE, TO REMAIN
- REPLACE EXISTING CITY SIDEWALK W/ CURB AND GUTTER, EXTEND TO NEW SIDEWALK TO THE SOUTH
- INSTALL REDUCED PRESSURE BACKFLOW ASSEMBLY (RPBA) DIRECTLY AFTER WATER METER
- EXTEND PROPOSED SIDEWALK TO NEW SIDEWALK TO THE SOUTH, 15.5' NORTH OF HYDRANT.
- RECENTLY INSTALLED SIDEWALK ASSOCIATED WITH PROJECT TO SOUTH

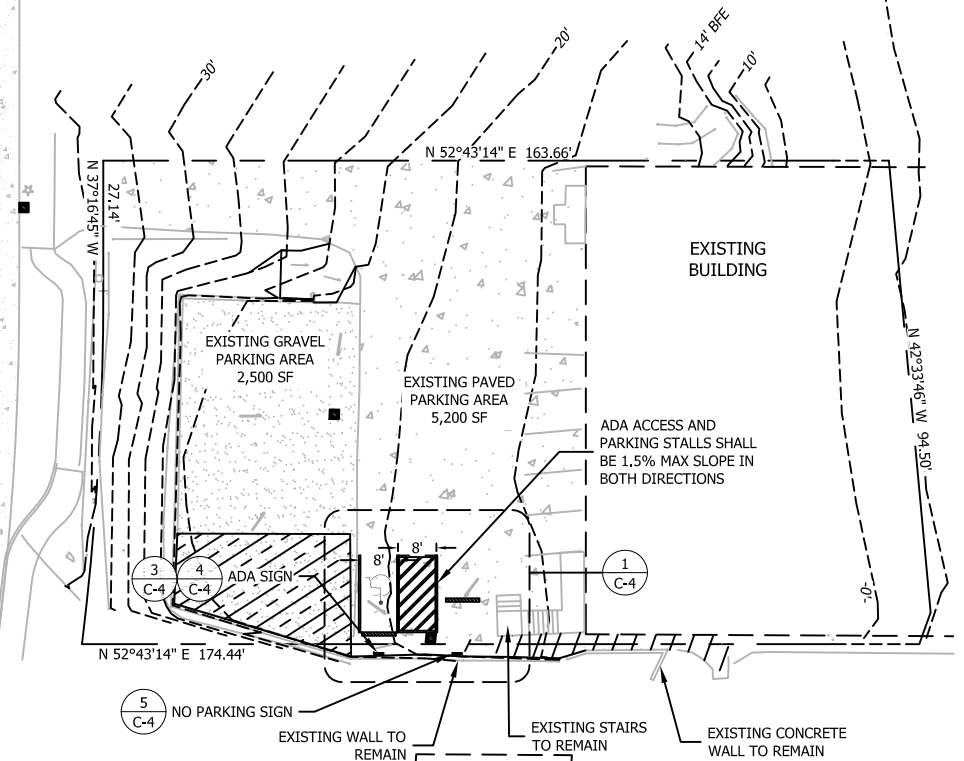


PAVEMENT PLAN

CONCRETE WALKWAY SHALL BE INSTALLED IN ACCORDANCE WITH WSDOT STANDARD PLAN: F-30.10-03 AND THE 2020 STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION.

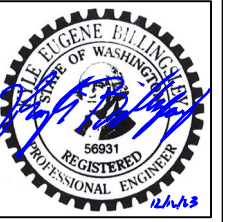


ALL AREAS OF ADA ACCESS ROUTE SHALL BE 1.5% CROSS SLOPE MAXIMUM



STRIPING PLAN

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PROJECT: XITCO BOAT BARN- ADA COMPLIANCE
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CITY OF GIG HARBOR, WASHINGTON
PARCEL NUMBER: 0221081058

REVISIONS

ENGINEER: FF
DRAWN: JP
DATE: 9/6/2019
PLOT DATE: 12/12/23
JOB NAME: XITCO BOAT BARN- ADA COMPLIANCE

SHEET TITLE
PAVEMENT PLAN

SHEET NO.
C-2

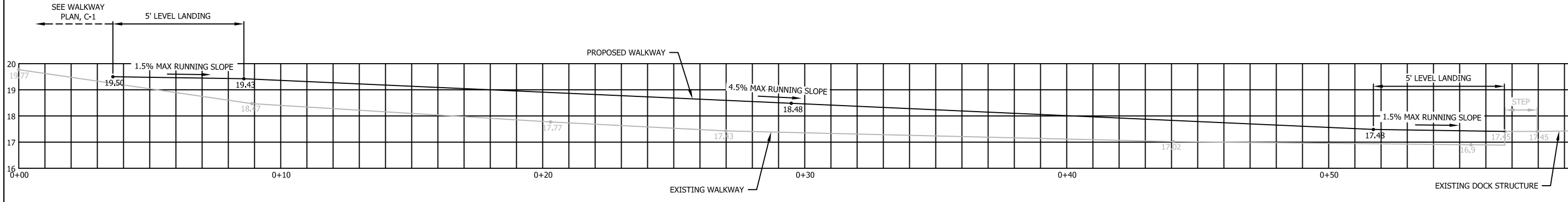
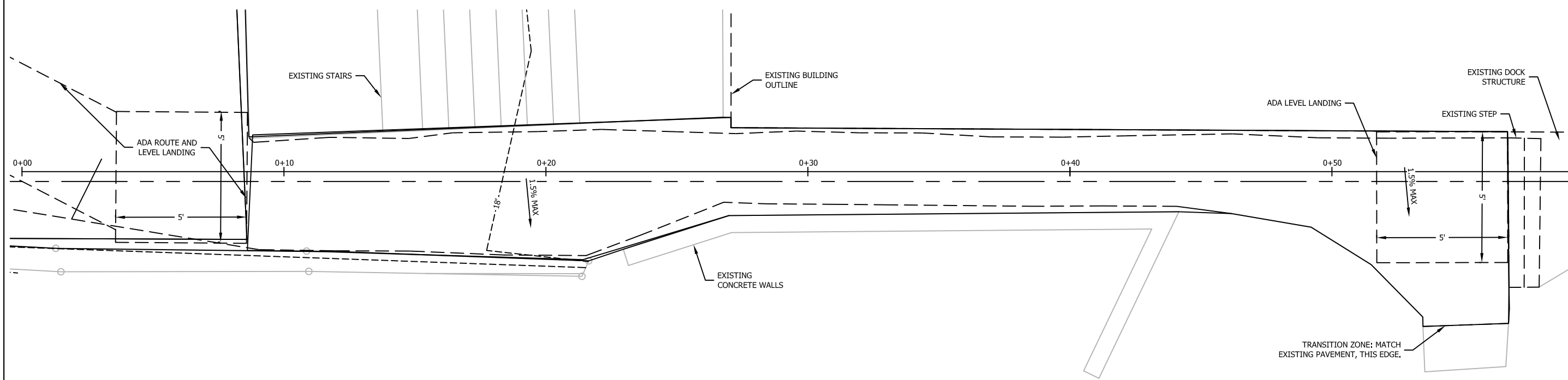
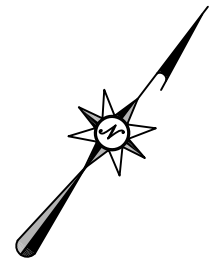
REVISIONS

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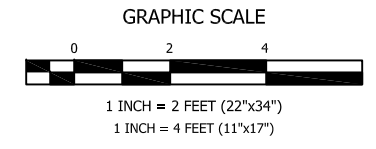
ENGINEER: FF
 DRAWN: JP
 DATE: 9/6/2019
 PLOT DATE: 12/12/23
 JOB NAME: XITCO BOAT BARN-
 ADA COMPLIANCE

SHEET TITLE
ACCESS PROFILE

SHEET NO.
C-3



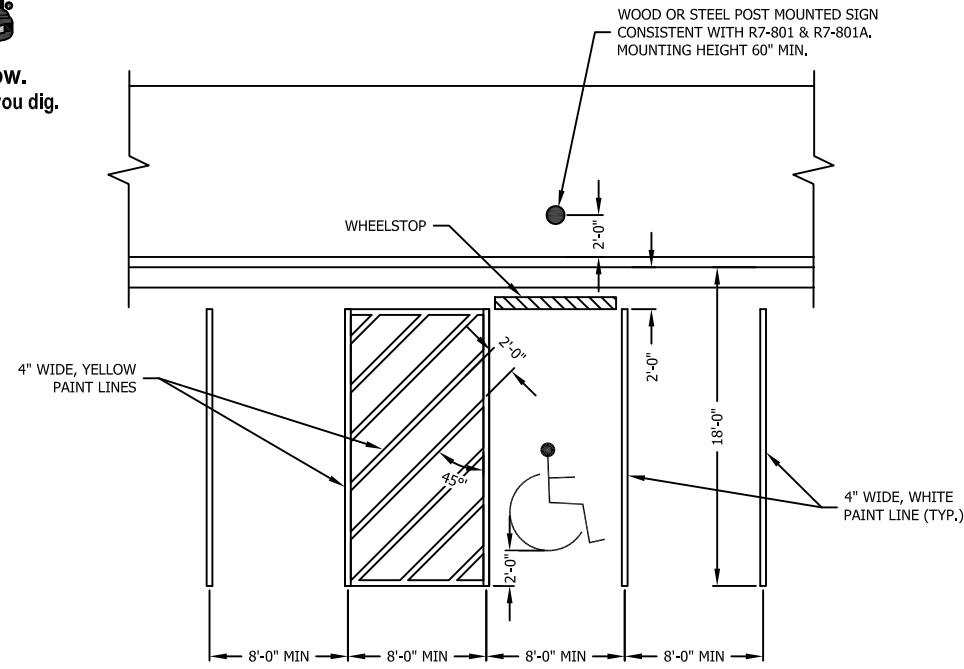
ACCESS ROUTE PLAN AND PROFILE



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NOTES:

1. AN ACCESS PARKING SPACE SYMBOL IS REQUIRED FOR EACH ACCESSIBLE PARKING STALL. A BLUE BACKGROUND AND WHITE BORDER ARE REQUIRED WHEN THE SYMBOL IS INSTALLED ON A CEMENT CONCRETE SURFACE.
2. ALL ACCESSIBLE STALLS SHALL HAVE WHEEL STOPS. PLACE WHEEL STOPS IN OTHER STALLS WHEN SPECIFIED IN THE CONTRACT. WHEEL STOPS SHALL BE APPROXIMATELY 6" HIGH AND A MINIMUM OF 6' LONG.

TYPICAL ONE ACCESSIBLE STALL- 90° PARKING STALL ARRANGEMENT

SCALE : NTS

1

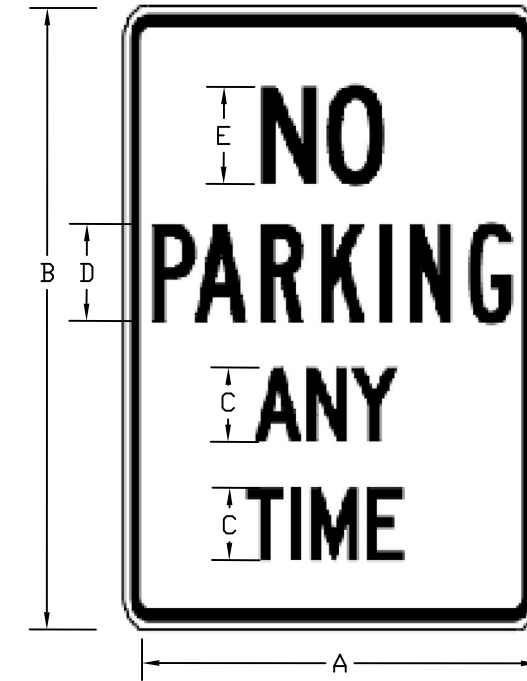


DIMENSIONS (INCHES)										
A	B	C	D	E	F	G	H	J	K	L
12	18	3/8	5/8	2C	3/4C	1	1/2	3/4	6	1 1/2

ADA SIGN - WSDOT R7-801

SCALE : NTS

3

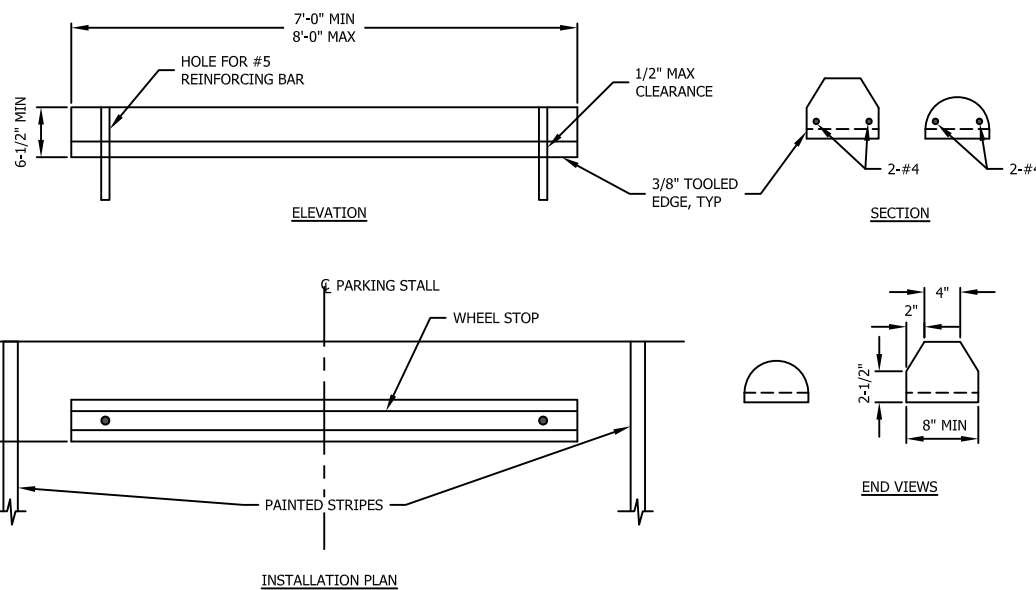


DIMENSIONS (INCHES)				
A	B	C	D	E
12	18	2C	3B	3C

NO PARKING SIGN - WSDOT R7-101

SCALE : NTS

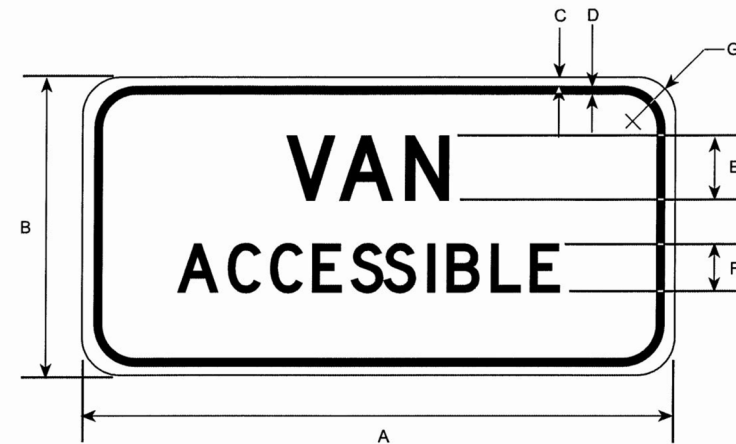
5



PRECAST CONCRETE WHEEL STOP

SCALE : NTS

2

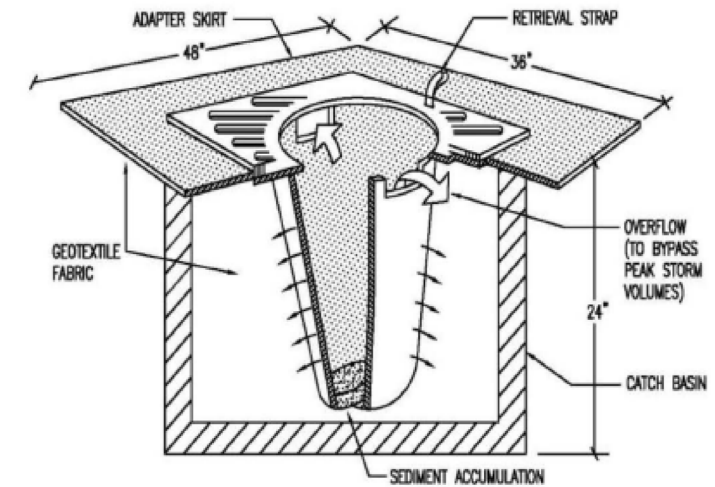


DIMENSIONS (INCHES)						
A	B	C	D	E	F	G
12	6	3/8	3/8	1 1/2D	1D	1 1/2
18	9	5/8	5/8	2D	1 1/2D	1 1/2

ADA SIGN - WSDOT R7-801A

SCALE : NTS

4

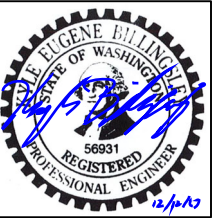


- NOTE:**
1. FILTERS SHALL BE INSPECTED AFTER EACH STORM EVENT AND CLEANED OR REPLACED WHEN 1/3 FULL.

CATCH BASIN INSERT DETAIL

SCALE : NTS

6



PROJECT
XITCO BOAT BARN- ADA COMPLIANCE

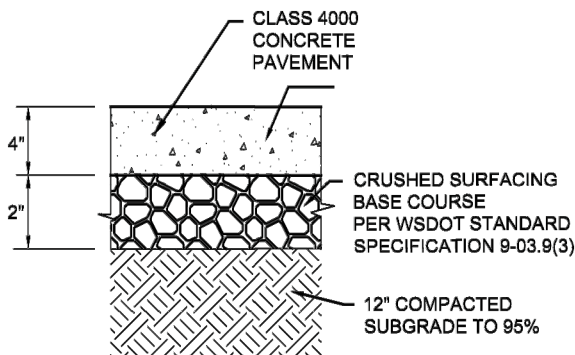
SITE ADDRESS
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SHEET TITLE
DETAILS

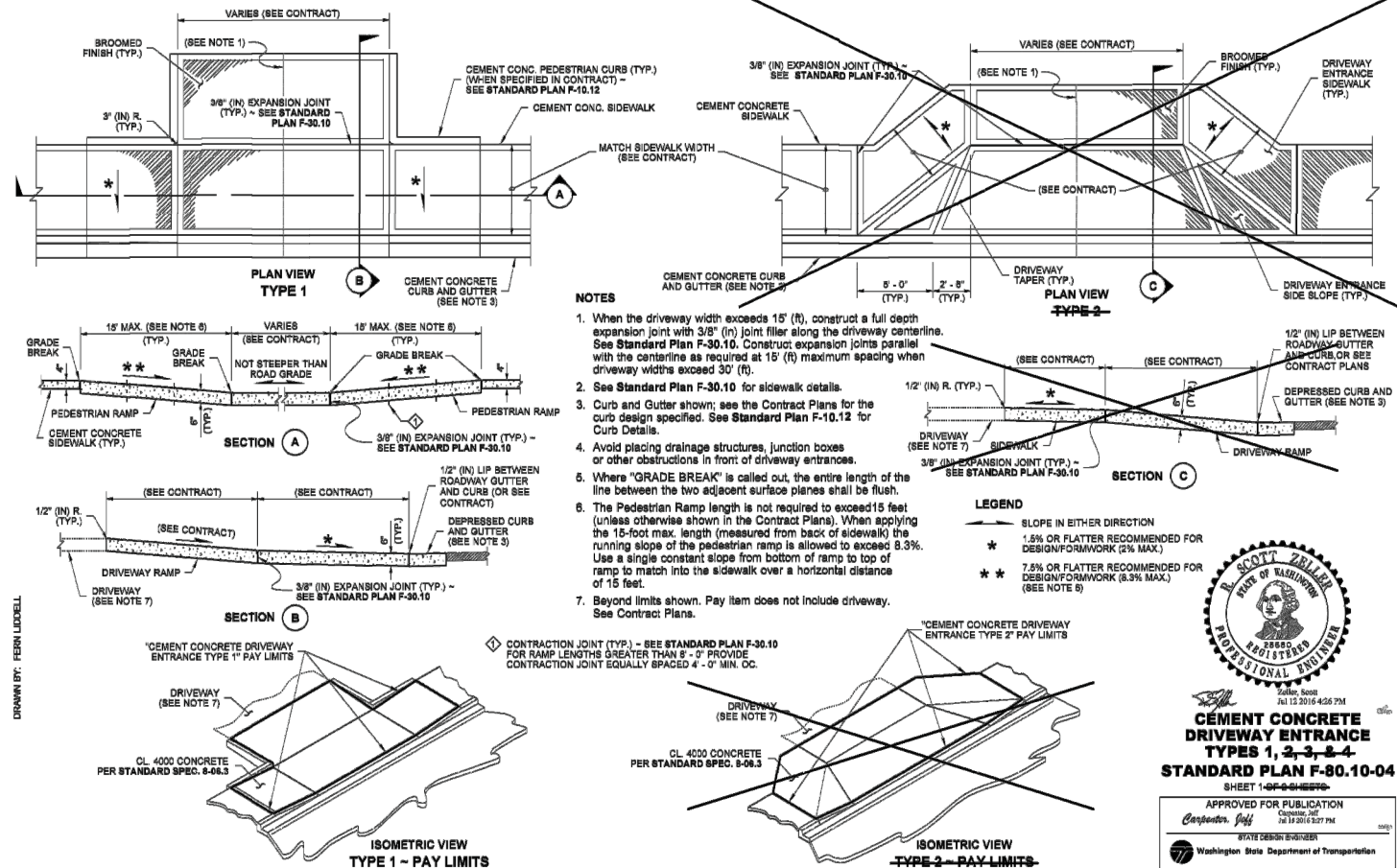
SHEET NO.
C-4.1



CONCRETE SIDEWALK SECTION

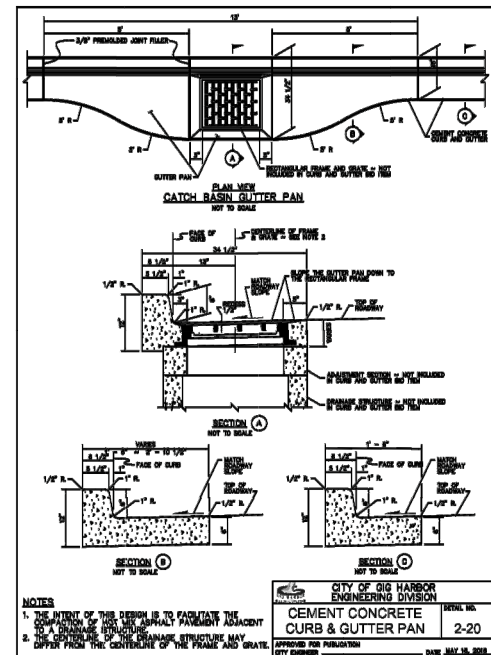
SCALE: NTS 1

- NOTES:**
1. DEPTHS ARE COMPACTED THICKNESS. SEE SPECS.
 2. CONCRETE PANELS SHALL BE 12' x 12'.
 3. PROVIDE CONSTRUCTION JOINTS AT 12' INTERVALS AND PER WSDOT DETAIL A-40.15-00.
 4. A BROOMED FINISH IN THE TRANSVERSE DIRECTION SHALL BE PROVIDED.
 5. CONSTRUCTION JOINTS PER NOTES ON DETAIL 4 THIS PAGE



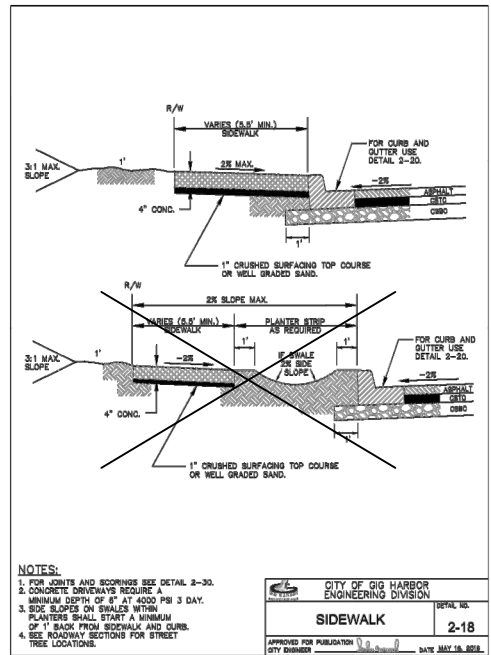
WSDOT TYPE 1 CEMENT CONCRETE DRIVEWAY ENTRANCE

SCALE: NTS 2



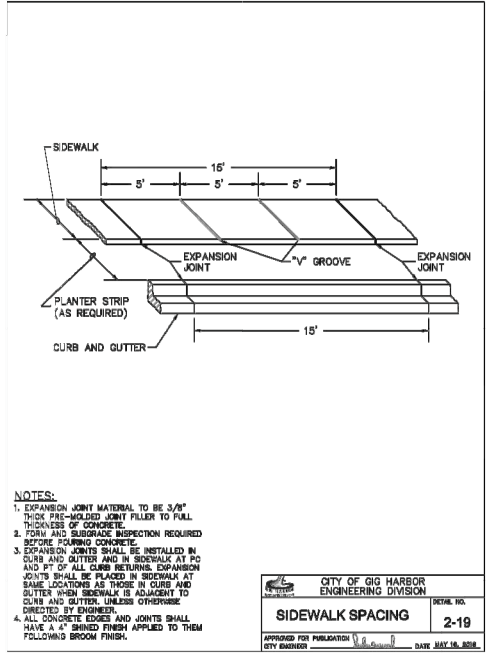
STD CURB AND GUTTER DETAIL

SCALE: NTS 3



STD SIDEWALK DETAIL

SCALE: NTS 4



STD SIDEWALK DETAIL

SCALE: NTS 5



Know what's below.
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STD CURB AND GUTTER DETAIL

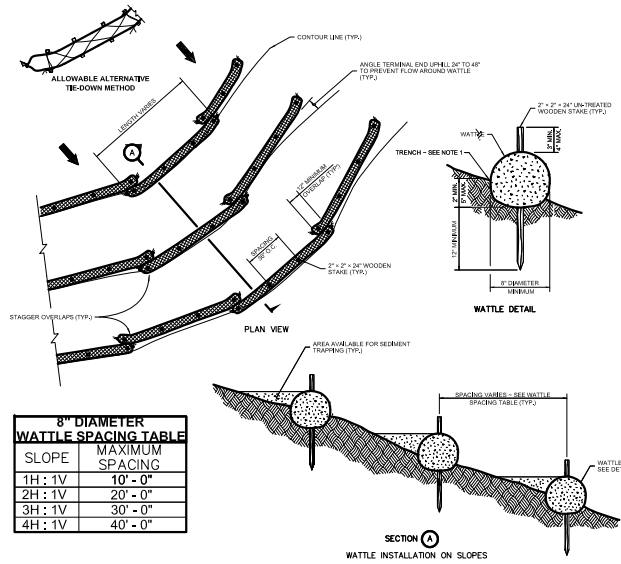
SCALE: NTS 3

STD SIDEWALK DETAIL

SCALE: NTS 4

STD SIDEWALK DETAIL

SCALE: NTS 5



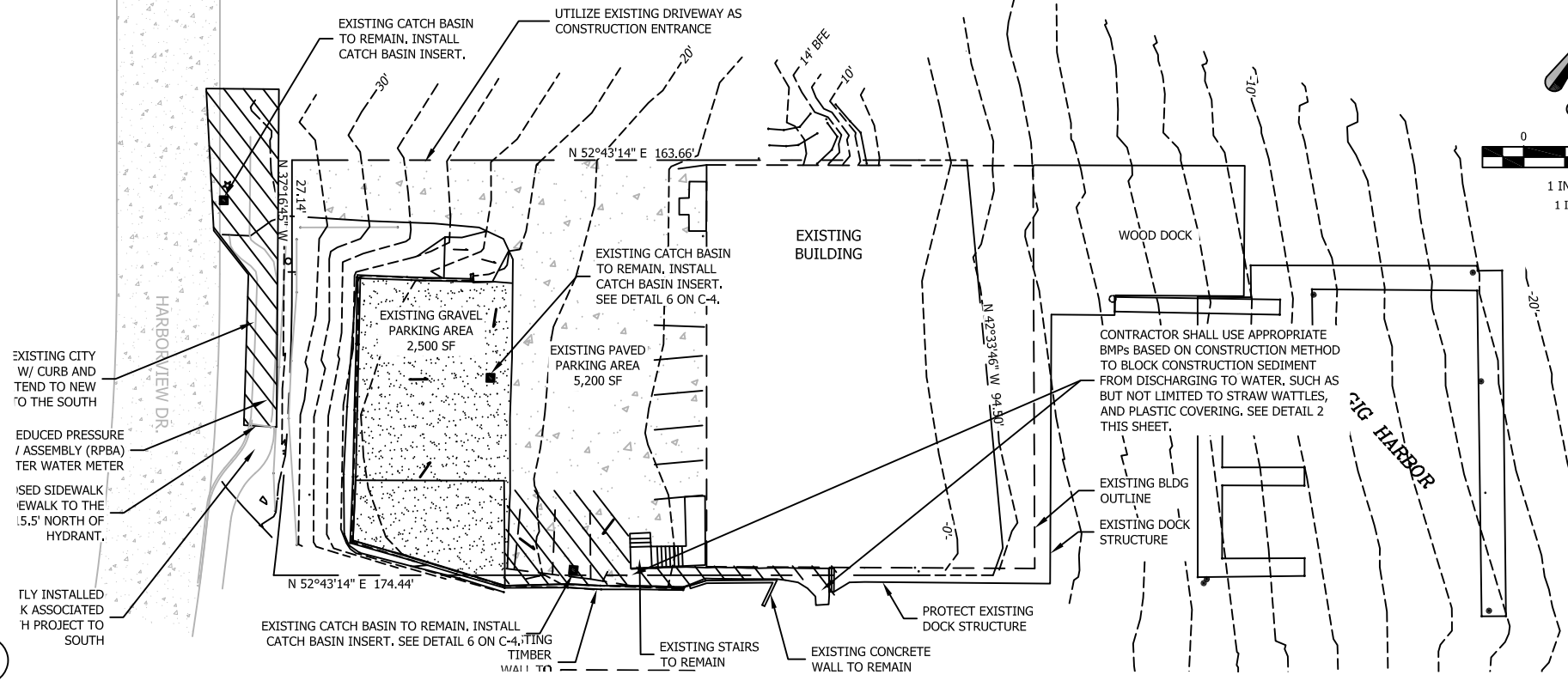
8" DIAMETER WATTLE SPACING TABLE	
SLOPE	MAXIMUM SPACING
1H : 1V	10' - 0"
2H : 1V	20' - 0"
3H : 1V	30' - 0"
4H : 1V	40' - 0"

- NOTES**
- Wattles shall be in accordance with **Standard Specification 9-14.5(5)**. Install Wattles along contours. Installation shall be in accordance with **Standard Specification 8-01.3(10)**.
 - Securely knot each end of Wattle. Overlap adjacent Wattle ends 12" behind one another and securely tie together.
 - Compact excavated soil and trenches to prevent undercutting. Additional staking may be necessary to prevent undercutting.
 - Install Wattle perpendicular to flow along contours.
 - Wattles shall be inspected regularly, and immediately after a rainfall produces runoff, to ensure they remain thoroughly entrenched and in contact with the soil.
 - Perform maintenance in accordance with **Standard Specification 8-01.3(15)**.
 - Refer to **Standard Specification 8-01.3(16)** for removal.

TYPICAL STRAW WATTLE DETAIL

SCALE : NTS

2



STORMWATER POLLUTION PREVENTION PLAN

PLASTIC COVERING NOTES

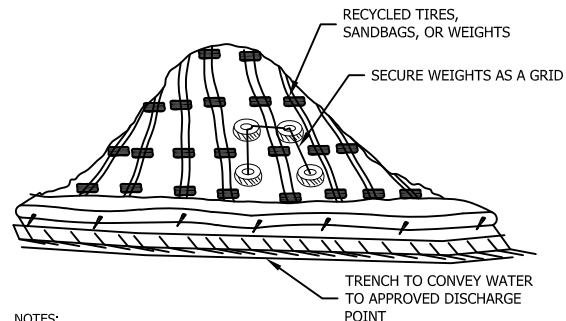
PLASTIC COVERING PROVIDES IMMEDIATE, SHORT-TERM EROSION PROTECTION TO SLOPES AND DISTURBED AREAS.

- CONDITIONS OF USE**
- PLASTIC COVERING MAY BE USED ON DISTURBED AREAS THAT REQUIRE COVER MEASURES FOR LESS THAN 30 DAYS, EXCEPT AS STATED BELOW.
 - PLASTIC IS PARTICULARLY USEFUL FOR PROTECTING CUT AND FILL SLOPES AND STOCKPILES. NOTE: THE RELATIVELY RAPID BREAKDOWN OF MOST POLYETHYLENE SHEETING MAKES IT UNSUITABLE FOR LONG-TERM (GREATER THAN 6 MONTHS) APPLICATIONS.
 - CLEAR PLASTIC SHEETING CAN BE USED OVER NEWLY-SEEDED AREAS TO CREATE A GREENHOUSE EFFECT AND ENCOURAGE GRASS GROWTH IF THE HYDROSEED WAS INSTALLED TOO LATE IN THE SEASON TO ESTABLISH 75 PERCENT GRASS COVER, OR IF THE WET SEASON STARTED EARLIER THAN NORMAL. CLEAR PLASTIC SHOULD NOT BE USED FOR THIS PURPOSE DURING THE SUMMER MONTHS BECAUSE THE RESULTING HIGH TEMPERATURES CAN KILL THE GRASS.
 - DUE TO RAPID RUNOFF CAUSED BY PLASTIC SHEETING, THIS METHOD SHALL NOT BE USED UPSLOPE OF AREAS THAT MIGHT BE ADVERSELY IMPACTED BY CONCENTRATED RUNOFF. SUCH AREAS INCLUDE STEEP AND/OR UNSTABLE SLOPES.
 - WHILE PLASTIC IS INEXPENSIVE TO PURCHASE, THE ADDED COST OF INSTALLATION, MAINTENANCE, REMOVAL, AND DISPOSAL MAKE THIS AN EXPENSIVE MATERIAL, UP TO \$1.50 TO \$2 PER SQUARE YARD.
 - WHENEVER PLASTIC IS USED TO PROTECT SLOPES, WATER COLLECTION MEASURES MUST BE INSTALLED AT THE BASE OF THE SLOPE. THESE MEASURES INCLUDE PLASTIC-COVERED BERMS, CHANNELS, AND PIPES USED TO COVEY CLEAN RAINWATER AWAY FROM BARE SOIL AND DISTURBED AREAS. AT NO TIME IS CLEAN RUNOFF FROM A PLASTIC COVERED SLOPE TO BE MIXED WITH DIRTY RUNOFF FROM A PROJECT.

- OTHER USES FOR PLASTIC INCLUDE:**
- TEMPORARY DITCH LINER
 - POND LINER IN TEMPORARY SEDIMENT POND
 - LINER FOR BERMED TEMPORARY FUEL STORAGE AREA IF PLASTIC IS NOT REACTIVE TO THE TYPE OF FUEL BEING STORED
 - EMERGENCY SLOPE PROTECTION DURING HEAVY RAINS
 - TEMPORARY DRAINPIPE ("ELEPHANT TRUNK") USED TO DIRECT WATER.

- DESIGN AND INSTALLATION SPECIFICATIONS**
- PLASTIC SLOPE COVER MUST BE INSTALLED AS FOLLOWS:
 - RUN PLASTIC UP AND DOWN SLOPE, NOT ACROSS SLOPE
 - PLASTIC MAY BE INSTALLED PERPENDICULAR TO A SLOPE IF THE SLOPE LENGTH IS LESS THAN 10 FEET
 - MINIMUM OF 8-INCH OVERLAP AT SEAMS
 - ON LONG OR WIDE SLOPES, OR SLOPES SUBJECT TO WIND, ALL SEAMS SHOULD BE TAPED
 - PLACE PLASTIC INTO A SMALL (12-INCH WIDE BY 6-INCH DEEP) SLOT TRENCH AT THE TOP OF THE SLOPE AND BACKFILL WITH SOIL TO KEEP WATER FROM FLOWING UNDERNEATH
 - PLACE SAND FILLED BURLAP OR GEOTEXTILE BAGS EVERY 3 TO 6 FEET ALONG SEAMS AND POUND A WOODEN STAKE THROUGH EACH TO HOLD THEM IN PLACE
 - INSPECT PLASTIC FOR RIPS, TEARS, AND OPEN SEAMS REGULARLY AND REPAIR IMMEDIATELY. THIS PREVENTS HIGH VELOCITY RUNOFF FROM CONTACTING BARE SOIL WHICH CAUSES EXTREME EROSION
 - SANDBAGS MAY BE LOWERED INTO PLACE TIED TO ROPES. HOWEVER, ALL SANDBAGS MUST BE STAKED IN PLACE.
 - PLASTIC SHEETING SHALL HAVE A MINIMUM THICKNESS OF 0.06 MILLIMETERS.
 - IF EROSION AT THE TOE OF A SLOPE IS LIKELY, A GRAVEL BERM, RIPRAP, OR OTHER SUITABLE PROTECTION SHALL BE INSTALLED AT THE TOE OF THE SLOPE IN ORDER TO REDUCE THE VELOCITY OF RUNOFF.

- MAINTENANCE STANDARDS**
- TORN SHEETS MUST BE REPLACED AND OPEN SEAMS REPAIRED
 - IF THE PLASTIC BEGINS TO DETERIORATE DUE TO ULTRAVIOLET RADIATION, IT MUST BE COMPLETELY REMOVED AND REPLACED
 - WHEN THE PLASTIC IS NO LONGER NEEDED, IT SHALL BE COMPLETELY REMOVED.



- NOTES:**
- USE OLD TIRES, SAND BAGS, OR EQUIVALENT TO ANCHOR PLASTIC COVERING

PLASTIC COVERING DETAIL

SCALE : NTS

1

SOIL STOCKPILE NOTES

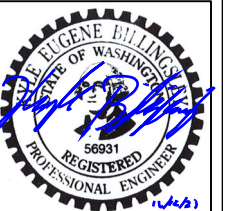
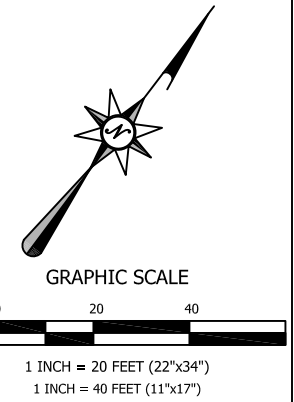
- STOCKPILES SHALL BE STABILIZED (WITH PLASTIC COVERING OR OTHER APPROVED DEVICE) DAILY BETWEEN OCTOBER 1 AND APRIL 30.
- IN ANY SEASON, SEDIMENT LEACHING FROM PILES MUST BE PREVENTED.
- TOPSOIL SHALL NOT BE PLACED WHILE IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBGRADE IS EXCESSIVELY WET, OR WHEN CONDITIONS EXIST THAT MAY BE OTHERWISE DETRIMENTAL TO PROPER GRADING OR PROPOSED SODDING OR SEEDING.
- PREVIOUSLY ESTABLISHED GRADES ON THE AREAS TO BE TOP SOILED SHALL BE MAINTAINED ACCORDING TO THE APPROVED PLAN.

TEMPORARY EROSION AND SEDIMENT CONTROL NOTES

- APPROVAL OF THIS TEMPORARY EROSION AND SEDIMENTATION CONTROL (TESC) PLAN DOES NOT CONSTITUTE AND APPROVAL OF PERMANENT ROAD OR DRAINAGE DESIGN (E.G. SIZE AND LOCATION OF ROADS, PIPES, RESTRICTORS, CHANNELS RETENTION FACILITIES, UTILITIES, ETC.)
- THE IMPLEMENTATION OF THESE EROSION AND SEDIMENT CONTROL PLANS AND THE CONSTRUCTION, MAINTENANCE, REPLACEMENT, AND UPGRADING OF THESE ESC FACILITIES IS THE RESPONSIBILITY OF THE APPLICANT/CONTRACTOR UNTIL ALL CONSTRUCTION IS COMPLETED AND APPROVED AND VEGETATION/LANDSCAPING IS ESTABLISHED.
- THE BOUNDARIES OF THE CLEARING LIMITS SHOWN ON THIS PLAN SHALL BE CLEARLY FLAGGED IN THE FIELD PRIOR TO CONSTRUCTION. DURING THE CONSTRUCTION PERIOD, NO DISTURBANCE BEYOND THE CLEARING LIMITS SHALL BE PERMITTED, THE FLAGGING SHALL BE MAINTAINED BY THE APPLICANT/CONTRACTOR FOR THE DURATION OF CONSTRUCTION.
- THE ESC FACILITIES SHOWN ON THIS PLAN MUST BE CONSTRUCTED IN CONJUNCTION WITH ALL CLEARING AND GRADING ACTIVITIES, AND IN SUCH A MANNER AS TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT ENTER THE DRAINAGE SYSTEM, ROADWAYS, OR VIOLATE APPLICABLE WATER STANDARDS.
- THE ESC FACILITIES SHOWN ON THIS PLAN ARE THE MINIMUM REQUIREMENTS FOR ANTICIPATED SITE CONDITIONS. DURING THE CONSTRUCTION PERIOD, THESE ESC FACILITIES SHALL BE UPGRADED AS NEEDED FOR UNEXPECTED STORM EVENTS AND TO ENSURE THAT SEDIMENT AND SEDIMENT LADEN WATER DO NOT LEAVE THE SITE.
- THE TESC FACILITIES SHALL BE INSPECTED DAILY BY THE APPLICANT/CONTRACTOR AND MAINTAINED AS NECESSARY TO ENSURE THEIR CONTINUED FUNCTIONING.
- ANY AREAS OF EXPOSED SOILS, INCLUDING ROADWAY EMBANKMENTS, THAT WILL NOT BE DISTURBED FOR TWO DAYS DURING THE WET SEASON OR SEVEN DAY DURING THE DRY SEASON SHALL BE IMMEDIATELY STABILIZED WITH THE APPROVED TESC METHODS (E.G. SEEDING, MULCHING, PLASTIC COVERING, ETC.)
- THE ESC FACILITIES ON INACTIVE SITES SHALL BE INSPECTED AND MAINTAINED A MINIMUM OF ONCE A MONTH OR WITHIN 48 HOURS FOLLOWING A STORM EVENT.
- AT NO TIME SHALL MORE THAN ONE (1) FOOT OF SEDIMENT BE ALLOWED TO ACCUMULATE WITHIN A TRAPPED CATCH BASIN. ALL CATCH BASINS AND CONVEYANCE LINES SHALL BE CLEANED PRIOR TO PAVING. THE CLEANING OPERATION SHALL NOT FLUSH SEDIMENT-LADEN WATER INTO THE DOWNSTREAM SYSTEM.
- STABILIZED CONSTRUCTION ENTRANCES AND ROADS SHALL BE INSTALLED AT THE BEGINNING OF CONSTRUCTION AND MAINTAINED FOR THE DURATION OF THE PROJECT. ADDITIONAL MEASURES, SUCH AS WASH PADS, MAY BE REQUIRED TO ENSURE THAT ALL PAVED AREAS ARE KEPT CLEAN FOR THE DURATION OF THE PROJECT.

STORMWATER NOTES

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH CITY STANDARDS AND THE MOST CURRENT COPY OF THE STATE OF WASHINGTON STANDARD SPECIFICATIONS FOR ROAD, BRIDGE, AND MUNICIPAL CONSTRUCTION (WSDOT / APWA) AND AS AMENDED BY THE COUNTY OR STATE.
- TEMPORARY EROSION/WATER POLLUTION PREVENTION MEASURES SHALL BE REQUIRED IN ACCORDANCE WITH THE CITY OF GIG HARBOR STORMWATER MANAGEMENT AND SITE DEVELOPMENT MANUAL AND THE DEPT. OF ECOLOGY'S CONSTRUCTION STORMWATER GENERAL PERMIT. SHOULD THE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS SHOWN ON THIS DRAWING NOT PROVE ADEQUATE TO CONTROL EROSION AND SEDIMENTATION, THE APPLICANT/CONTRACTOR SHALL INSTALL ADDITIONAL FACILITIES AS NECESSARY TO PROTECT ADJACENT PROPERTIES, SENSITIVE AREAS, NATURAL WATER COURSES, AND/OR STORM DRAINAGE SYSTEMS.
- CALL THE UNDERGROUND LOCATE LINE 1-800-424-5555 A MINIMUM OF 48 HOURS PRIOR TO ANY EXCAVATIONS.
- THE STORM DRAINAGE SYSTEM SHALL BE CONSTRUCTED ACCORDING TO APPROVED PLANS ON FILE WITH THE CITY. ANY SIGNIFICANT DEVIATION FROM THE APPROVED PLANS WILL REQUIRE WRITTEN APPROVAL FROM THE CITY.
- A COPY OF THE APPROVED STORMWATER PLANS MUST BE ON THE JOB SITE WHENEVER CONSTRUCTION IS IN PROGRESS.
- ALL EROSION CONTROL AND STORMWATER FACILITIES SHALL BE REGULARLY INSPECTED AND MAINTAINED BY THE DESIGNATED CERTIFIED EROSION AND SEDIMENT CONTROL LEAD (CESCL) DURING CONSTRUCTION.
- IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN STREET USE AND OTHER RELATED OR REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITY IN THE MUNICIPALITY'S RIGHT OF WAY. IT SHALL ALSO BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL REQUIRED PERMITS PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL ABIDE BY ALL REQUIREMENTS FOR TRAFFIC CONTROL AND SAFETY WHEN WORKING IN THE ROAD RIGHT OF WAY.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER IN THE EVENT OR DISCOVERY OF POOR SOILS, STANDING GROUNDWATER, OR SEVERE DISCREPANCIES FROM SOIL LOG DESCRIPTIONS AS NOTED ON THE PLANS.
- FOR PUBLIC SYSTEMS, THE CONTRACTOR SHALL CALL FOR INSPECTION 48 HOURS PRIOR TO COVERING ANY DRAINAGE STRUCTURE.
- ALL DRAINAGE STRUCTURES, SUCH AS CATCH BASINS AND MANHOLES, NOT LOCATED WITHIN A TRAVELED ROADWAY OR SIDEWALK, SHALL HAVE SOLID LOCKING LIDS. ALL DRAINAGE STRUCTURES ASSOCIATED WITH A PERMANENT RETENTION/DETENTION FACILITY SHALL HAVE SOLID LOCKING LIDS.



PROJECT: XITCO BOAT BARN- ADA COMPLIANCE
 SITE ADDRESS: 2907 HARBORVIEW DR
 CITY OF GIG HARBOR, WASHINGTON
 PARCEL NUMBER: 0221081058

REVISIONS

ENGINEER: FF
 DRAWN: JP
 DATE: 9/6/2019
 PLOT DATE: 12/8/23
 JOB NAME: XITCO BOAT BARN- ADA COMPLIANCE

SHEET TITLE: SWPPP

SHEET NO.: C-5

RECEIVED

By C. ANDREWS at 9:57 am, Dec 15, 2023

EXHIBIT C

Gig Harbor, Washington

Drainage Report

Xitco Boat Barn ADA Compliance

2907 Harborview Drive

Gig Harbor, WA

PN: 0221081058

(App/Permit #: PL-SDP-22-0002)

December 12, 2023

Prepared for:

X2 Boat Barn LLC
P.O. Box 2116
Tacoma, WA 98401

Prepared by:

GeoResources, LLC
4809 Pacific Highway East
Fife, WA 98424
253-896-1011

Kyle E. Billingsley, PE: kyleb@georesources.us



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earth science & geotechnical engineering

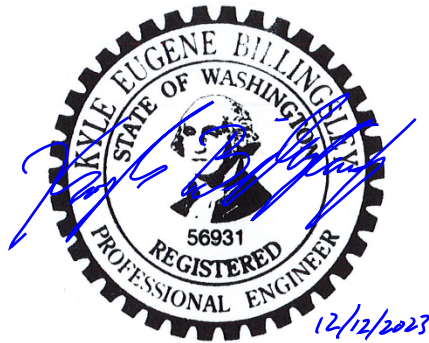
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Xitco Boat Barn ADA Compliance, Drainage Report

Revision History

Version	Description/Comment	Date	Notes, As Required
0	Drainage Report	December 8, 2021	
1		October 13, 2022	Added engineer's statement below
2		April 24, 2023	Permit number and 2023 GHSWM
3		July 31, 2023	Frontage Sidewalk ADA
4		December	Frontage Sidewalk area updated

"I hereby state that this Drainage Control Plan for the Xitco Boat Barn ADA Compliance has been prepared by me or under my supervision and meets the standard of care and expertise which is usual and customary in this community for professional engineers. I understand that Gig Harbor does not and will not assume liability for the sufficiency, suitability, or performance of drainage facilities prepared by me."



Kyle E. Billingsley, PE
Senior Engineer



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Xitco Boat Barn ADA Compliance, Drainage Report



1.0 Introduction

We are pleased to submit this drainage report for the proposed ADA compliance project located at 2907 Harborview Drive, in Gig Harbor Washington (PN: 0221081058). The project proposes to replace approximately 1,702 sf of walkway and parking area in order to provide ADA compliant access. The project also proposes to add approximately 145 sf of surface area for an enclosed dumpster pad and remove 475 sf of the City of Gig Harbor sidewalk and driveway approach to make it ADA compliant. The total proposed new/replaced impervious surface is 2,322 sf, of which 1,847 sf is associated with onsite improvements. Therefore, Minimum Requirements 1 through 5 apply to the project.

2.1 Minimum Requirements

As stated above, Figure 2.2: Flow Chart for Determining Minimum Requirements for Redevelopment, from the 2023 City of Gig Harbor Stormwater and Site Development Manual (GHSWM) was used to determine that Minimum Requirements 1 through 5 apply to the project.

Minimum Requirement #1: Preparation of Stormwater Site Plans

This requirement has been addressed by the submittal of the referenced Drainage Control Plan documents.

Minimum Requirement #2: Construction Stormwater Pollution Prevention (SWPP)

A separate construction Stormwater Pollution Prevention Plan (SWPP) will be provided that also addresses the 13 elements listed below:

1. Preserve Vegetation/Mark Clearing Limits: The approximate project limits have been clearly shown on the abbreviated plan sheet C-1 and shall be marked prior to the beginning of demolition and construction activities.
2. Establish Construction Access: Site access shall be restricted to the existing paved access to the building and existing gravel parking area.
3. Control Flow Rates: The project only proposes 145 square feet of additional impervious surface onsite, 475 square feet of offsite sidewalk/driveway approach, and the replacement of 1,702 square feet. Flow rates will be maintained through the existing permanent drainage system and the erosion control measures noted on the plan sheets.
4. Install Sediment Controls: Sheet C-1 notes the locations where erosion control BMPs will be necessary. The contractor shall utilize BMP's as necessary to prevent sediment from entering the existing catch basins or leaving the site. BMPs such as Straw Wattles, BMP C105: Stabilized Construction Entrance/Exit, BMP C121: Mulching, Soil Stockpile, and other erosion control methods may be utilized.



5. Stabilize Soils: The nature of the project as a sidewalk and parking stall replacement limits the opportunity for exposed soils. Temporary site stabilization of any areas with exposed soils should include BMP C123: Plastic Covering. Final site stabilization will include permanent hard surfacing.
6. Protect Slopes: Slopes to the south beyond the project area will not be disturbed. Existing vegetation will remain providing protection to the slope.
7. Protect Drain Inlets: Catch basins within the site vicinity will be fitted with an insert to prevent silt/sediments from entering the system during construction.
8. Stabilize Channels and Outlets: Stormwater generated onsite during construction will be retained onsite with a silt fence and/or straw wattles. This should be sufficient to prevent erosion from runoff.
9. Control Pollutants: This is a small commercial project. It is expected that there will be limited opportunity for construction pollution to be present on site. Contractors will be required to follow standard procedures concerning site cleanup, material storage, and should consist of, but not be limited to; S.2: Dispose of collected runoff and waste materials properly, S.5: Cover the activity with anchored tarpaulin or plastic, S.6: Pave the activity area and slope to a sump or holding tank, S.7: Surround the activity area with a curb, berm, or dike, or elevate the activity, and S.9: cleaning catch basins per the 2023 GHSWM, Volume IV, Section 5.2. Also provide secondary containment for larger fuel tanks and keep spill blankets onsite.
10. Control Dewatering: No dewatering should be required on this project.
11. Maintain BMP's: It will be the owners and contractor's responsibility to maintain the installed BMPs and to maintain a clean and safe work site. Appropriate notes and details are included on the referenced plan sheets.
12. Manage the Project: It will be the owners and contractor's responsibility to manage the project. It is expected that the amount of effort required to manage the site construction stormwater will be commensurate with the scope and size of the project.
13. Protect Low Impact Development BMPs: No stormwater BMPs are proposed.

Minimum Requirement #3: Source Control of Pollution

The implementation of the temporary erosion and sediment control plan along with the provided drainage design is adequate to meet this requirement for construction of the proposed replacement surfaces. For long term pollution control, BMPs as defined in Volume IV, Chapter 3; Best Management Practices for Storage of Solid Wastes and Yard Wastes; Composting; Yard Maintenance and Gardening;



Household Hazardous Material Use, Storage, and Disposal and Pet Waste Management; shall be implemented.

Minimum Requirement #4: Preservation of Natural Drainage Systems and Outfalls

All stormwater generated onsite will be collected and routed to the existing drainage system, thus maintaining the existing drainage patterns for the site.

Minimum Requirement #5: Onsite Stormwater Management

Lawn and Landscaped Areas:

1. No lawn or landscape areas will be altered or created as part of the project.

Roofs:

1. No new roof areas are proposed.

Other Hard Surfaces:

1. Sheet flow dispersion per Volume III, Section 3.2.3, or concentrated flow dispersion in Volume III, Section 3.2.4 is not feasible due to the topography and horizontal site constraints at the site.
2. Runoff from the proposed impervious areas will be routed to the existing storm system as it currently does. No alteration of the stormwater path is proposed. Only 145 square feet of additional surface is proposed.

2.0 Utilities

It is the responsibility of the contractor to locate utilities prior to installing any stormwater systems. The One-Call Underground Utility Locate Center (1-800-424-5555 or 811) should be notified a minimum of 48-hours prior to digging on the site.

3.0 Covenants, Dedications, Easements

Covenants, dedications or easements are not anticipated.

4.0 Property Owners Associations Articles of Incorporation

This is not applicable to this project.

5.0 Other Permits or Conditions Placed on the Project

In addition to a Site Development Permit, it is anticipated other permit requirements will include a shoreline substantial development permit.





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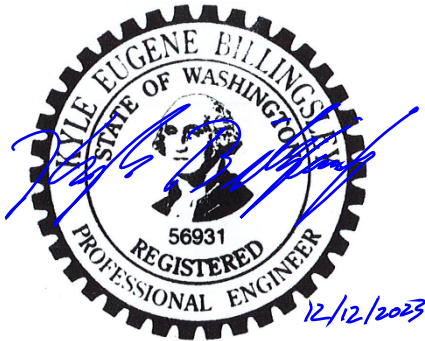
4809 Pacific Hwy. E. | Fife, Washington 98424 | 253.896.1011 | www.georesources.rocks

Xitco Boat Barn ADA Compliance, Drainage Report

We appreciate the opportunity to be of service on this project. Should you have need of additional information or services please call.

Yours Very Truly,

GeoResources, LLC



Kyle E. Billingsley, PE
Senior Engineer



"THE MARITIME CITY"

COMMUNITY DEVELOPMENT
PLANNING DIVISION

**Determination of Nonsignificance (DNS)
W.A.C. 197-11-970**

Environmental Review Application No.: PL-SEPA-22-0005

Parcel Numbers: 0221081058

Action: Shoreline Substantial Development

Proposal: The proposal includes improvements to the site to include: Parking lot regraded to accommodate an ADA compliant parking stall, loading and unloading area, and associated parking and surface water management improvements. Also, a reconfiguration of the existing floats within the marina to accommodate larger yacht moorage.

Location: 2907 Harborview Dr., site is located on the east side of Harborview Dr., approximately 250 feet from the intersection of Soundview and Harborview Dr.

Proponent: X2P Boat Barn LLC., P.O. Box 2116, Tacoma, WA 98401

Lead Agency: City of Gig Harbor

The lead agency for this proposal has determined that it does not have a probable significant adverse impact on the environment. An environmental impact statement (EIS) is not required under RCW 43.21C.030(2)(c). This decision was made after review of a completed environmental checklist and other information on file with the lead agency. This information is available to the public upon request.

[x] This DNS is issued under WAC 197-11-340(2); the lead agency will not act on this proposal for at least 14 days from the date below, or by the date comments are due, whichever is longer. Comments must be submitted by January 26, 2024.

Any interested person may appeal the adequacy of this SEPA Threshold Determination to the City of Gig Harbor Hearing Examiner pursuant to the

procedures set forth under Chapter 18.04 of the Gig Harbor Municipal Code if a written request for appeal is received within 21 days after the date of issuance, or 5:00 PM on February 2, 2024 whichever is later. The written appeal must be submitted with a filing fee of three hundred twelve dollars (\$312.00).

Contact: Jeremy Hammar, Senior Planner; Phone: (253)851-6170

SEPA Responsible Official: Carl de Simas
Position Title: Community Development Director Phone: (253)851-6170

Address: City of Gig Harbor
3510 Grandview Street
Gig Harbor, WA. 98335

Signature



Date: January 12, 2024

cc: Proponent



"THE MARITIME CITY"

COMMUNITY DEVELOPMENT
PLANNING DIVISION

CITY OF GIG HARBOR



NOTICE OF PUBLIC HEARING

X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES Type III

Permit Number(s): PL-SDP-22-0001, PL-SPR-22-0002, PL-NCR-22-0001,
PL-DR-22-0006, PL-FLOOD-22-0001, PL-SEPA-22-0005

Date of Notice: January 23, 2024

Applicant: X2P Boat Barn LLC., P.O. Box 2116, Tacoma, WA 98401

Agent: Carl Halsan, P.O. Box 1447, Gig Harbor, WA 98335

Project Location: 2907 Harborview Dr., site is located on the east side of Harborview Dr., approximately 250 feet from the intersection of Soundview and Harborview Dr., Sec 08, Tw 21, R 02, QTR 12.
Parcel - 0221081058

Project Description: The proposal includes improvements to the site to include: Parking lot regrading to accommodate an ADA compliant parking stall, loading and unloading area, and associated parking and surface water management improvements Also, a reconfiguration of the existing floats within the marina to accommodate larger yacht moorage.

SEPA Threshold Determination: Determination of Nonsignificance, issued January 12, 2024.

PUBLIC HEARING DATE: Hearing Examiner, **February 6, 2024, at 1:30 pm, Virtual Hearing**

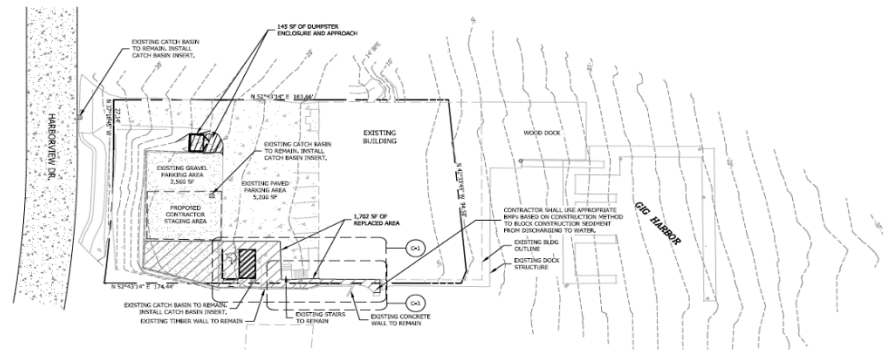
Interested persons are invited to attend the public hearing and provide testimony on this proposal. The hearing will be conducted in the manner prescribed by Gig Harbor Municipal Code Chapter [19.05](#).

Documents pertinent to this application are available for review and inspection at the City of Gig Harbor Planning Division, 3510 Grandview Street, Gig Harbor, WA 98335, during normal business hours, Monday through Friday or on the City's [Permit Portal](#). A copy of the staff report on this proposal will be available at least seven days prior to the hearing. A copy of the application, all documents and evidence relied upon by the applicant, and applicable criteria are available for inspection at no cost; copies will be provided at the requestor's cost.

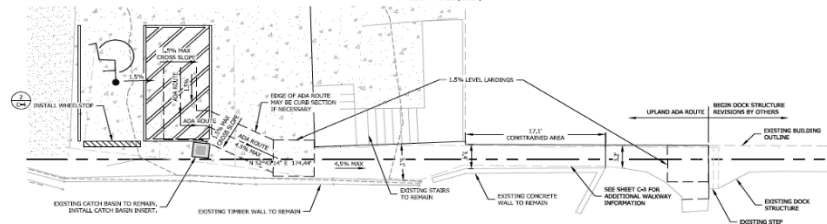
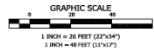
Interested persons may comment on the above stated application or may request a copy of the decision on this application. **Requests for notification, written comments, including any written comments addressing**

the findings required for a decision, must be submitted to the Planning Division no later than 5:00 PM on Monday February 5, 2024.

Questions regarding the above stated application should be made to Jeremy Hammar, Senior Planner, City of Gig Harbor Community Development Department, 3510 Grandview Street, Gig Harbor, WA 98335, or by calling (253)851-6170. Additional permit information can also be found at www.gigharborwa.gov by clicking "[Permit Portal](#)" and entering the permit number.



PROPOSED SITE PLAN



WALKWAY PLAN



CERTIFICATION OF PUBLIC NOTICE

DECLARATION OF MAILING

I, Cindy Andrews (printed name), declare under penalty of perjury under the laws of the State of Washington and the United States of America that the foregoing is true and correct to the best of my knowledge:

On January 23, 2024, I mailed a true and correct copy of the Notice Public Hearing for the following:

Project Name: **X2P Boat Barn Moorage & Accessibility Upgrades**

Project Location: **2907 Harborview DR. | Parcel # 0221081058**

Permit Number(s): **PL-SDP-22-0001, PL-SPR-22-0002, PL-NCR-22-0001, PL-DR-22-0006, PL-FLOOD-22-0001, PL-SEPA-22-0005**

to the individuals/agencies identified on the attached transmittal form by United States Postal Service, inter-office routing, or electronic mail, as specified on the attached.

SIGNED at Gig Harbor, Washington, this **23rd Day of January, 2024.**



DECLARANT (signature)

**City of Gig Harbor
Transmittal Form**

Routing for: NOA SEPA **NOPH** NOPM NOD Notice Date: January 23, 2024

Project: X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES

PL-SDP-22-0001, PL-SPR-22-0002, PL-NCR-22-0001, PL-DR-22-0006,
PL-FLOOD-22-0001, PL-SEPA-22-0005

Planner: JEREMY HAMMAR

Routed to: Public Works–Operations Building and Fire Safety
City Depts. Public Works–Engineering Other _____

SEPA Agencies: Washington Department of Ecology, SEPA Register
(NOA, SEPA) Washington Department of Commerce, attn: Review Team
Electronic Mail Pierce Transit Land Use Review, attn: Kelly Haden, Monica Adams
 Washington State Department of Fish & Wildlife, attn: SEPA Desk
 Washington State Department of Natural Resources, attn: SEPA Center
 Washington State DAHP, attn: Gretchen Kaehler
 Puyallup Tribe of Indians Historic Preservation, attn: Judy Wright
 Puyallup Tribe Cultural Resources, attn: Brandon Reynon/Jeffrey Thomas
 PenMet Parks, attn: Elaine Sorenson
 Pierce County Fire District Number 5, attn: Eric Watson/Eric Waters
 Suquamish Tribe, attn: Dennis Lewarch
 Peninsula School District, attn: Vicki Smith
 Pierce County Planning and Land Services
 Washington State Department of Transportation, attn: Dale Severson / SEPA Reviews
 Squaxin Island Tribe, attn: Rhonda Foster
 Muckleshoot Tribe, attn: Laura Murphy
 Washington Department of Corrections, attn: Eric Heinitz
 Puget Sound Partnership, attn: Marsha Engel
 Nisqually Indian Tribe, Brad Beach, THPO

Other Parties: **Applicant/Owner/Agent (NOA, **NOPH**, NOPM, SEPA, NOD) MDNS)**
1st Class Mail DRB (NOA for Non-residential, Multi-family, Subdivisions, Public Projects)
 Parks Commission via Terri Reed (NOA)
 Property Owners within 300 feet of site: attached list (NOA, SEPA, **NOPH,
NOPM, NOD for Type II permits only)**
 **Parties of Record: attached list (NOPH, NOPM, NOD) Brad Beach, Nisqually
Tribe, Dept of Ecology SW Regional Office, Puyallup Tribe of Indians, Jennifer
Keating, Squaxin Island Tribe, Shaun Dinubilo**
 Pierce County (NOA for Plats adjacent to City Limits)
 Pierce County Assessor-Treasurer (**NOD**)
 WA Transportation Secretary (NOA for Plats adj. to State ROW, or within 2
miles of Airport—approximately any plats south of Pioneer/Wollochet

interchange)

TACOMA NEWS TRIBUNE



"THE MARITIME CITY"

COMMUNITY DEVELOPMENT
PLANNING DIVISION

CITY OF GIG HARBOR



NOTICE OF PUBLIC HEARING

X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES Type III

Permit Number(s): PL-SDP-22-0001, PL-SPR-22-0002, PL-NCR-22-0001,
PL-DR-22-0006, PL-FLOOD-22-0001, PL-SEPA-22-0005

Date of Notice: January 23, 2024

Applicant: X2P Boat Barn LLC., P.O. Box 2116, Tacoma, WA 98401

Agent: Carl Halsan, P.O. Box 1447, Gig Harbor, WA 98335

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Parcel - 0221081058

Project Description: The proposal includes improvements to the site to include: Parking lot regrading to accommodate an ADA compliant parking stall, loading and unloading area, and associated parking and surface water management improvements Also, a reconfiguration of the existing floats within the marina to accommodate larger yacht moorage.

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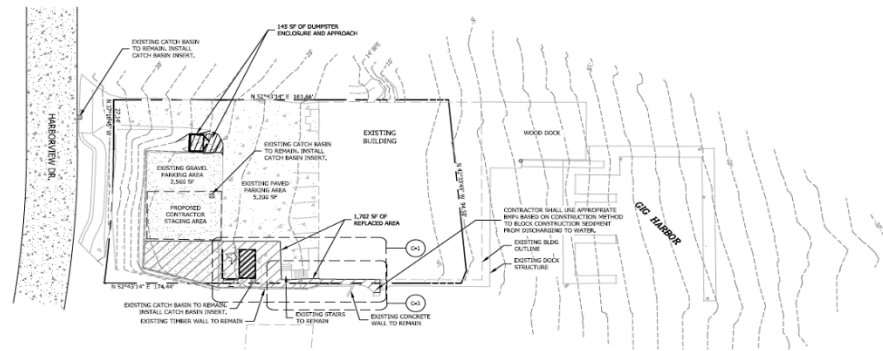
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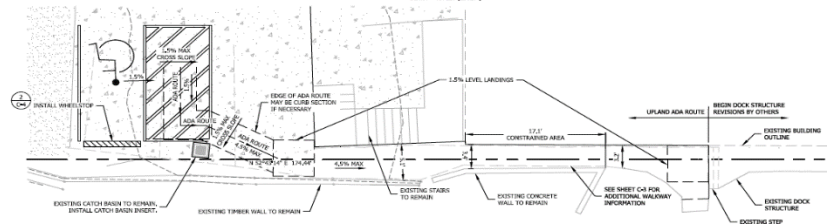
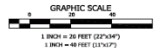
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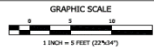
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PROPOSED SITE PLAN



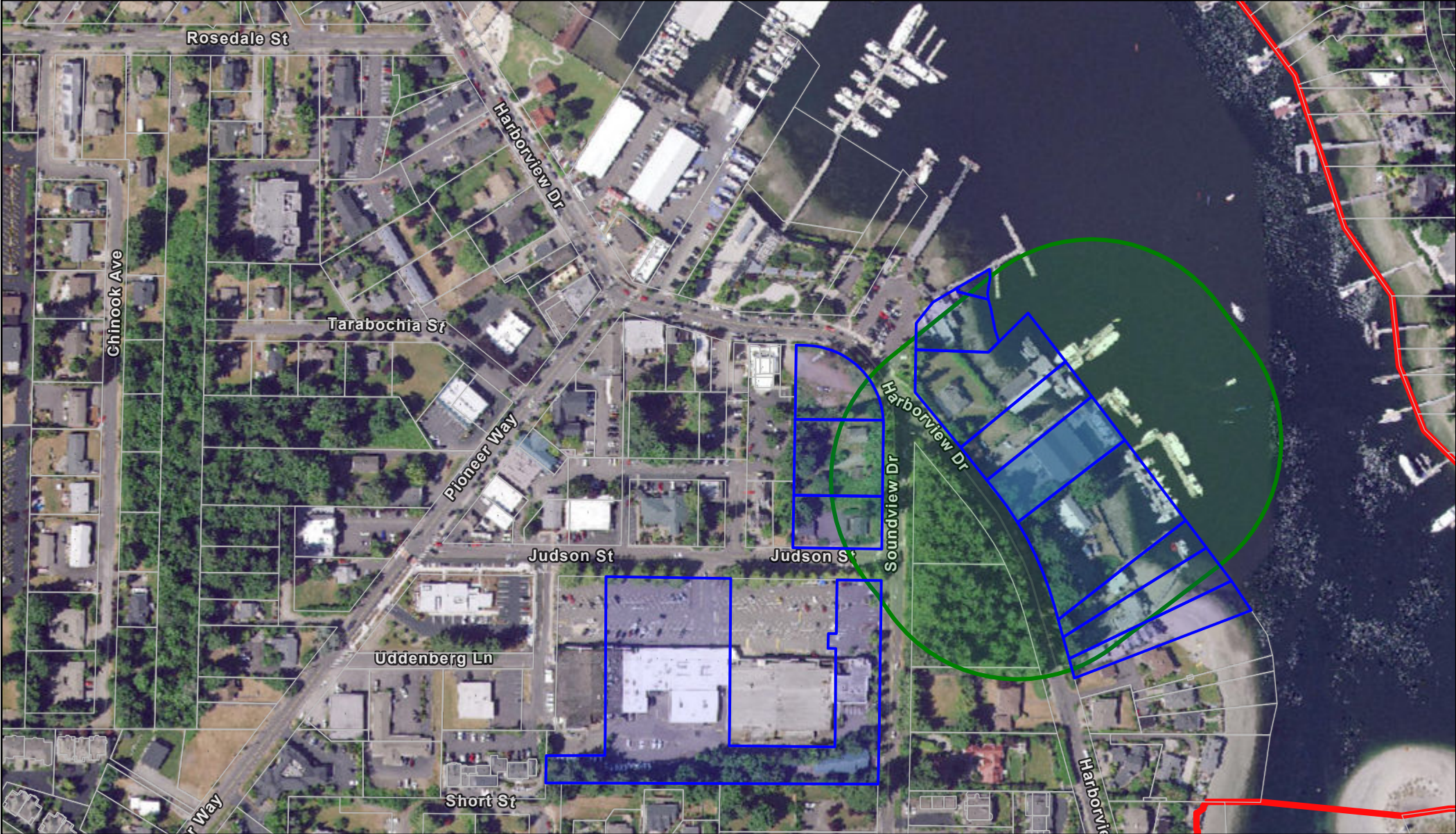
WALKWAY PLAN



	Address Mail_Stop	City State ZipCode
Current Resident at	2911 HARBORVIEW DR	Gig Harbor, WA 98335
Current Resident at	3003 JUDSON ST	Gig Harbor, WA 98335
Current Resident at	2905 HARBORVIEW DR	Gig Harbor, WA 98335
Current Resident at	2913 HARBORVIEW DR	Gig Harbor, WA 98335
Current Resident at	2888 HARBORVIEW DR	Gig Harbor, WA 98335
Current Resident at	2915 HARBORVIEW DR	Gig Harbor, WA 98335
Current Resident at	2829 HARBORVIEW DR	Gig Harbor, WA 98335
Current Resident at	7718 SOUNDVIEW DR	Gig Harbor, WA 98335
Current Resident at	2907 HARBORVIEW DR	Gig Harbor, WA 98335
Current Resident at	2901 HARBORVIEW DR	Gig Harbor, WA 98335

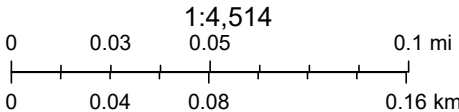
TaxParcelNumber	TaxpayerName	Delivery_Address	City_State Zipcode
Parcel: 0221082204	3110 JUDSON STREET LLC & KVPP PSC LLC	6622 WOLLOCHET DR	GIG HARBOR, WA 98335-8325
Parcel: 0221081189	BABICH-BAILEY NET SHED LLC	3723 MOOSE TRAIL	GIG HARBOR, WA 98335
Parcel: 0221082062	SAND DOLLAR HOLDINGS LLC	PO BOX 287	VAUGHN, WA 98394-0090
Parcel: 0221081116	GARNAN PROPERTIES LLC	2130 MAIN ST STE 255	HUNTINGTON BEACH, CA 92648-7451
Parcel: 0221081190	HARBOR POINT HOLDINGS LLC	PO BOX 156	GIG HARBOR, WA 98335-0156
Parcel: 0221081074	SAND DOLLAR HOLDINGS LLC	PO BOX 287	VAUGHN, WA 98394
Parcel: 0221081121	SAMI'S HOUSE LLC	5726 34TH AVE NE	SEATTLE, WA 98105
Parcel: 0221081076	CHATMAN STEVEN L & ANNE M	2829 HARBORVIEW DR	GIG HARBOR, WA 98335-1908
Parcel: 0221082090	TARABOCHIA DOMINICK J JR	8021 SHIRLEY AVE	GIG HARBOR, WA 98332-1847
Parcel: 0221081138	HORSEHEAD INVESTMENTS LLC	10809 32ND STREET CT NW	GIG HARBOR, WA 98335-5872
Parcel: 2115000020	3004 HARBORVIEW DRIVE LLC	5246 OLYMPIC DR	GIG HARBOR, WA 98335-1723
Parcel: 0221081058	X2 BOAT BARN LLC	PO BOX 2116	TACOMA, WA 98401
Parcel: 2115000030	7718 SOUNDVIEW DR LLC	5246 OLYMPIC DR	GIG HARBOR, WA 98335

Project Web Map



1/12/2024, 12:32:27 PM

 Parcel Boundary



Esri Community Maps Contributors, WA State Parks GIS, © OpenStreetMap, Microsoft, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/ NASA, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USDA, USFWS, Maxar

City of Gig Harbor

The map features are approximate. All data is provided "as-is" and "with all faults." The City assumes no liability for variations ascertained by actual survey.



"THE MARITIME CITY"

COMMUNITY DEVELOPMENT
PLANNING DIVISION

CITY OF GIG HARBOR

NOTICE OF APPLICATION

April 13, 2022

**X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES
Type III Permit**

Permit Number(s): PL-SPR-22-0002, PL-DR-22-0006, PL-FLOOD-22-0001, PL-NCR-22-0001, PL-SDP-22-0001, PL-SEPA-22-0005

Date Application was Submitted: March 22, 2022,

Date of Notice of Complete Application: March 31, 2022,

Name of Applicant: X2P Boat Barn LLC., P.O. Box 2116, Tacoma, WA 98401

Name of Agent: Carl Halsan, P.O. Box 1447, Gig Harbor, WA 98335

Project Location: 2907 Harborview Dr., site is located on the east side of Harborview Dr., approximately 250 feet from the intersection of Soundview and Harborview Dr., Sec 08, Tw 21, R 02, QTR 12. Parcel - 0221081058

Description of Proposed Project: The proposal includes improvements to the site to include: Parking lot regrading to accommodate an ADA compliant parking stall, loading and unloading area, and associated parking and surface water management improvements Also, a reconfiguration of the existing floats within the marina to accommodate larger yacht moorage.

Project Permits Included with Application: Site Plan Review, Design Review, Flood Hazard Permit, Nonconforming Review, Shoreline Substantial Development Permit and SEPA Review.

Further Studies Being Required by Applicable Official: None at this time.

Other Required Permits Not Included in Application: Building Permit Review

Existing Environmental Documents which Evaluate Proposed Project:

SEPA Environmental Checklist, prepared by Carl Halsan, dated April 27, 2021; Shoreline, Wetland and Fish and Wildlife Habitat Assessment, and No Net Loss Analysis, prepared by Soundview Consultants, dated January 24, 2022; JARPA, prepared by Carl Halsan, dated January 28, 2022; Preliminary Storm Drainage Report, prepared by GeoResources, LLC., dated December 8, 2021

Tentative Public Meeting or Public Hearing Date: A hearing date has not been scheduled for this application.

Documents pertinent to this application are available for review and inspection at the City of Gig Harbor Planning Division, 3510 Grandview Street, Gig Harbor, WA 98335, during normal business hours, Monday through Friday or anytime thru the [Permit Portal](#). An open public hearing will be held on this project, at this time the hearing has not been scheduled. A copy of the staff report on this project proposal will be available seven days prior to the public hearing.

Interested persons may comment on the above stated application or may request any notice of public hearing or a copy of the decision on this application or participate in any public hearings. Requests for notification or written comments must be submitted to the Planning Division by no later than May 13, 2022. All public comments or requests must be received at the Planning Division by no later than 5:00pm on the last date of the comment period.

Questions regarding the above stated application should be made to Carl de Simas Principal Planner at cdesimas@gigharborwa.gov, City of Gig Harbor Planning Division, 3510 Grandview St., Gig Harbor, WA 98335, or by calling (253)851-6170. Additional permit information can also be found at www.cityofgigharbor.net by clicking "[Permit Portal](#)" and entering the above permit numbers in "My Portal".

**City of Gig Harbor
Transmittal Form**

Routing for: NOA SEPA NOPH NOPM NOD Notice Date: MARCH 13, 2022
Project: X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES

PL-SPR-22-0002, PL-DR-22-0006, PL-FLOOD-22-0001, PL-NCR-22-0001, PL-SDP-22-0001 AND PL-SEPA-22-0005

Planner: CARL de SIMAS

Routed to: Public Works–Operations Building and Fire Safety
City Depts. Public Works–Engineering Other _____

SEPA Agencies: Washington Department of Ecology, SEPA Register
(NOA, SEPA) Washington Department of Commerce, attn: Review Team
Electronic Mail Pierce Transit Land Use Review, attn: Kelly Haden, Monica Adams
 Washington State Department of Fish & Wildlife, attn: SEPA Desk
 Washington State Department of Natural Resources, attn: SEPA Center
 Washington State DAHP, attn: Gretchen Kaehler
 Puyallup Tribe of Indians Historic Preservation, attn: Judy Wright
 Puyallup Tribe Cultural Resources, attn: Brandon Reynon/Jeffrey Thomas
 PenMet Parks, attn: Elaine Sorenson
 Pierce County Fire District Number 5, attn: Eric Watson/Eric Waters
 Suquamish Tribe, attn: Dennis Lewarch
 Peninsula School District, attn: Vicki Smith
 Pierce County Planning and Land Services
 Washington State Department of Transportation, attn: Dale Severson / SEPA Reviews
 Squaxin Island Tribe, attn: Rhonda Foster
 Muckleshoot Tribe, attn: Laura Murphy
 Washington Department of Corrections, attn: Eric Heinitz
 Puget Sound Partnership, attn: Marsha Engel

Other Parties: **Applicant/Owner/Agent (NOA, NOPH, NOPM, SEPA, NOD) MDNS)**
1st Class Mail DRB (NOA for Non-residential, Multi-family, Subdivisions, Public Projects)
 Parks Commission via Terri Reed (NOA)
 Property Owners within 300 feet of site: attached list (NOA, SEPA, NOPH, NOPM, NOD for Type II permits only)
 Parties of Record: attached list (NOPH, NOPM, NOD)
 Pierce County (NOA for Plats adjacent to City Limits)
 Pierce County Assessor-Treasurer (NOD)
 WA Transportation Secretary (NOA for Plats adj. to State ROW, or within 2 miles of Airport—approximately any plats south of Pioneer/Wollochet

interchange)

TACOMA NEWS TRIBUNE

CERTIFICATION OF PUBLIC NOTICE

DECLARATION OF PUBLISHING

I, Cindy Andrews declare under penalty of perjury under the laws of the State of Washington and the United States of America that the foregoing is true and correct to the best of my knowledge:

On APRIL 4, 2022, 2022 I sent a true and correct copy of the **NOTICE OF APPLICAITON** for publication in the **April 13, 2022** edition of the Tacoma News Tribune for the following:

Project Name: **X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES**

Project Location: **2907 Harborview Dr.**

Permit Number(s): **PL-SPR-22-0002, PL-DR-22-0006, PL-FLOOD-22-0001, PL-NCR-22-0001, PL-SDP-22-0001 AND PL-SEPA-22-0005**

SIGNED at Gig Harbor, Washington, this 4th day April 2022



DECLARANT (signature)



"THE MARITIME CITY"

COMMUNITY DEVELOPMENT
PLANNING DIVISION

CITY OF GIG HARBOR

NOTICE OF APPLICATION

April 13, 2022

**X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES
Type III Permit**

Permit Number(s): PL-SPR-22-0002, PL-DR-22-0006, PL-FLOOD-22-0001, PL-NCR-22-0001, PL-SDP-22-0001, PL-SEPA-22-0005

Date Application was Submitted: March 22, 2022,

Date of Notice of Complete Application: March 31, 2022,

Name of Applicant: X2P Boat Barn LLC., P.O. Box 2116, Tacoma, WA 98401

Name of Agent: Carl Halsan, P.O. Box 1447, Gig Harbor, WA 98335

Project Location: 2907 Harborview Dr., site is located on the east side of Harborview Dr., approximately 250 feet from the intersection of Soundview and Harborview Dr., Sec 08, Tw 21, R 02, QTR 12. Parcel - 0221081058

Description of Proposed Project: The proposal includes improvements to the site to include: Parking lot regrading to accommodate an ADA compliant parking stall, loading and unloading area, and associated parking and surface water management improvements Also, a reconfiguration of the existing floats within the marina to accommodate larger yacht moorage.

Project Permits Included with Application: Site Plan Review, Design Review, Flood Hazard Permit, Nonconforming Review, Shoreline Substantial Development Permit and SEPA Review.

Further Studies Being Required by Applicable Official: None at this time.

Other Required Permits Not Included in Application: Building Permit Review

Existing Environmental Documents which Evaluate Proposed Project:

SEPA Environmental Checklist, prepared by Carl Halsan, dated April 27, 2021; Shoreline, Wetland and Fish and Wildlife Habitat Assessment, and No Net Loss Analysis, prepared by Soundview Consultants, dated January 24, 2022; JARPA, prepared by Carl Halsan, dated January 28, 2022; Preliminary Storm Drainage Report, prepared by GeoResources, LLC., dated December 8, 2021

Tentative Public Meeting or Public Hearing Date: A hearing date has not been scheduled for this application.

Documents pertinent to this application are available for review and inspection at the City of Gig Harbor Planning Division, 3510 Grandview Street, Gig Harbor, WA 98335, during normal business hours, Monday through Friday or anytime thru the [Permit Portal](#). An open public hearing will be held on this project, at this time the hearing has not been scheduled. A copy of the staff report on this project proposal will be available seven days prior to the public hearing.

Interested persons may comment on the above stated application or may request any notice of public hearing or a copy of the decision on this application or participate in any public hearings. Requests for notification or written comments must be submitted to the Planning Division by no later than May 13, 2022. All public comments or requests must be received at the Planning Division by no later than 5:00pm on the last date of the comment period.

Questions regarding the above stated application should be made to Carl de Simas Principal Planner at cdesimas@gigharborwa.gov, City of Gig Harbor Planning Division, 3510 Grandview St., Gig Harbor, WA 98335, or by calling (253)851-6170. Additional permit information can also be found at www.cityofgigharbor.net by clicking "[Permit Portal](#)" and entering the above permit numbers in "My Portal".

THANK YOU for your legal submission!

Your legal has been submitted for publication. Below is a confirmation of your legal placement. You will also receive an email confirmation.

ORDER DETAILS**Order Number:**

IPL0067584

Order Status:

Submitted

Classification:

Legals & Public Notices

Package:

TAC - Legal Ads

Final Cost:

129.32

Payment Type:

Account Billed

User ID:

IPL0021041

ACCOUNT INFORMATION

CITY OF GIG HARBOR IP
3510 GRANDVIEW ST
GIG HARBOR, WA 98335-1214
253-851-8136
noemail@noemail.com
CITY OF GIG HARBOR

TRANSACTION REPORT**Date**

April 4, 2022 1:32:18 PM EDT

Amount:

129.32

SCHEDULE FOR AD NUMBER IPL00675840

April 13, 2022
The News Tribune (Tacoma)

PREVIEW FOR AD NUMBER IPL00675840**CITY OF GIG HARBOR
NOTICE OF APPLICATION****April 13, 2022****X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES
Type III Permit**

Permit Number(s): PL-SPR-22-0002, PL-DR-22-0006, PL-FLOOD-22-0001, PL-NCR-22-0001, PL-SDP-22-0001, PL-SEPA-22-0005

Date Application was Submitted: March 22, 2022,

Date of Notice of Complete Application: March 31, 2022,

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Project Permits Included with Application: Site Plan Review, Design Review, Flood Hazard Permit, Nonconforming Review, Shoreline Substantial Development Permit and SEPA Review.

Further Studies Being Required by Applicable Official: None at this time.

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W00000000

Publication Dates

[<< Click here to print a printer friendly version >>](#)

CERTIFICATION OF PUBLIC NOTICE

=====

DECLARATION OF POSTING

I, CARL HALSAN (printed name), declare under penalty of perjury under the laws of the State of Washington and the United States of America that the foregoing is true and correct to the best of my knowledge:

On APRIL 8TH, 2022 I caused to be posted the notice board provided by the City for the Notice of Application on the following:

Project Name: X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES

Project Location: 2907 HARBORVIEW DR

Permit Number(s): PL-SPR-22-0002, PL- DR-22-0006 ,PL-FLOOD-22-0001, PL-NCR-22-0001, PL-SDP-22-0001, PL-SEPA-22-0005

at the locations indicated below meeting the requirements of GHMC 19.03.001(A).

- ON CHAIN LINK FENCE ALONG
- HARBORVIEW DRIVE FRONTAGE

SIGNED at Gig Harbor, Washington, this 8TH day of APRIL, 2022.



DECLARANT (signature)


NOTICE OF APPLICATION FOR STORAGE & ACCESSIBILITY UPGRADES

PROPERTY INFORMATION: ZIP BOAT BARN STORAGE & ACCESSIBILITY UPGRADES
The proposed facility improvements to this site include: Parking lot expansion to accommodate an ADA compliant parking lot, loading and unloading area, and additional parking and surface water management improvements. Also, a reconfiguration of the existing Boat storage area to accommodate larger water storage.

FOR MORE INFORMATION:
DWT Harrisonville, VA - 8231044000

PROJECT LOCATION:
FL-SPR-22-000, FL-400-23-000, FL-33000-22-000, FL-NCR-22-000, FL-SOP-22-001, FL-SEP-22-000

DATE OF PERIOD:
Comment Period Ends May 13, 2022 5:00 P.M.

 Additional project information can be found at www.dwt.com or by contacting DWT at (253) 851-6170

SEPA ENVIRONMENTAL CHECKLIST**EXHIBIT G*****Purpose of checklist:***

Governmental agencies use this checklist to help determine whether the environmental impacts of your proposal are significant. This information is also helpful to determine if available avoidance, minimization or compensatory mitigation measures will address the probable significant impacts or if an environmental impact statement will be prepared to further analyze the proposal.

Instructions for applicants:

This environmental checklist asks you to describe some basic information about your proposal. Please answer each question accurately and carefully, to the best of your knowledge. You may need to consult with an agency specialist or private consultant for some questions. You may use "not applicable" or "does not apply" only when you can explain why it does not apply and not when the answer is unknown. You may also attach or incorporate by reference additional studies reports. Complete and accurate answers to these questions often avoid delays with the SEPA process as well as later in the decision-making process.

The checklist questions apply to all parts of your proposal, even if you plan to do them over a period of time or on different parcels of land. Attach any additional information that will help describe your proposal or its environmental effects. The agency to which you submit this checklist may ask you to explain your answers or provide additional information reasonably related to determining if there may be significant adverse impact.

Instructions for Lead Agencies:

Please adjust the format of this template as needed. Additional information may be necessary to evaluate the existing environment, all interrelated aspects of the proposal and an analysis of adverse impacts. The checklist is considered the first but not necessarily the only source of information needed to make an adequate threshold determination. Once a threshold determination is made, the lead agency is responsible for the completeness and accuracy of the checklist and other supporting documents.

Use of checklist for nonproject proposals:

For nonproject proposals (such as ordinances, regulations, plans and programs), complete the applicable parts of sections A and B plus the [SUPPLEMENTAL SHEET FOR NONPROJECT ACTIONS \(part D\)](#). Please completely answer all questions that apply and note that the words "project," "applicant," and "property or site" should be read as "proposal," "proponent," and "affected geographic area," respectively. The lead agency may exclude (for non-projects) questions in Part B - Environmental Elements –that do not contribute meaningfully to the analysis of the proposal.

A. Background

1. Name of proposed project, if applicable: **Boat Barn Moorage & Accessibility Upgrades**
2. Name of applicant: **X2P Capital LLC**
3. Address and phone number of applicant and contact person: **PO Box 2116 Tacoma, WA 98401 – Carl E. Halsan (253) 307-1922**

4. Date checklist prepared: **April 27, 2021** **Amended October 14, 2022**
5. Agency requesting checklist: **Gig Harbor**
6. Proposed timing or schedule (including phasing, if applicable): **Construction to commence in the Summer of 2022**
7. Do you have any plans for future additions, expansion, or further activity related to or connected with this proposal? **No**
8. List any environmental information you know about that has been prepared, or will be prepared, directly related to this proposal. **Biological Reports**
9. Do you know whether applications are pending for governmental approvals of other proposals directly affecting the property covered by your proposal? **None**
10. List any government approvals or permits that will be needed for your proposal. **SEPA, Design Review, SPR, Critical Area, Nonconforming, Shoreline Permits, Civil Permit, Floodplain Development Permit, and Building Permit**
11. Give brief, complete description of your proposal, including the proposed uses and the size of the project and site. **Regrade the southeastern portion of the parking lot to accommodate an ADA parking stall, unloading area, and route of travel along south side of building deck; reconfigure the existing floats to accommodate larger yacht moorage. New floats will begin waterward of inner harbor line, and extend to the outer harbor line.**
12. Location of the proposal. **2907 Harborview Drive**

B. ENVIRONMENTAL ELEMENTS

1. Earth

- a. General description of the site: **Sloping**
- b. What is the steepest slope on the site? **25%**
- c. What general types of soils are found on the site? **SAND, GRAVEL, & GRAVEL**
- d. Are there surface indications or history of unstable soils in the immediate vicinity? **NO**
- e. Describe the purpose, type, total area, and approximate quantities and total affected area of any filling, excavation, and grading proposed. **None**
- f. Could erosion occur as a result of clearing, construction, or use? **YES, SOME SURFACE EROSION COULD OCCUR DURING EXCAVATION.**

- g. About what percent of the site will be covered with impervious surfaces after project construction? **ABOUT 60%**
- h. Proposed measures to reduce or control erosion, or other impacts to the earth. **BMP C208: Triangular Silt Dike (TSD) will be used on the downslope sides of exposed areas. Plastic covering per BMP C123 will be used on exposed soils during periods of rainfall. Catch basins within the site vicinity will be fitted with an insert to prevent silt/sediments from entering the system during construction.**
- i.

2. Air

- a. What types of emissions to the air would result from the proposal during construction, operation, and maintenance when the project is completed? **SOME DUST MAY BE CREATED DURING EXCAVATION**
- b. Are there any off-site sources of emissions or odor that may affect your proposal? **NO**
- c. Proposed measures to reduce or control emissions or other impacts to air. **NONE**

3. Water

- a. Surface Water:
- 1) Is there any surface water body on or in the immediate vicinity of the site? **Gig Harbor Bay**
 - 2) Will the project require any work over, in, or adjacent to (within 200 feet) the described waters? **YES; SEE PLANS**
 - 3) Estimate the amount of fill and dredge material that would be placed in or removed from surface water or wetlands and indicate the area of the site that would be affected. **NONE**
 - 4) Will the proposal require surface water withdrawals or diversions? **NONE**
 - 5) Does the proposal lie within a 100-year floodplain? **Yes**
 - 6) Does the proposal involve any discharges of waste materials to surface waters? **NO**
- b. Ground Water:
- 1) Will groundwater be withdrawn from a well for drinking water or other purposes? **NO**
 - 2) Describe waste material that will be discharged into the ground from septic tanks or other sources. **N/A**

c. Water runoff (including stormwater):

- 1) Describe the source of runoff (including storm water) and method of collection and disposal, if any (include quantities, if known). Where will this water flow? Will this water flow into other waters? **Stormwater runoff from the site area currently is collected in two catch basins and conveyed to Gig Harbor bay. The existing stormwater system will not be altered.**

- 2) Could waste materials enter ground or surface waters? **This is a small commercial project. It is expected that there will be limited opportunity for construction pollution to be present on site. Contractors will be required to follow standard procedures concerning site cleanup, material storage, and should consist of, but not be limited to; S.2: Dispose of collected runoff and waste materials properly, S.5: Cover the activity with anchored tarpaulin or plastic, S.6: Pave the activity area and slope to a sump or holding tank, S.7: Surround the activity area with a curb, berm, or dike, or elevate the activity, and S.9: cleaning catch basins per the 2015 PCSWMSDM, Section 5.2. Also provide secondary containment for larger fuel tanks and keep spill blankets onsite.**

- 3) Does the proposal alter or affect drainage patterns in the vicinity of the site? **The project only proposes 145 square feet of additional impervious surface and the replacement of 1,702 square feet. Flow rates will be maintained through the existing permanent drainage system and the erosion control measures noted on the plan sheets.**

d. Proposed measures to reduce or control surface, ground, and runoff water, and drainage pattern impacts. **NONE NEEDED**

4. **Plants**

a. Check the types of vegetation found on the site:

- deciduous tree: **alder, maple**, aspen, other
- evergreen tree: **fir**, cedar, pine, other
- shrubs
- grass
- pasture

b. What kind and amount of vegetation will be removed or altered? **None**

c. List threatened and endangered species known to be on or near the site. **None**

d. Proposed landscaping, use of native plants, or other measures to preserve or enhance vegetation on the site, if any: **None**

e. List all noxious weeds and invasive species known to be on or near the site. **None**

5. **Animals**

- a. List any birds and other animals which have been observed on or near the site or are known to be on or near the site.

Examples include:

birds: **hawk, heron, eagle, songbirds**, other:
mammals: deer, bear, elk, beaver, other:
fish: bass, **salmon**, trout, **herring, shellfish**, other _____

- b. List any threatened and endangered species known to be on or near the site. **Chinnok Salmon. In addition, WDFW PHS maps identify surf smelt and Great Blue Herron in the vicinity of the site.**
- c. Is the site part of a migration route? **Yes, for native and hatchery salmonids.**
- d. Proposed measures to preserve or enhance wildlife, if any: **Changing solid surface floats to grated; working during allowed work windows; moving floats waterward; addition of catch basin inserts**
- e. List any invasive animal species known to be on or near the site. **NONE**

6. **Energy and Natural Resources**

- a. What kinds of energy (electric, natural gas, oil, wood stove, solar) will be used to meet the completed project's energy needs? Describe whether it will be used for heating, manufacturing, etc. **ELECTRICITY & NATURAL GAS**
- b. Would your project affect the potential use of solar energy by adjacent properties? If so, generally describe. **NO**
- c. What kinds of energy conservation features are included in the plans of this proposal? List other proposed measures to reduce or control energy impacts, if any: **NONE**

7. **Environmental Health**

- a. Are there any environmental health hazards, including exposure to toxic chemicals, risk of fire and explosion, spill, or hazardous waste, that could occur as a result of this proposal? If so, describe. **NO**
- 1) Describe known or possible contamination at the site from present or past uses.
Some possible contamination from the Asarco Plume

- 2) Describe existing hazardous chemicals/conditions that might affect project development and design. This includes underground hazardous liquid and gas transmission pipelines located within the project area and in the vicinity. **NONE**
- 3) Describe any toxic or hazardous chemicals that might be stored, used, or produced during the project's development or construction, or at any time during the operating life of the project. **NONE**
- 4) Describe special emergency services that might be required. **NONE**
- 5) Proposed measures to reduce or control environmental health hazards. **NONE**

b. Noise

- 1) What types of noise exist in the area which may affect your project. **NONE**
- 2) What types and levels of noise would be created by or associated with the project on a short-term or a long-term basis. **CONSTRUCTION NOISE; SHORT TERM AND ONLY IN COMPLIANCE WITH TPCHD STANDARDS.**
- 3) Proposed measures to reduce or control noise impacts. **NONE**

8. Land and Shoreline Use

- a. What is the current use of the site and adjacent properties? Will the proposal affect current land uses on nearby or adjacent properties? **The site currently is developed with a single commercial building, associated parking lot, and dock. The properties to the north and south are developed with non-residential uses. As designed, the proposal will not affect current adjacent land uses.**
- b. Has the project site been used as working farmlands or working forest lands? **NO**
 - 1) Will the proposal affect or be affected by surrounding working farm or forest land normal business operations, such as oversize equipment access, the application of pesticides, tilling, and harvesting? **NO**
- c. Describe any structures on the site. **7,840 square foot commercial building, bulkhead, decks, and a dock**
- d. Will any structures be demolished? **No**
- e. What is the current zoning classification of the site? **Waterfront Commercial**
- f. What is the current comprehensive plan designation of the site? **Waterfront**

- g. If applicable, what is the current shoreline master program designation of the site? **City Waterfront**
- h. Has any part of the site been classified as a critical area by the city or county? **Yes. Due to the presence of ESA listed species, the privately owned and leased aquatic lands that comprise the portion of the site locates waterward of the OHWM are designated Critical Fish & Wildlife Habitat pursuant to GHSMP subsection 6.2.5.23**
- i. Approximately how many people would reside or work in the completed project? **20**
- j. Approximately how many people would the completed project displace? **None**
- k. Proposed measures to avoid or reduce displacement impacts. **None**
- l. Proposed measures to ensure the proposal is compatible with existing and projected land uses and plans. **Project has been designed to conform with City Zoning, Shoreline Regulations, and the Design Manual**
- m. Proposed measures to ensure the proposal is compatible with nearby agricultural and forest lands of long-term commercial significance. **NONE ARE NEEDED**

9. Housing

- a. Approximately how many units would be provided, if any? Indicate whether high, middle, or low-income housing. **N/A**
- b. Approximately how many units, if any, would be eliminated? Indicate whether high, middle, or low-income housing. **N/A**
- c. Proposed measures to reduce or control housing impacts. **NONE ARE NEEDED**

10. Aesthetics

- a. What is the tallest height of any proposed structure(s), not including antennas; what is the principal exterior building material(s) proposed? **N/A**
- b. What views in the immediate vicinity would be altered or obstructed? **NONE**
- c. Proposed measures to reduce or control aesthetic impacts. **NONE NEEDED**

11. Light and Glare

- a. What type of light or glare will the proposal produce? **N/A**
- b. Could light or glare from the finished project be a safety hazard or interfere with views? **NO**
- c. What existing off-site sources of light or glare may affect your proposal? **NONE**

d. Proposed measures to reduce or control light and glare impacts. **N/A**

12. Recreation

- a. What designated and informal recreational opportunities are in the immediate vicinity? **Gig Harbor Bay along the property frontage and the new City Park site across the street (Soundview Park).**
- b. Would the proposed project displace any existing recreational uses? **NO**
- c. Proposed measures to reduce or control impacts on recreation, including recreation opportunities to be provided by the project or applicant. **NONE**

13. Historic and cultural preservation

- a. Are there any buildings, structures, or sites, located on or near the site that are over 45 years old listed in or eligible for listing in national, state, or local preservation registers located on or near the site? **The existing "Boat Barn" building predates the 20th century and is eligible for placement on the City's register of historic places per GHMC 19.97.040**
- b. Are there any landmarks, features, or other evidence of Indian or historic use or occupation? This may include human burials or old cemeteries. Are there any material evidence, artifacts, or areas of cultural importance on or near the site? Please list any professional studies conducted at the site to identify such resources. **NONE ARE KNOWN**
- c. Describe the methods used to assess the potential impacts to cultural and historic resources on or near the project site. **Review of historic literature.**
- d. Proposed measures to avoid, minimize, or compensate for loss, changes to, and disturbance to resources. **NONE**

14. Transportation

- a. Identify public streets and highways serving the site or affected geographic area and describe proposed access to the existing street system. **Harborview Drive**
- b. Is the site or affected geographic area currently served by public transit? **Yes**
- c. How many additional parking spaces would the completed project or non-project proposal have? **30**
- d. Will the proposal require any new or improvements to existing roads, streets, pedestrian, bicycle or state transportation facilities, not including driveways? **NO**
- e. Will the project or proposal use (or occur in the immediate vicinity of) water, rail, or air transportation? **NO**

- f. How many vehicular trips per day would be generated by the completed project? **N/A**
- g. Will the proposal interfere with, affect or be affected by the movement of agricultural and forest products on roads or streets in the area? **NO**
- h. Proposed measures to reduce or control transportation impacts. **None**

15. Public Services

- a. Would the project result in an increased need for public services? **No**
- b. Proposed measures to reduce or control direct impacts on public services. **PAYMENT OF IMPACT FEES**

16. Utilities

- a. Circle utilities currently available at the site:
electricity, natural gas, water, refuse service, telephone, sanitary sewer, septic system,
other _____
- b. Describe the utilities that are proposed for the project, the utility providing the service, and the general construction activities on the site or in the immediate vicinity which might be needed. **PENINSULA LIGHT, PUGET SOUND ENERGY, CITY SEWER AND WATER, AMERICAN DISPOSAL, CENTURYLINK**

C. Signature

The above answers are true and complete to the best of my knowledge. I understand that the lead agency is relying on them to make its decision.

Signature: _____

Name of signee **CARL E. HALSAN**

Position and Agency/Organization **Agent**

Date Submitted: **10-19-22**



WASHINGTON STATE
Joint Aquatic Resources Permit
Application (JARPA) Form^{1,2}



AGENCY USE ONLY

Date received: _____

Agency reference #: _____

Tax Parcel #(s): _____

USE BLACK OR BLUE INK TO ENTER ANSWERS IN THE WHITE SPACES BELOW.

Part 1–Project Identification

1. Project Name (A name for your project that you create. Examples: Smith’s Dock or Seabrook Lane Development)

Boat Barn moorage and accessibility upgrades

Part 2–Applicant

The person and/or organization responsible for the project.

2a. Name (Last, First, Middle)			
Xitco, Luke			
2b. Organization (If applicable)			
X2P Capital LLC			
2c. Mailing Address (Street or PO Box)			
PO Box 2116			
2d. City, State, Zip			
Tacoma, WA 98401			
2e. Phone (1)	2f. Phone (2)	2g. Fax	2h. E-mail
(253) 606-2371			luke@x2pcapital.com

¹Additional forms may be required for the following permits:

- If your project may qualify for Department of the Army authorization through a Regional General Permit (RGP), contact the U.S. Army Corps of Engineers for application information (206) 764-3495.
- Not all cities and counties accept the JARPA for their local Shoreline permits. If you need a Shoreline permit, contact the appropriate city or county government to make sure they accept the JARPA.

²To access an online JARPA form with [help] screens, go to

http://www.epermitting.wa.gov/site/alias_resourcecenter/jarpa_jarpa_form/9984/jarpa_form.aspx.

For other help, contact the Governor’s Office for Regulatory Innovation and Assistance at (800) 917-0043 or help@oria.wa.gov.

Part 3—Authorized Agent or Contact

Person authorized to represent the applicant about the project. (Note: Authorized agent(s) must sign 11b of this application.)

3a. Name (Last, First, Middle)			
Halsan, Carl E.			
3b. Organization (If applicable)			
3c. Mailing Address (Street or PO Box)			
PO Box 1447			
3d. City, State, Zip			
Gig Harbor, WA 98335			
3e. Phone (1)	3f. Phone (2)	3g. Fax	3h. E-mail
(253) 307-1922			carlhalsan@gmail.com

Part 4—Property Owner(s)

Contact information for people or organizations owning the property(ies) where the project will occur. Consider both **upland and aquatic** ownership because the upland owners may not own the adjacent aquatic land.

- Same as applicant. (Skip to Part 5.)
- Repair or maintenance activities on existing rights-of-way or easements. (Skip to Part 5.)
- There are multiple upland property owners. Complete the section below and fill out [JARPA Attachment A](#) for each additional property owner.
- Your project is on Department of Natural Resources (DNR)-managed aquatic lands. If you don't know, contact the DNR at (360) 902-1100 to determine aquatic land ownership. If yes, complete [JARPA Attachment E](#) to apply for the Aquatic Use Authorization.

4a. Name (Last, First, Middle)			
4b. Organization (If applicable)			
4c. Mailing Address (Street or PO Box)			
4d. City, State, Zip			
4e. Phone (1)	4f. Phone (2)	4g. Fax	4h. E-mail

Part 5–Project Location(s)

Identifying information about the property or properties where the project will occur.

- There are multiple project locations (e.g. linear projects). Complete the section below and use [JARPA Attachment B](#) for each additional project location.

5a. Indicate the type of ownership of the property. (Check all that apply.)			
<input checked="" type="checkbox"/> Private <input type="checkbox"/> Federal <input type="checkbox"/> Publicly owned (state, county, city, special districts like schools, ports, etc.) <input type="checkbox"/> Tribal <input checked="" type="checkbox"/> Department of Natural Resources (DNR) – managed aquatic lands (Complete JARPA Attachment E)			
5b. Street Address (Cannot be a PO Box. If there is no address, provide other location information in 5p.)			
2907 Harborview Drive			
5c. City, State, Zip (If the project is not in a city or town, provide the name of the nearest city or town.)			
Gig Harbor, WA 98335			
5d. County			
Pierce			
5e. Provide the section, township, and range for the project location.			
¼ Section	Section	Township	Range
NE	8	21N	2E
5f. Provide the latitude and longitude of the project location.			
<ul style="list-style-type: none"> • Example: 47.03922 N lat. / -122.89142 W long. (Use decimal degrees - NAD 83) 			
47.328463N - 122.577684W			
5g. List the tax parcel number(s) for the project location.			
02-21-08-1058			
5h. Contact information for all adjoining property owners. (If you need more space, use JARPA Attachment C)			
Name	Mailing Address	Tax Parcel # (if known)	
Babich – Bailey Net Shed LLC	3723 Moose Trail	02-21-08-1189	
	Gig Harbor, WA 98335		
Horsehead Investments LLC	10809 32 nd Street Court	02--21-08-1138	
	Gig Harbor, WA 98335		

5i. List all wetlands on or adjacent to the project location. [help]
None
5j. List all waterbodies (other than wetlands) on or adjacent to the project location. [help]
Gig Harbor Bay
5k. Is any part of the project area within a 100-year floodplain? [help]
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Don't know
5l. Briefly describe the vegetation and habitat conditions on the property. [help]
<p>The subject property is a developed, waterfront, commercial parcel with a commercial building, parking, marina, and associated infrastructure. There are small wooded areas along the western and southern property boundaries, which includes primarily Douglas fir (<i>Pseudotsuga menziesii</i>), with isolated specimens of red alder (<i>Alnus rubra</i>), big leaf maple (<i>Acer macrophyllum</i>) and Pacific madrone (<i>Arbutus menziesii</i>). Ground cover is minimal and consists primarily of mosses.</p> <p>The intertidal area within the subject property contains predominantly silty, hard-packed substrate mixed with fine gravel, relic concrete and metal debris, and marine detritus, over the low sloping beach. Several areas of scour occur in the hardened substrate. The sparse intertidal vegetation consists of predominantly green algae (likely <i>Ulva</i> spp.). No evidence of eelgrass, macro algae, kelp, or any other protected aquatic habitat features were identified. No rooted vascular plants were identified on the beach, and it is largely devoid of any vegetation.</p>
5m. Describe how the property is currently used. [help]
The private property contains an office building and marina. The subject property's shoreline is currently developed with a commercial overwater building, bulkhead, and dock.
5n. Describe how the adjacent properties are currently used. [help]
Parcel #0221081138 to the south contains a restaurant, marina and paved parking area. Parcel #0221081189 to the north is developed with a building, overwater boatshed, marina and gravel parking area.
5o. Describe the structures (above and below ground) on the property, including their purpose(s) and current condition. [help]
The property contains one two-story, single-tenant, commercial building (office and warehouse), a marina, and an associated pedestrian walkway from the building to the marina. Pierce County Assessor data describes the commercial building as having 3,600 square foot footprint, and being of average condition.
5p. Provide driving directions from the closest highway to the project location, and attach a map. [help]
To access the subject site from the Tacoma area via Washington-16 West, take Exit 10 for Olympic Drive NW. Turn right onto Olympic Drive NW and proceed for 0.4 mile. Continue straight onto Soundview Drive and proceed for 1.3 miles. Turn right onto Harborview Drive, and the subject property will be on the left in 262 feet.

Part 6–Project Description

6a. Briefly summarize the overall project. You can provide more detail in 6b. [\[help\]](#)

Regrade portions of the parking lot to accommodate an ADA compliant parking stall, unloading area, associated parking and surface water management improvements; reconfigure the existing floats to accommodate larger yacht moorage. New floats will begin waterward of inner harbor line and extend to the outer harbor line.

6b. Describe the purpose of the project and why you want or need to perform it. [\[help\]](#)

The Applicant proposes to replace and expand the existing dock floats and perform associated infrastructure upgrades, including the development of American Disabilities Act (ADA)-accessible parking. In order to provide moorage for larger boats, the proposed project will also result in 2,364 square feet of floats, a 666-square-foot increase in float area over the existing 1,698 square feet of floats. A minor increase in elevated overwater structure area will also result from the provision of public shoreline access. Minimization measures for the proposed project include locating the proposed floats further waterward than the existing floats to minimize impacts to shallow nearshore areas and constructing the proposed floats to meet current design standards, including the removal of creosote-treated piles and use of surface grating.

6c. Indicate the project category. (Check all that apply) [\[help\]](#)

- Commercial
 Residential
 Institutional
 Transportation
 Recreational
 Maintenance
 Environmental Enhancement

6d. Indicate the major elements of your project. (Check all that apply) [\[help\]](#)

- | | | | |
|-----------------------------------------------|-------------------------------------------------|------------------------------------------------------|--------------------------------------------------------|
| <input type="checkbox"/> Aquaculture | <input type="checkbox"/> Culvert | <input type="checkbox"/> Float | <input type="checkbox"/> Retaining Wall (upland) |
| <input type="checkbox"/> Bank Stabilization | <input type="checkbox"/> Dam / Weir | <input type="checkbox"/> Floating Home | <input type="checkbox"/> Road |
| <input type="checkbox"/> Boat House | <input type="checkbox"/> Dike / Levee / Jetty | <input type="checkbox"/> Geotechnical Survey | <input type="checkbox"/> Scientific Measurement Device |
| <input type="checkbox"/> Boat Launch | <input type="checkbox"/> Ditch | <input type="checkbox"/> Land Clearing | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Boat Lift | <input checked="" type="checkbox"/> Dock / Pier | <input checked="" type="checkbox"/> Marina / Moorage | <input type="checkbox"/> Stormwater facility |
| <input type="checkbox"/> Bridge | <input type="checkbox"/> Dredging | <input type="checkbox"/> Mining | <input type="checkbox"/> Swimming Pool |
| <input type="checkbox"/> Bulkhead | <input type="checkbox"/> Fence | <input type="checkbox"/> Outfall Structure | <input type="checkbox"/> Utility Line |
| <input type="checkbox"/> Buoy | <input type="checkbox"/> Ferry Terminal | <input checked="" type="checkbox"/> Piling/Dolphin | |
| <input type="checkbox"/> Channel Modification | <input type="checkbox"/> Fishway | <input type="checkbox"/> Raft | |

Other: ADA accessibility upgrades

6e. Describe how you plan to construct each project element checked in 6d. Include specific construction methods and equipment to be used. [\[help\]](#)

- Identify where each element will occur in relation to the nearest waterbody.
- Indicate which activities are within the 100-year floodplain.

The existing 1,698 square feet of floats will be replaced with 2,364 square feet of floats that are reconfigured to upgrade the structure, utilizing current design standards and materials, and improve boat access to the moorage slips.

6f. What are the anticipated start and end dates for project construction? (Month/Year) [\[help\]](#)

- If the project will be constructed in phases or stages, use [JARPA Attachment D](#) to list the start and end dates of each phase or stage.

Start Date: June 15, 2023 End Date: August 31, 2023 See JARPA Attachment D

6g. Fair market value of the project, including materials, labor, machine rentals, etc. [\[help\]](#)

\$250,000

6h. Will any portion of the project receive federal funding? [\[help\]](#)

- If **yes**, list each agency providing funds.

Yes No Don't know

Part 7–Wetlands: Impacts and Mitigation

Check here if there are wetlands or wetland buffers on or adjacent to the project area.
(If there are none, skip to Part 8.) [\[help\]](#)

7a. Describe how the project has been designed to avoid and minimize adverse impacts to wetlands. [\[help\]](#)

Not applicable

7b. Will the project impact wetlands? [\[help\]](#)

Yes No Don't know

7c. Will the project impact wetland buffers? [\[help\]](#)

Yes No Don't know

7d. Has a wetland delineation report been prepared? [\[help\]](#)

- If **Yes**, submit the report, including data sheets, with the JARPA package.

Yes No

7e. Have the wetlands been rated using the Western Washington or Eastern Washington Wetland Rating System? [\[help\]](#)

- If **Yes**, submit the wetland rating forms and figures with the JARPA package.

Yes No Don't know

7f. Have you prepared a mitigation plan to compensate for any adverse impacts to wetlands? [\[help\]](#)

- If Yes, submit the plan with the JARPA package and answer 7g.
- If No, or Not applicable, explain below why a mitigation plan should not be required.

Yes No Don't know

7g. Summarize what the mitigation plan is meant to accomplish, and describe how a watershed approach was used to design the plan. [\[help\]](#)

N/A

7h. Use the table below to list the type and rating of each wetland impacted, the extent and duration of the impact, and the type and amount of mitigation proposed. Or if you are submitting a mitigation plan with a similar table, you can state (below) where we can find this information in the plan. [\[help\]](#)

Activity (fill, drain, excavate, flood, etc.)	Wetland Name ¹	Wetland type and rating category ²	Impact area (sq. ft. or Acres)	Duration of impact ³	Proposed mitigation type ⁴	Wetland mitigation area (sq. ft. or acres)
-	-	-	-	-	-	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-
-	-	-	-	-	-	-

¹ If no official name for the wetland exists, create a unique name (such as "Wetland 1"). The name should be consistent with other project documents, such as a wetland delineation report.

² Ecology wetland category based on current Western Washington or Eastern Washington Wetland Rating System. Provide the wetland rating forms with the JARPA package.

³ Indicate the days, months or years the wetland will be measurably impacted by the activity. Enter "permanent" if applicable.

⁴ Creation (C), Re-establishment/Rehabilitation (R), Enhancement (E), Preservation (P), Mitigation Bank/In-lieu fee (B)

Page number(s) for similar information in the mitigation plan, if available: _____

7i. For all filling activities identified in 7h, describe the source and nature of the fill material, the amount in cubic yards that will be used, and how and where it will be placed into the wetland. [\[help\]](#)

Not applicable

7j. For all excavating activities identified in 7h, describe the excavation method, type and amount of material in cubic yards you will remove, and where the material will be disposed. [\[help\]](#)

Not applicable

Part 8—Waterbodies (other than wetlands): Impacts and Mitigation

In Part 8, “waterbodies” refers to non-wetland waterbodies. (See Part 7 for information related to wetlands.) [\[help\]](#)

Check here if there are waterbodies on or adjacent to the project area. (If there are none, skip to Part 9.)

8a. Describe how the project is designed to avoid and minimize adverse impacts to the aquatic environment. [\[help\]](#)

Not applicable

The purpose of the proposed project is to reconfigure existing dock floats to improve boat access and moorage opportunities, particularly for larger boats. The proposed project is carefully designed to avoid and minimize impacts; however, full avoidance of impacts is not feasible given the project’s water-dependence and prevalence of submerged aquatic vegetation throughout the project area. The proposed project will result in a net expansion of 666 square feet of float; however, these floats will include grated surface decking to replace solid wood decking.

The proposed project has been carefully designed to minimize impacts by sizing floats appropriate to the proposed project purpose and locating the replacement floats further waterward than the existing floats. The proposed waterward migration of the floats will locate the floats in deeper waters, minimizing impacts to shallow nearshore areas used by juvenile salmon. The proposed replacement floats will contain grated surfaces and replace pollutant-generating creosote piles to improve light availability and water quality conditions near the floats. The proposed project will follow construction timing windows and use BMPs, including those for safe removal of creosote-treated material, to protect marine resources and minimize potential impacts during construction.

8b. Will your project impact a waterbody or the area around a waterbody? [\[help\]](#)

Yes No

8c. Have you prepared a mitigation plan to compensate for the project’s adverse impacts to non-wetland waterbodies? [\[help\]](#)

- If Yes, submit the plan with the JARPA package and answer 8d.
- If No, or Not applicable, explain below why a mitigation plan should not be required.

Yes No Don’t know

The proposed project includes mitigation sequencing that is designed to further impacts to the shoreline. The replacement floats will be located further waterward than the existing floats, minimizing impacts to nearshore areas, and meet current design standards, including the use of non-treated material and surface grating. Additional mitigation for the proposed dock may be provided to meet federal standards.

8d. Summarize what the mitigation plan is meant to accomplish. Describe how a watershed approach was used to design the plan.

- If you already completed 7g you do not need to restate your answer here. [\[help\]](#)

The completed project will improve habitat and water quality functions onsite by replacing outdated infrastructure and creosote-treated wood materials used in the moorage floats and support pile. The newly constructed dock will provide a 43 ft² decrease of shaded area of overwater coverage compared to the existing conditions. Additionally, beach clean-up and beach nourishment actions will enhance habitat functions over the existing conditions and help to ensure that the project results in no net loss of shoreline ecological functions. Overall, the proposed project will result in no net loss of ecological function associated with shoreline areas onsite.

8e. Summarize impact(s) to each waterbody in the table below. [\[help\]](#)

Activity (clear, dredge, fill, pile drive, etc.)	Waterbody name ¹	Impact location ²	Duration of impact ³	Amount of material (cubic yards) to be placed in or removed from waterbody	Area (sq. ft. or linear ft.) of waterbody directly affected
Implement grated pier, ramp, float	Gig Harbor Bay	In Gig Harbor Bay	## days	No material will be removed as a result	1655 ft ² of area (a 43 ft ² reduction from current impacts)
Removal of beach debris across beach	Gig Harbor Bay	In Gig Harbor Bay	## days	1,488 sq feet in material removed	No net change in material sq ft coverage
Removal of creosote – treated wood	Gig Harbor Bay	In Gig Harbor Bay	## days	Removal of an estimated 65.94 cubic feet of creosote-treated wood ³	No net change in material sq ft coverage

¹ If no official name for the waterbody exists, create a unique name (such as "Stream 1") The name should be consistent with other documents provided.

² Indicate whether the impact will occur in or adjacent to the waterbody. If adjacent, provide the distance between the impact and the waterbody and indicate whether the impact will occur within the 100-year flood plain.

³ Indicate the days, months or years the waterbody will be measurably impacted by the work. Enter "permanent" if applicable.

8f. For all activities identified in 8e, describe the source and nature of the fill material, amount (in cubic yards) you will use, and how and where it will be placed into the waterbody. [\[help\]](#)

Not applicable, no fill is proposed in the waterbodies.

8g. For all excavating or dredging activities identified in 8e, describe the method for excavating or dredging, type and amount of material you will remove, and where the material will be disposed. [\[help\]](#)

Not applicable, no excavating or dredging is proposed within the waterbodies.

Part 9–Additional Information

Any additional information you can provide helps the reviewer(s) understand your project. Complete as much of this section as you can. It is ok if you cannot answer a question.

9a. If you have already worked with any government agencies on this project, list them below. [\[help\]](#)

Agency Name	Contact Name	Phone	Most Recent Date of Contact
Gig Harbor Planning	Kim Mahoney	(253) 853-7615	March 2021
Pierce County	Jana Williams	253-798-7197	10/29/2020
Washington State Department of Natural Resources		360-902-1164	

9b. Are any of the wetlands or waterbodies identified in Part 7 or Part 8 of this JARPA on the Washington Department of Ecology's 303(d) List? [\[help\]](#)

- If Yes, list the parameter(s) below.
- If you don't know, use Washington Department of Ecology's Water Quality Assessment tools at: <https://ecology.wa.gov/Water-Shorelines/Water-quality/Water-improvement/Assessment-of-state-waters-303d>.

Yes No

9c. What U.S. Geological Survey Hydrological Unit Code (HUC) is the project in? [\[help\]](#)

- Go to <http://cfpub.epa.gov/surf/locate/index.cfm> to help identify the HUC.

17110019

9d. What Water Resource Inventory Area Number (WRIA #) is the project in? [\[help\]](#)

- Go to <https://ecology.wa.gov/Water-Shorelines/Water-supply/Water-availability/Watershed-look-up> to find the WRIA #.

15 (Kitsap)

9e. Will the in-water construction work comply with the State of Washington water quality standards for turbidity? [\[help\]](#)

- Go to <https://ecology.wa.gov/Water-Shorelines/Water-quality/Freshwater/Surface-water-quality-standards/Criteria> for the standards.

Yes No Not applicable

9f. If the project is within the jurisdiction of the Shoreline Management Act, what is the local shoreline environment designation? [\[help\]](#)

- If you don't know, contact the local planning department.
- For more information, go to: <https://ecology.wa.gov/Water-Shorelines/Shoreline-coastal-management/Shoreline-coastal-planning/Shoreline-laws-rules-and-cases>.

Urban Natural Aquatic Conservancy Other: City Waterfront

9g. What is the Washington Department of Natural Resources Water Type? [\[help\]](#)

- Go to <http://www.dnr.wa.gov/forest-practices-water-typing> for the Forest Practices Water Typing System.

Shoreline Fish Non-Fish Perennial Non-Fish Seasonal

9h. Will this project be designed to meet the Washington Department of Ecology's most current stormwater manual? [\[help\]](#)

- If No, provide the name of the manual your project is designed to meet.

Yes No

Name of manual: _____

9i. Does the project site have known contaminated sediment? [\[help\]](#)

- If Yes, please describe below.

Yes No

Site is within the Asarco Plume

9j. If you know what the property was used for in the past, describe below. [\[help\]](#)

It has been used as office and warehouse since it was built in 1936. The current marina is newer than the initial 1936 construction.

9k. Has a cultural resource (archaeological) survey been performed on the project area? [\[help\]](#)

- If Yes, attach it to your JARPA package.

Yes No

9l. Name each species listed under the federal Endangered Species Act that occurs in the vicinity of the project area or might be affected by the proposed work. [\[help\]](#)

NOAA identifies the following listed marine species as potentially occurring in the project vicinity: Bull trout (*Salvelinus confluentus*), steelhead trout (*Ocorhynchus mykiss*), Chinook salmon (*Oncorhynchus tshawtscha*), Killer whale (*Orcinus orca*), Bocaccio rockfish (*Sebastes paucispinis*), Yelloweye rockfish (*Sebastes ruberrimus*),

USFWS identifies the following listed species as potentially occurring in Pierce County, with potential for presence in the project area:

bull trout (*Salvelinus confluentus*), Marbled murrelet (*bracyramphus marmoratus*),

9m. Name each species or habitat on the Washington Department of Fish and Wildlife's Priority Habitats and Species List that might be affected by the proposed work. [\[help\]](#)

The WDFW PHS identifies Estuarine and Marine Aquatic Habitat, Great blue heron (*Ardea Herodias*) and Surf smelt (*Hypomesus pretiosus*) mapped in the region.

Part 10–SEPA Compliance and Permits

Use the resources and checklist below to identify the permits you are applying for.

- Online Project Questionnaire at <http://apps.oria.wa.gov/opas/>.
- Governor’s Office for Regulatory Innovation and Assistance at (800) 917-0043 or help@oria.wa.gov.
- For a list of addresses to send your JARPA to, click on [agency addresses for completed JARPA](#).

10a. Compliance with the State Environmental Policy Act (SEPA). (Check all that apply.) [\[help\]](#)

- For more information about SEPA, go to <https://ecology.wa.gov/regulations-permits/SEPA-environmental-review>.

A copy of the SEPA determination or letter of exemption is included with this application.

A SEPA determination is pending with Gig Harbor (lead agency). The expected decision date is November 2022.

I am applying for a Fish Habitat Enhancement Exemption. (Check the box below in 10b.) [\[help\]](#)

This project is exempt (choose type of exemption below).

Categorical Exemption. Under what section of the SEPA administrative code (WAC) is it exempt?

Other: _____

SEPA is pre-empted by federal law.

10b. Indicate the permits you are applying for. (Check all that apply.) [\[help\]](#)

LOCAL GOVERNMENT

Local Government Shoreline permits:

Substantial Development Conditional Use Variance

Shoreline Exemption Type (explain): _____

Other City/County permits:

Floodplain Development Permit Critical Areas Ordinance

STATE GOVERNMENT

Washington Department of Fish and Wildlife:

Hydraulic Project Approval (HPA) Fish Habitat Enhancement Exemption – [Attach Exemption Form](#)

Washington Department of Natural Resources:

Aquatic Use Authorization

Complete [JARPA Attachment E](#) and submit a check for \$25 payable to the Washington Department of Natural Resources.
Do not send cash.

Washington Department of Ecology:

Section 401 Water Quality Certification

FEDERAL AND TRIBAL GOVERNMENT

United States Department of the Army (U.S. Army Corps of Engineers):

Section 404 (discharges into waters of the U.S.) Section 10 (work in navigable waters)

United States Coast Guard:

- General Bridge Act Permit Private Aids to Navigation (for non-bridge projects)

United States Environmental Protection Agency:

- Section 401 Water Quality Certification (discharges into waters of the U.S.) on tribal lands where tribes do not have treatment as a state (TAS)

Tribal Permits: (Check with the tribe to see if there are other tribal permits, e.g., Tribal Environmental Protection Act, Shoreline Permits, Hydraulic Project Permits, or other in addition to CWA Section 401 WQC)

- Section 401 Water Quality Certification (discharges into waters of the U.S.) where the tribe has treatment as a state (TAS).

Part 11—Authorizing Signatures

Signatures are required before submitting the JARPA package. The JARPA package includes the JARPA form, project plans, photos, etc. [\[help\]](#)

11a. Applicant Signature (required) [\[help\]](#)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities, and I agree to start work only after I have received all necessary permits.

I hereby authorize the agent named in Part 3 of this application to act on my behalf in matters related to this application. _____ (initial)

By initialing here, I state that I have the authority to grant access to the property. I also give my consent to the permitting agencies entering the property where the project is located to inspect the project site or any work related to the project. _____ (initial)

Luke Xitco

Applicant Printed Name



Applicant Signature

1/20/22

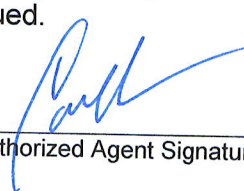
Date

11b. Authorized Agent Signature [\[help\]](#)

I certify that to the best of my knowledge and belief, the information provided in this application is true, complete, and accurate. I also certify that I have the authority to carry out the proposed activities and I agree to start work only after all necessary permits have been issued.

Carl E. Halsan

Authorized Agent Printed Name



Authorized Agent Signature

1-28/2022

Date

11c. Property Owner Signature (if not applicant) [\[help\]](#)

Not required if project is on existing rights-of-way or easements (provide copy of easement with JARPA).

I consent to the permitting agencies entering the property where the project is located to inspect the project site or any work. These inspections shall occur at reasonable times and, if practical, with prior notice to the landowner.

Property Owner Printed Name

Property Owner Signature

Date

18 U.S.C §1001 provides that: Whoever, in any manner within the jurisdiction of any department or agency of the United States knowingly falsifies, conceals, or covers up by any trick, scheme, or device a material fact or makes any false, fictitious, or fraudulent statements or representations or makes or uses any false writing or document knowing same to contain any false, fictitious, or fraudulent statement or entry, shall be fined not more than \$10,000 or imprisoned not more than 5 years or both.

If you require this document in another format, contact the Governor's Office for Regulatory Innovation and Assistance (ORIA) at (800) 917-0043. People with hearing loss can call 711 for Washington Relay Service. People with a speech disability can call (877) 833-6341. ORIA publication number: ORIA-16-011 rev. 09/2018

EXHIBIT I

From: [Shaun Dinubilo](#)
To: [Cindy Andrews](#)
Subject: RE: X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES - PL-SEPA-22-0005
Date: Monday, April 18, 2022 1:56:17 PM

Hello Cindy,

Thank you for contacting the Squaxin Island Tribe Cultural Resources Department regarding the above listed project for our review and comment. The project area has a high potential for the location of cultural resources. We recommend a cultural resources survey and report be completed for this project. We would prefer to receive an electronic copy by email once completed.



Shaun Dinubilo
Archaeologist
Cultural Resource Department
Squaxin Island Tribe
200 S.E. Billy Frank Jr. Way
Shelton, WA 98584
Office Phone: 360-432-3998
Cell Phone: 360-870-6324
Email: sdinubilo@squaxin.us
Email is my preferred method of communication.

From: Cindy Andrews <candrews@gigharborwa.gov>
Sent: Wednesday, April 13, 2022 8:28 AM
To: Adonais Clark (aclark@co.pierce.wa.us) <aclark@co.pierce.wa.us>; Alec, Wrolson, Puyallup Tribe <Alec.Wrolson@PuyallupTribe-nsn.gov>; Andrew Strobel, Puyallup Tribe <Andrew.Strobel@PuyallupTribe-nsn.gov>; aosullivan@suquamish.nsn.us; Carol <CarolAnn.Hawks@PuyallupTribe-nsn.gov>; Char Naylor, Puyallup Tribe <Char.Naylor@PuyallupTribe-nsn.gov>; David Winfrey, Puyallup Tribe <David.Winfrey@PuyallupTribe-nsn.gov>; Department of Natural Resources SEPA Center (sepacenter@dnr.wa.gov) <sepacenter@dnr.wa.gov>; dwilliams@suquamish.nsn.us; efheinitz@doc1.wa.gov; ewatson@piercefire.org; Jennifer Keating, Puyallup Tribe <Jennifer.M.Keating@puyalluptribe-nsn.gov>; JOE CUSHMAN <cushman.joe@nisqually-nsn.gov>; Kristen Miller <kirsten.miller@dnr.wa.gov>; Lois Boome, Puyallup Tribe <Lois.Boome@PuyallupTribe-nsn.gov>; Michael Prentice <michaelp@penlight.org>; Muckleshoot Tribe - Laura Murphy (laura.murphy@muckleshoot.nsn.us) <laura.murphy@muckleshoot.nsn.us>; Nancy Games, Puyallup Tribe <nancy.games@puyalluptribe-nsn.gov>; Nicole Jones-Vogel - PenMet Parks <njones-vogel@penmetparks.org>; OR-SEPA-REVIEW@wsdot.wa.gov; Puget Sound Partnership - Marsha Engel (marsha.engel@psp.wa.gov) <marsha.engel@psp.wa.gov>; reviewteam@commerce.wa.gov; Rhonda Foster <rfoster@squaxin.us>; Robert Barandon, Puyallup

Tribe <Robert.B.Barandon@puyalluptribe-nsn.gov>; Russ Ladley, Puyallup Tribe
<Russ.Ladley@PuyallupTribe-nsn.gov>; sepa <sepa@dahp.wa.gov>; SEPA
<SEPARreview@PuyallupTribe-nsn.gov>; sepaunit@ecy.wa.gov; Sharon Silver (sharons@penlight.org)
<sharons@penlight.org>; Shaun Dinubilo <sdinubilo@squaxin.us>; Shital Saini
<shital@penlight.org>; smithv@psd401.net; Stacie Snuffin - PenMet Parks
<SSnuffin@PenMetParks.org>; Suquamish Tribe - Dennis Lewarch (dlewarch@suquamish.nsn.us)
<dlewarch@suquamish.nsn.us>; Tina Vaslet Pierce Transit (tvaslet@piercettransit.org)
<tvaslet@piercettransit.org>; Zachary Meyer <ZMEY461@ECY.WA.GOV>

Subject: X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES - PL-SEPA-22-0005

The City of Gig Harbor has issued an NOA including the SEPA checklist for the X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES - PL-SEPA-22-0005 project, I have included above the Notice of Application and associated SEPA checklist and a link to the City of Gig Harbor [Permit Portal](#) for all of the project information submitted to date. Please provide your comments no later than May 13, 2022 and please let me know if you have any questions.

Best Regards

Cindy Andrews

Planning Technician

City of Gig Harbor

CAndrews@gigharborwa.gov

Phone - 253-853-7625

EXHIBIT J

From: [Jennifer M. Keating](#)
To: [Cindy Andrews](#)
Cc: [Brandon Reynon](#)
Subject: RE: X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES - PL-SEPA-22-0005
Date: Tuesday, April 26, 2022 11:36:14 AM
Attachments: [image001.png](#)

Good morning Cindy,

Please be advised that the proposed project location is in very close proximity to known archaeology sites of the most sensitive nature. For this reason, this site is classified as having a very high probability for impacting cultural resources and will require a cultural resource survey prior to any ground disturbance. Please let us know if there are any questions.

Thank you,

Jennifer M. Keating
Land Use Planner &
Asst. Tribal Historic Preservation Officer
Puyallup Tribe of Indians
Office of Planning & Land Services
Ph. (253) 549-5397



From: Cindy Andrews [mailto:candrews@gigharborwa.gov]
Sent: Wednesday, April 13, 2022 8:28 AM
To: Adonais Clark (aclark@co.pierce.wa.us) <aclark@co.pierce.wa.us>; Alec Wrolson <Alec.Wrolson@PuyallupTribe-nsn.gov>; Andrew Strobel <Andrew.Strobel@PuyallupTribe-nsn.gov>; aosullivan@suquamish.nsn.us; Carol Ann Hawks <CarolAnn.Hawks@PuyallupTribe-nsn.gov>; Char Naylor <Char.Naylor@PuyallupTribe-nsn.gov>; David Winfrey <David.Winfrey@PuyallupTribe-nsn.gov>; Department of Natural Resources SEPA Center (sepacenter@dnr.wa.gov) <sepacenter@dnr.wa.gov>; dwilliams@suquamish.nsn.us; efheinitz@doc1.wa.gov; ewatson@piercefire.org; Jennifer M. Keating <Jennifer.M.Keating@puyalluptribe-nsn.gov>; JOE CUSHMAN <cushman.joe@nisqually-nsn.gov>; Kristen Miller <kirsten.miller@dnr.wa.gov>; Lois Boome <Lois.Boome@PuyallupTribe-nsn.gov>; Michael Prentice <michaelp@penlight.org>; Muckleshoot Tribe - Laura Murphy (laura.murphy@muckleshoot.nsn.us) <laura.murphy@muckleshoot.nsn.us>; Nancy Shippentower-Games <nancy.games@puyalluptribe-nsn.gov>; Nicole Jones-Vogel - PenMet Parks <njones-vogel@penmetparks.org>; OR-SEPA-REVIEW@wsdot.wa.gov; Puget Sound Partnership - Marsha Engel (marsha.engel@psp.wa.gov) <marsha.engel@psp.wa.gov>; reviewteam@commerce.wa.gov; Rhonda Foster at Squaxin Island Tribe <rfoster@squaxin.us>; Robert B. Barandon <Robert.B.Barandon@puyalluptribe-nsn.gov>; Russ Ladley <Russ.Ladley@PuyallupTribe-nsn.gov>; sepa <sepa@dahp.wa.gov>; SEPA Review

<SEPAReview@PuyallupTribe-nsn.gov>; sepaunit@ecy.wa.gov; Sharon Silver (sharons@penlight.org)
<sharons@penlight.org>; Shaun Dinubilo <sdinubilo@squaxin.us>; Shital Saini
<shital@penlight.org>; smithv@psd401.net; Stacie Snuffin - PenMet Parks
<SSnuffin@PenMetParks.org>; Suquamish Tribe - Dennis Lewarch (dlewarch@suquamish.nsn.us)
<dlewarch@suquamish.nsn.us>; Tina Vaslet Pierce Transit (tvaslet@piercettransit.org)
<tvaslet@piercettransit.org>; Zachary Meyer <ZMEY461@ECY.WA.GOV>

Subject: X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES - PL-SEPA-22-0005

The City of Gig Harbor has issued an NOA including the SEPA checklist for the X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES - PL-SEPA-22-0005 project, I have included above the Notice of Application and associated SEPA checklist and a link to the City of Gig Harbor [Permit Portal](#) for all of the project information submitted to date. Please provide your comments no later than May 13, 2022 and please let me know if you have any questions.

Best Regards

Cindy Andrews

Planning Technician

City of Gig Harbor

CAndrews@gigharborwa.gov

Phone - 253-853-7625



EXHIBIT K

STATE OF WASHINGTON
DEPARTMENT OF ECOLOGY

Southwest Region Office
PO Box 47775, Olympia, WA 98504-7775 • 360-407-6300

May 13, 2022

Carl de Simas, Associate Planner
City of Gig Harbor
Community Development Department
Planning Division
3510 Grandview Street
Gig Harbor, WA 98335

Dear Carl de Simas:

Thank you for the opportunity to comment on the X2P Boat Barn Moorage & Accessibility Upgrades Project (PL-SEPA-22-0005, PL-SPR-22-0002, PL-DR-22-0006, PL-FLOOD-22-0001, PL-NCR-22-0001, PL-SDP-22-0001) located at 2907 Harborview Drive as proposed by X2P Boat Barn, LLC. The Department of Ecology (Ecology) reviewed the environmental checklist and has the following comment(s):

SOLID WASTE MANAGEMENT: Derek Rockett (360) 407-6287

All grading and filling of land must utilize only clean fill. All other materials may be considered solid waste and permit approval may be required from the local jurisdictional health department prior to filling. All removed debris resulting from this project must be disposed of at an approved site. Contact the local jurisdictional health department for proper management of these materials.

TOXICS CLEANUP: Eva Barber (360) 999-9593

This property is within a quarter mile of two contaminated sites. The sites are Conan Fuel Service, Facility Site ID (FSID) 1308 and Soundview Harborview LLC, FSID 92010. To search and access information concerning these sites, see <http://www.ecy.wa.gov/fs/> and <https://fortress.wa.gov/ecy/gsp/SiteSearchPage.aspx>.

If contamination is suspected, discovered, or occurs during the proposed site improvements, testing of the potentially contaminated media must be conducted. If contamination of soil or groundwater is readily apparent, or is revealed by sampling, the Department of Ecology must be notified. Contact the Environmental Report Tracking System Coordinator at the Southwest Regional Office at (360) 407-6300. For assistance and information about

subsequent cleanup and to identify the type of testing that will be required, contact Eva Barber with the Toxics Cleanup Program at the Southwest Regional Office at (360) 999-9593.

**WATER QUALITY/WATERSHED RESOURCES UNIT:
Evan Wood (360) 407-7320**

Erosion control measures must be in place prior to any clearing, grading, or construction. These control measures must be effective to prevent stormwater runoff from carrying soil and other pollutants into surface water or stormdrains that lead to waters of the state. Sand, silt, clay particles, and soil will damage aquatic habitat and are considered to be pollutants.

Any discharge of sediment-laden runoff or other pollutants to waters of the state is in violation of Chapter 90.48 RCW, Water Pollution Control, and WAC 173-201A, Water Quality Standards for Surface Waters of the State of Washington, and is subject to enforcement action.

Construction Stormwater General Permit:

The following construction activities require coverage under the Construction Stormwater General Permit:

1. Clearing, grading and/or excavation that results in the disturbance of one or more acres **and** discharges stormwater to surface waters of the State; and
2. Clearing, grading and/or excavation on sites smaller than one acre that are part of a larger common plan of development or sale, if the common plan of development or sale will ultimately disturb one acre or more **and** discharge stormwater to surface waters of the State.
 - a) This includes forest practices (including, but not limited to, class IV conversions) that are part of a construction activity that will result in the disturbance of one or more acres, **and** discharge to surface waters of the State; and
3. Any size construction activity discharging stormwater to waters of the State that Ecology:
 - a) Determines to be a significant contributor of pollutants to waters of the State of Washington.
 - b) Reasonably expects to cause a violation of any water quality standard.

If there are known soil/ground water contaminants present on-site, additional information (including, but not limited to: temporary erosion and sediment control plans; stormwater pollution prevention plan; list of known contaminants with concentrations and depths found; a site map depicting the sample location(s); and additional studies/reports regarding contaminant(s)) will be required to be submitted. For additional information on contaminated construction sites, please contact Carol Serdar at Carol.Serdar@ecy.wa.gov, or by phone at (360) 742-9751.

Additionally, sites that discharge to segments of waterbodies listed as impaired by the State of Washington under Section 303(d) of the Clean Water Act for turbidity, fine sediment, high pH, or phosphorous, or to waterbodies covered by a TMDL may need to meet additional sampling and record keeping requirements. See condition S8 of the Construction Stormwater General Permit for a description of these requirements. To see if your site discharges to a TMDL or 303(d)-listed waterbody, use Ecology's Water Quality Atlas at: <https://fortress.wa.gov/ecy/waterqualityatlas/StartPage.aspx>.

The applicant may apply online or obtain an application from Ecology's website at: <http://www.ecy.wa.gov/programs/wq/stormwater/construction/> - [Application](#). Construction site operators must apply for a permit at least 60 days prior to discharging stormwater from construction activities and must submit it on or before the date of the first public notice.

Ecology's comments are based upon information provided by the lead agency. As such, they may not constitute an exhaustive list of the various authorizations that must be obtained or legal requirements that must be fulfilled in order to carry out the proposed action.

If you have any questions or would like to respond to these comments, please contact the appropriate reviewing staff listed above.

Department of Ecology
Southwest Regional Office

(RLS:202201714)

cc: Derek Rockett, SWM
Eva Barber, TCP
Evan Wood, WQ

RECEIVED

By C. ANDREWS at 12:46 pm, Jan 22, 2024



NISQUALLY INDIAN TRIBE
Tribal Historic Preservation Office

4820 She-Nah-Num Drive S.E.
Olympia, Washington 98513
360.456.5221 (main)
877.768.8886 (toll free)
www.nisqually-nsn.gov

January 22, 2024

To: Cindy Andrews, Planning Technician
City of Gig Harbor
Planning Division
3510 Grandview St
Gig Harbor, WA 98335

Re: PL-SEPA-22-0005

The Nisqually Indian Tribe's THPO has reviewed the determination of nonsignificance that you provided for the above-named project and has no specific comments or concerns at this time. Please keep us informed if there are any Inadvertent Discoveries of Archaeological Resources/Human Burials.

Although the Nisqually Indian Tribe doesn't have any specific concerns at this time, we respect the traditional cultural knowledge of affected tribes and support their opinions on this matter as well.

Sincerely,

Brad Beach, THPO
Nisqually Indian Tribe
360-528-1084
360-456-5221 ext 1277
beach.brad@nisqually-nsn.gov

cc: Annette Bullchild, Director, Nisqually Indian Tribe



RECEIVED

By C. ANDREWS at 3:19 pm, Jan 25, 2024

**STATE OF WASHINGTON
DEPARTMENT OF ECOLOGY**

Southwest Region Office

PO Box 47775, Olympia, WA 98504-7775 • 360-407-6300

EXHIBIT M

January 25, 2024

Planning Division
City of Gig Harbor
Community Development Department
Planning Division
3510 Grandview Street
Gig Harbor, WA 98335

Dear Planning Division:

Thank you for the opportunity to comment on the determination of nonsignificance for the X2P BOAT BARN MOORAGE & ACCESSIBILITY UPGRADES | SHORELINE SUBSTANTIAL DEVELOPMENT Project (PL-SEPA-22-0005) located at 2907 Harborview Drive as proposed by X2P Boat Barn LLC. The Department of Ecology (Ecology) reviewed the environmental checklist and has the following comment(s):

TOXICS CLEANUP: Sandy Smith (360) 999-9588

If contamination is suspected, discovered, or occurs during proposed parking lot improvements and marina reconfiguration, testing of the potentially contaminated media must be conducted. If contamination of sediment, soil, or water is readily apparent, or is revealed by sampling, the Department of Ecology must be notified. To notify Ecology, contact the Environmental Report Tracking System Coordinator at the Southwest Regional Office at (360) 407-6300. For assistance and information about subsequent cleanup and to identify the type of testing that will be required, contact Sandy Smith with the Toxics Cleanup Program at the Southwest Regional Office at (360) 999-9588.

Ecology's comments are based upon information provided by the lead agency. As such, they may not constitute an exhaustive list of the various authorizations that must be obtained or legal requirements that must be fulfilled in order to carry out the proposed action.

If you have any questions or would like to respond to these comments, please contact the appropriate reviewing staff listed above.

Department of Ecology
Southwest Regional Office

(JKT:202400204)

cc: Sandy Smith, TCP

RECEIVED

By C. ANDREWS at 1:16 pm, Apr 26, 2023

SHORELINE, WETLAND AND FISH AND WILDLIFE HABITAT ASSESSMENT, AND NO NET LOSS ANALYSIS

BOAT BARN MARINA – HARBORVIEW DRIVE

EXHIBIT N

JANUARY 24, 2022

REVISED AUGUST 31, 2022

REVISED FEBRUARY 27, 2023



**Soundview
Consultants**

Environmental Assessment
Planning + Land Use Solutions

SHORELINE, WETLAND AND FISH AND WILDLIFE HABITAT ASSESSMENT, AND NO NET LOSS ANALYSIS

BOAT BARN MARINA – HARBORVIEW DRIVE

JANUARY 24, 2022

REVISED AUGUST 31, 2022

REVISED FEBRUARY 27, 2023

PROJECT LOCATION

2907 HARBORVIEW DRIVE

GIG HARBOR, WASHINGTON 98332

PREPARED FOR

X2 BOAT BARN LLC

ATTN: LUKE XITCO

PO BOX 2116

TACOMA, WA 98401

PREPARED BY

SOUNDVIEW CONSULTANTS LLC

2907 HARBORVIEW DRIVE, SUITE D

GIG HARBOR, WASHINGTON 98335

(253) 514-8952



**Soundview
Consultants**

Environmental Assessment
Planning + Land Use Solutions

Executive Summary

Soundview Consultants LLC (SVC) is assisting X2 Boat Barn LLC (Applicant) with a Shoreline, Wetland and Fish and Wildlife Habitat Assessment, and No Net Loss Analysis Report for proposed marina facilities upgrades at 2907 Harborview Drive in the City of Gig Harbor, Washington. The subject property consists of one parcel situated in the Northeast ¼ of Section 8, Township 21 North, Range 2 East, W.M (Pierce County Tax Parcel Number 0221081058).

SVC investigated the subject property for the presence of potentially regulated wetlands, fish and wildlife habitat, and/or priority species on February 18, 2019. Submerged aquatic vegetation identification and assessment was conducted by Marine Surveys and Assessments for the project during September 2018. The site investigations identified the shoreline of Gig Harbor Bay and associated habitat areas on the northeastern portion of the subject property. The shoreline is regulated by U.S. Army Corps of Engineers (USACE), Washington State Department of Ecology (WSDOE), Washington State Department of Fish and Wildlife (WDFW), and the City of Gig Harbor. No other critical areas were identified on or within 300 feet of the project area.

The project will provide necessary replacement and upgrades to existing boat moorage facilities, to marina accessibility and associated infrastructure. The project will replace and reconfigure dock components including the existing floats and support pile and will upgrade marina parking and accessibility through parking area improvements. Parking area upgrades include the implementation of a dedicated parking area meeting American Disabilities Act (ADA) accessibility standards and construction of a concrete dumpster enclosure and approach. The City of Gig Harbor Shoreline Master Program (SMP) regulates structure setbacks and vegetation conservation strips along the shoreline of Gig Harbor Bay according to shoreline environment designation. The subject property’s shoreline is designated City Waterfront. The subject property’s shoreline is developed with a non-conforming, overwater building, and upland structures are likely subject to a minimum nonconforming structure setback width of 10 feet. The proposed project is in support of the water-dependent use of the marina only. No new upland structures are proposed.

The summary table below identifies the critical area (i.e., shoreline) and the potential regulatory status by local, state, and federal agencies.

Feature Name	Size (onsite)	Category/Type ¹	Regulated Under Gig Harbor Code	Regulated Under RCW 90.48	Regulated Under Clean Water Act
Gig Harbor Bay	~105 linear feet	City Waterfront	Yes	Yes	Yes

Notes:

1. Shoreline Environmental Designation as shown on the Gig Harbor Shoreline Environmental Designation Map.

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- Appendix B — Background Information
- Appendix C — Site Plan
- Appendix D — Grating Specifications
- Appendix E — SAV Survey
- Appendix F — Author Qualifications

Chapter 1. Introduction

Soundview Consultants LLC (SVC) is assisting X2 Boat Barn LLC (Applicant) with a Shoreline and Wetland and Fish and Wildlife Habitat Assessment and No Net Loss Analysis Report for a proposed marina redevelopment project at 2907 Harborview Drive in the City of Gig Harbor, Washington. The subject property consists of one parcel situated in the Northeast ¼ of Section 8, Township 21 North, Range 2 East, W.M (Pierce County Tax Parcel Number 0221081058).

The purpose of this assessment is to identify the presence of potentially regulated waterbodies, wetlands, fish and wildlife habitat, and/or priority species that may be found on or near the project; to assess potential impacts to any such critical areas; and to describe how the proposed project will result in no net loss of shoreline ecologic functions.

This report provides conclusions and recommendations regarding:

- Site description, project description, and area of assessment.
- Background research and identification of potentially regulated waterbodies, fish and wildlife habitat, and/or priority species within the vicinity of the proposed project;
- Existing site map and plans detailing identified shorelines, critical areas and standard setbacks;
- Documentation of impact avoidance and minimization measures;
- Identification and assessment of project impacts on potentially regulated waterbodies, fish and wildlife habitat, and/or priority species within the vicinity of the proposed project;
- No net loss analysis of shoreline ecologic functions; and
- Supplemental information for local, state, and federal regulatory review.

Chapter 2. Proposed Project

2.1 Project Location

The proposed project is located on a 0.59-acre subject property at 2907 Harborview Drive in the City of Gig Harbor, Washington. The subject property consists of one parcel situated in the Northeast ¼ of Section 8, Township 21 North, Range 2 East, W.M (Pierce County Tax Parcel Number 0221081058).

To access the subject site from the Tacoma area via Washington-16 West, take Exit 10 for Olympic Drive NW. Turn right onto Olympic Drive NW and proceed for 0.4 mile. Continue straight onto Soundview Drive and proceed for 1.3 miles. Turn right onto Harborview Drive, and the subject property will be on the left in 262 feet.

Figure 1. Vicinity Map



2.2 Project Description

The project will provide necessary replacement and upgrades to existing boat moorage facilities, to marina accessibility and associated infrastructure. The project will replace and reconfigure dock components including the existing floats and support pile and will upgrade marina parking and

accessibility through parking area improvements. Parking area upgrades include the implementation of a dedicated parking area meeting American Disabilities Act (ADA) accessibility standards and construction of a concrete dumpster enclosure and approach. Please see the engineered site plans by GeoResources LLC (2019) for more details.

The boat moorage facilities, comprised of an overwater deck, ramp and floats, provides commercial boat moorage. The floats are currently configured in a “C-shape” with three 20-foot-long slips within the interior of the float system. The existing configuration provides limited moorage opportunity. In addition, the moorage components, specifically the floats and support pile, do not meet current design standards and one of the pile has broken off and is currently tied to a float as a temporary measure to avoid damaging nearby property or presenting a hazard to boaters. The Applicant proposes to reconfigure and replace the floats to provide improved moorage opportunities and to bring the components of the marina up to current design standards. Please see Appendix C for the proposed site plans.

Proposed boat moorage upgrades include the following:

- The existing seven creosote-treated support pile that anchor the floats will be replaced by ten, 12-inch-diameter steel pile. The floats will be anchored using the minimum necessary pile, in number and footprint.
- The boat moorage floats will be configured as a central walkway with three extending branches and will be located waterward of extreme low tide.
- Floatation is fully enclosed and contained under the solid decking portions to ensure that 50 percent of the deck surface contains at least 60 percent functional grating areas. See Appendix D for grating specification details.

The proposed replacement floats will be located further waterward than the existing floats, minimizing impacts to the nearshore areas, and the existing creosote piles will be replaced with steel piles. The new configuration requires additional support pile. The proposed parking improvements will be developed within the footprint of the existing parking areas and will have no impact on water quality and surface water management and accessibility for the marina. In addition, construction best management practices (BMPs) and temporary erosion and sediment control measures (TESC) will be implemented to avoid and minimize temporary construction impacts to the shoreline. Intertidal beach area enhancement is also proposed to offset project impacts and to improve the existing degraded shoreline functions. Enhancement actions include clean up and restoration of the intertidal beach areas to remove existing debris and to implement beach nourishment within impaired portions of the upper intertidal beach.

Chapter 3. Methods

SVC investigated the subject property on February 18, 2019 for the presence of potentially-regulated wetlands, waterbodies, fish and wildlife habitat, and/or priority species and identified potentially regulated features within 300 feet of the subject property. All determinations were made using observable vegetation, hydrology, and soils in conjunction with data from the U.S. Geological Survey (USGS) topographic map, the Natural Resources Conservation Service (NRCS) Soil Survey, Washington Department of Natural Resources (DNR) stream typing data, U.S. Fish and Wildlife Service (USFWS) National Wetland Inventory (NWI) map data, Washington Department of Fish and Wildlife (WDFW) Priority Habitats and Species (PHS) and SalmonScape database, Pierce County Geographic Information Systems (GIS), local precipitation data, and various orthophotographic resources. Appendix A contains further details for the methods and tools used to prepare this report.

Wetland presence/absence was determined in accordance with Gig Harbor Municipal Code (GHMC) 18.08.040.A and as outlined in the routine approach described in the USACE's *Wetlands Delineation Manual* (Environmental Laboratory, 1987) and modified according to the guidelines established in the *Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region (Version 2.0)* (USACE, 2010) and *Field Indicators of Hydric Soils in the United States* (USDA, 2018).

Ordinary high water mark (OHW) determinations were made using the WSDOE's guidance detailed in *Determining the Ordinary High Water Mark for Shoreline Management Act Compliance in Washington State* (Anderson et al., 2016) and the definitions established in the Shoreline Management Act (Revised Code of Washington [RCW] 90.58.030(2)(b) and WAC 173-22-030(11)). The locations and features of the shoreline are described in Chapter 5 and shown on site plan sheets in Appendix C.

The fish and wildlife habitat assessment was conducted during the same site visits by qualified fish and wildlife biologists. Experienced biologists made visual observations using stationary and walking survey methods for both aquatic and upland habitats noting any special habitat features or signs of fish and wildlife activity. Observations on the beach were made during a low tide, and observations of aquatic vegetation were limited to the upper intertidal area. A submerged aquatic vegetation survey has also been completed in the proposed dock area (Marine Surveys and Assessments, 2018).

Chapter 4. Existing Conditions

4.1 Landscape Setting

The approximately 0.59-acre subject property is located on the shoreline of Gig Harbor Bay within the City of Gig Harbor (Figure 2). Existing features on the waterfront parcel include a commercial overwater building, adjacent parking, a concrete bulkhead, and a marina consisting of a platform style pier, ramp and floats. Surrounding areas to the northwest and southeast are developed with commercial and mixed-use residential uses. Across Harborview Drive to the southwest are two undeveloped, City-owned parcels totaling 1.52 acres, with public trails. Gig Harbor Bay is to the northeast. The topography of the subject property slopes down from Harborview Drive, from southwest to northeast. A Pierce County topographic map is provided in Appendix B1.

Figure 2. Aerial Image of the Subject Property.



4.2 Soils

The NRCS Soil Survey of Pierce County, Washington identifies one soil map unit present on the subject property: Harstine gravelly ashy sandy loam, 15 to 30 percent slopes. A soil map is provided in Appendix B2.

Harstine gravelly sandy loam, 15 to 30 percent slopes (16D)

According to the survey, Harstine gravelly sandy loam, 15 to 30 percent slopes, is a moderately well-drained soil formed in sandy glacial till on broad uplands. In a typical profile, the surface layer (0-5 inches) is dark yellowish brown gravelly sandy loam overlain with a thin mat of undecomposed very strongly acid needles and wood. The subsoil (5 to 31 inches) is dark yellowish brown, brown, and dark brown gravelly sandy loam. The substratum, (31 to a depth of more than 60 inches) is compact glacial till that is cemented in places. Harstine gravelly sandy loam, 15 to 30 percent slopes, is listed as non-hydric on the Pierce County Hydric Soils List (NRCS, 2001).

4.3 Vegetation

The majority of the subject property is developed with impervious surfaces. Vegetation is limited to an upland strip of trees surrounding the parking area which contains red alder (*Alnus rubra*), bigleaf maple (*Acer macrophyllum*), and Douglas fir (*Pseudotsuga menziesii*) trees. Please see Section 4.7 for a description of the submerged aquatic vegetation presence.

4.4 Wetland and Stream Inventories

The USFWS NWI map (Appendix B3) and Pierce County stream and wetland inventory map (Appendix B4) identify the potential for estuarine and marine wetlands along Gig Harbor. The Pierce County stream and wetland inventory map (Appendix B4) identifies a non-fish bearing stream approximately 190 feet west of the subject property on the western side of Soundview Drive. No other wetlands or streams are mapped by the wetland and stream inventories, including the DNR stream typing map (Appendix B9) on or within 300 feet of the subject property.

4.5 Priority Habitats and Species

The WDFW PHS map (Appendix B5) identifies a great blue heron breeding colony across Harborview Drive from the subject property; however, the area was determined to be unoccupied by WDFW (SVC, 2017 and WDFW, 2017). The WDFW forage fish map (Appendix B6) and WDFW PHS map identify a surf smelt spawning area along the subject property's shoreline. The WSDOE kelp map (Appendix B7) identifies the potential for patchy kelp presence on and adjacent to the subject property. No other priority species or habitats are mapped on or within 300 feet of the subject property. Please see background maps in Appendix B for details.

4.6 FEMA Floodplain

The FEMA floodplain map (Appendix B12) identifies a Base Flood Elevation (100-year flood elevation) of 14 feet NAVD 88 on the subject property. Areas within the Base Flood Elevation are considered Special Flood Hazard Areas (SFHA) per GHMC 18.10. The elevation of the top of the bulkhead is between 15.16 feet (NAVD 88) at the northwest end and 15.30 feet at the southeast end.

The top of bulkhead is at least one foot above the Base Flood Elevation. Therefore, only those portions of the subject property waterward of the bulkhead (beach) are within the SFHA; the remainder of the subject property is outside of the SFHA/100-year floodplain.

4.7 Aquatic Dive Survey

An aquatic dive survey was performed by Marine Surveys & Assessments on September 27, 2018. The aquatic dive survey covered an area consisting of the proposed marina redevelopment and a 25-foot buffer around all floats. The dive survey results identified patches of green algae (*Ulva sp.*), sugar kelp (*Saccharina latissimi*), and foliose red algae. Green algae patch coverage ranging from 20 percent to 100 percent. Sugar kelp coverage ranging from 5 percent to 50 percent. Foliose red algae coverage ranged from 2 percent to 5 percent (Marine Surveys & Assessments, 2018).

Native kelp has been identified as a critical fish and wildlife habitat area (CFWHA) per GHSM 6.2.5.24, and as such, requires a habitat assessment and management plan to assess all development within 300 feet of the CFWHA. The proposed float replacement project has been designed to impose the least impact feasible to the nearshore habitat by implementing square grating specifications into the overall design and locating the floats further out in the waterbody to prevent grounding during low tides. However, to minimize long term impact, a portion of the proposed float will unavoidably be located over areas of existing sugar kelp (transect T-20, T-25, and T-30). See Appendix E for details. Impacts associated with the location of the floats will be offset through improved float design, removal of tires as floats, removal of creosote treated wood support pile and decking, improved light availability under the floats and additional onsite mitigation. Grating of the floats will be provided at 50 percent of the deck surface containing at least 60 percent functional grating. Following removal of the existing solid float structures and placement of the proposed floats, the project area will result in a net reduction of 43 square feet of solid decking. As such, the overall project will improve light availability in the intertidal zone, providing more opportunity for native SAV to reestablish throughout the project area. While sections of T-21, T-25, and T-30 are expected to receive revised areas of overwater coverage from the proposed floats, the grating specifications should minimize impacts. Additionally, mitigation including removal of concrete debris within the intertidal zone should free nearshore intertidal substrate for SAV establishment, an enhancement over existing conditions. Overall, the removal of creosote structures, solid surfaces, and concrete debris are anticipated to benefit SAV and the nearshore habitat onsite, and result in no net loss of shoreline ecological function.

4.8 Precipitation

Precipitation data was obtained from the National Oceanic and Atmospheric Administration (NOAA) weather station at Seattle-Tacoma International Airport in order to obtain precipitation values during and preceding the field investigation. A summary of data collected is provided in Table 1.

Table 1. Precipitation Summary¹.

Date	Day Of	Day Before	1 Week Prior	2 Weeks Prior	Last 30 days (Observed/Normal)	Year-to-Date ² (Observed/Normal)	Percent of Normal (month/year)
2/18/19	0.05	Trace	2.42	3.33	5.55/4.45	23.24/23.26	~125/~100

Notes:

1. Precipitation volume in inches. Data obtained from the NOAA (<http://w2.weather.gov/climate/xmacis.php?wfo=sew>) for Seattle-Tacoma International airport.
2. Year-to-date precipitation is the total for the 2018/2019 year from October 1st to the onsite date(s).

During the February 18, 2019 site investigation, precipitation levels for the prior 30 days were above normal (approximately 122 percent of normal) and at normal for the 2018/2019 water year (approximately 100 percent of normal). This data suggests that hydrologic conditions encountered during the time of the site investigation were near normal. Such conditions were considered in determining wetland presence/absence.


Chapter 5. Results

On February 18, 2019, SVC conducted a site investigation to identify potentially-regulated wetlands, waterbodies, shorelines, fish and wildlife habitat, and/or priority species on, or within 300 feet of, the subject property. The site investigation identified the regulated shoreline of Gig Harbor Bay (Puget Sound waters) and associated aquatic habitat areas including patchy kelp bed areas and intertidal beach. No other potentially-regulated wetlands, waterbodies, fish and wildlife habitat, or priority species were identified within 300 feet of the subject property during the site investigation.

5.1 Shorelines

The site investigation identified the shoreline of Gig Harbor Bay on the northeastern portion of the subject property. The shoreline is developed with one commercial building that extends partially overwater on concrete piles, a concrete bulkhead with attached groins, an overwater deck, walkway, ramp (or gangway) and floats for boat moorage. The upper intertidal area within the subject property is mostly underneath the existing structures and contains predominantly silty, hard-packed substrate mixed with fine gravel, relic concrete and metal debris, as well as miscellaneous debris and an area that has been scoured by a surge of freshwater that occurred during a discrete event, release of surface water from the street, conveyed through a surface water outlet culvert on the bulkhead. Barnacles are attached to the bulkhead, pilings, and scattered rocks. The sparse upper intertidal vegetation consists of patches of green algae (*Ulva* sp.) and rockweed (*Fucus* sp.). The aquatic vegetation dive survey identified *Ulva* species, foliose red algae, and sugar kelp (*Saccharina lattissima*) in the intertidal and subtidal zones (Marine Surveys & Assessments, 2018). Please see Section 4.7 for additional information on the aquatic vegetation dive survey.

Table 2. Gig Harbor Bay Summary

SHORELINE INFORMATION SUMMARY		
	Waterbody	Gig Harbor Bay
	WRIA	15
	Local Jurisdiction	City of Gig Harbor
	Shoreline Designation	City Waterfront and Marine Deepwater
	Shoreline Structure Setback	10 feet due to the existence of a non-conforming structure
	Vegetation Conservation Strip	Same as shoreline structure setback
PHS Documented Habitat	Potential estuarine and marine wetlands	
Location of Shoreline Relative to the Proposed Project	The proposed project consists of float replacements and associated infrastructure upgrades landward of the existing building and along the existing building deck.	
Setback Condition	The area landward of OHW is developed with an existing commercial building that extends partially overwater. Parking is located upland of the building.	
Priority Species Present	The WDFW PHW map identifies surf smelt spawning along and adjacent to the subject property's shoreline.	

5.1.1 Shoreline Environment and Setback

The subject property's shoreline environment is designated as City Waterfront by the GHSMP SMP's Shoreline Environment Designations map. Per the GHSMP Table 6-1, the minimum non-conforming structure setback from OHW in the City Waterfront environment is 10 feet. However, the existing, non-conforming building extends waterward of OHW. The GHSMP 5.2.8.B designates all marine waters and underlying submerged lands waterward of extreme low tide level as Marine Deepwater.

Chapter 6. Regulatory Considerations and No Net Loss Analysis

The City of Gig Harbor Shoreline Master Program (GHSMP) Section 6.2.2 requires that all shoreline use and development should result in no net loss of ecological functions. The subject property's shoreline is currently fully developed. The project proposes replacement and upgrades to the marina and associated infrastructure. The existing boat moorage floats will be replaced and reconfigured to improve moorage access and to meet current design standards. In addition, parking area and accessibility upgrades are also necessary and proposed. Please see Section 2.2 and Appendix C for project details. Due to existing site conditions coupled with the proposed actions, no net loss of marine waters, shoreline ecological functions, or processes is proposed.

6.1 City of Gig Harbor Shoreline Requirements

The City of Gig Harbor Shoreline Master Program (GHSMP) Section 6.2.2 requires that all shoreline use and development should result in no net loss of ecological functions.

6.1.1 Shoreline Environment Designations and Setbacks

The GHSMP designates the subject property's shoreline as City Waterfront and the marine waters waterward of extreme low tide as Marine Deepwater. The purpose of the City Waterfront designation is to accommodate and foster a mix of uses and activities within the historic downtown commercial area of Gig Harbor. Per the GHSMP 5.2.5.A, the City Waterfront environment should protect and preserve the waterfront locations for water-dependent uses, including commercial fishing, boatyards, and marinas. The purpose of the proposed project is to support water-dependent uses by improving boat moorage and access and provide facility upgrades in compliance with current standards. This purpose is consistent with the City Waterfront designation to foster mixed uses and preserve water-dependent uses along the waterfront. Per the GHSMP 5.2.8.A, the purpose of the Marine Deepwater designation includes protecting and managing the unique characteristics and resources of the marine waters in Gig Harbor. The proposed project includes replacement and reconfiguration of the existing dock floats and support pile with materials that meet current design standards. Minor improvements to marina parking for safety and ADA-compliance are also proposed. These replacement and upgrade actions will result in an improvement in onsite shoreline functions associated with water quality and light availability to the marine environment. In addition, the project will provide intertidal area beach enhancement actions such as beach clean up and beach nourishment to restore degraded habitat areas. This action is consistent with the purpose of the Marine Deepwater designation.

The project is water dependent and the project will replace the marina moorage structure pursuant to DNR lease requirements. Adding ADA complaint and safe garbage storage area on marina parking.

GHSMP 7.11.9.3.e, public access amenities are also required for marina development. Per GHSMP 6.5.3, such public access shall provide visual access to the water at a minimum. However, as no development is proposed, only maintenance and upgrades for the existing water dependent use, the requirement for public access does not apply. The marina reconfiguration is water dependent and is not subject to Public Access requirements. K. Mahoney and Halsan personal communication, February 11, 2021.

6.1.2 Commercial Docks

Per the City of Gig Harbor SMP 7.11.7, piers, docks, and floats associated with commercial developments are allowed only when mitigation is provided and the dock is required to accommodate a water-dependent use or provides opportunities for a substantial number of people to access the shoreline. The proposed project will reconfigure and replace existing dock floats to improve moorage access. Pump-out services for boats will be provided through a regular marine pump-out service. The proposed project has been designed to follow mitigation sequencing. The replacement floats will be located further waterward than the existing floats, minimizing impacts to nearshore areas, and will meet current design standards for building materials and design, including the use of square grated decking surfaces (Appendix D) to better allow light to aquatic habitat areas under and surrounding the structure. Please see Section 6.3 below for full description of mitigation sequencing.

6.1.4 Vegetation Conservation Strip

The GHSMP 6.2.3.2 implements vegetation conservation strips for marine areas. Per the GHSMP 6.2.3.2.2 the vegetation conservation strip shall be maintained on all marine shorelines for all non-water dependent uses and shall not apply to water-dependent uses. Per the GHSMP Table 6-1, the standard minimum, non-conforming structure setback and vegetation conservation strip as measured from OHW in the City Waterfront environment is 10 feet. An additional 10-foot building setback is located adjacent to the vegetation conservation strip. The proposed project consists of marina upgrades and float replacements and associated infrastructure parking area and accessibility upgrades. The project is proposed for water-dependent uses and as such, there is no applicable vegetation conservation strip requirement. In addition, the existing development spans the width of the subject property and there is no available vegetation strip area. The project in its entirety includes the minimum necessary upgrades for the marina, which is a water-dependent use.

6.2 City of Gig Harbor Fish and Wildlife Habitat Requirements

The GHSMP 6.2.5.23 describes standards for critical fish and wildlife habitat areas located within the shoreline jurisdiction. Per GHSMP 6.2.5.23.2.a and 6.2.5.23.2.b critical fish and wildlife habitat requirements include: 1) areas with which federal or state endangered, threatened, and sensitive species of fish and wildlife have a primary association, and which, if altered, may reduce the likelihood that the species will maintain and reproduce over time, 2) kelp and eelgrass beds, and 3) surf smelt spawning habitat. Gig Harbor Bay provides habitat for federally threatened salmonid species, and WDFW identifies the subject property shoreline as surf smelt spawning habitat. In addition, the submerged aquatic vegetation assessment also identified kelp within the project area (Marine Surveys & Assessments, 2018). Per the GHSMP 6.2.5.23.4.b, a habitat management plan shall be prepared if a critical fish and wildlife habitat area is on or within 300 feet of the project site. A Habitat Management Plan is provided in Chapter 7.

6.3 No Net Loss and Mitigation Sequencing

Per the GHSMP 6.2.2.1, uses and developments that cause a net loss of ecological functions and processes shall be prohibited. Shoreline ecological functions on the subject property are impacted by the existing development. The proposed project will require temporary disturbance to the shoreline however, the completed project will improve habitat and water quality functions onsite by replacing outdated infrastructure and creosote-treated wood materials used in the moorage floats and support pile.. All of these measures will enhance water quality functions. Additionally, beach clean up and

beach nourishment actions will enhance habitat functions over the existing conditions and help to ensure that the project results in no net loss of shoreline ecological functions.

6.3.1 No Net Loss Analysis

The existing shoreline conditions on the subject property are highly developed and comprised of a vertical concrete bulkhead with groins, overwater commercial building with concrete support pile, solid surface overwater decking and walkway attached to the outside of the building and a dock for private commercial boat moorage comprised of a ramp and floats. These conditions are common in City Waterfront areas of Gig Harbor Bay, which is heavily developed. The overwater building and bulkhead extend across the length of the shoreline. The existing boat moorage is comprised of floats constructed of solid-surfaced wooden decking with tire floatation, and support pile made of creosote-treated wood. The upper intertidal beach is impacted by the development as well as debris and an eroded area at the base of an outlet culvert. Patchy kelp is present throughout the subtidal project area. The proposed project will expand and reconfigure the floats, increasing overwater coverage; however, the replacement float decking will be comprised of improved materials with grated decking surfaces. Overwater structure impacts to habitat includes shading of areas containing aquatic vegetation and the potential to alter juvenile salmon behavior. Juvenile salmonids have been observed to avoid the shaded areas beneath large overwater structures such as ferry terminals (Nightingale and Simenstad, 2001; Southard et al, 2006; and Toft et al, 2007). Overwater structures can also inhibit submerged aquatic vegetation growth through shading, resulting in decrease of cover and invertebrate biomass associated with submerged aquatic vegetation (Nightingale and Simenstad, 2001). The impacts to the nearshore environment will be offset by the improvements in dock design and materials and the enhancement of the upper intertidal environment. Grated surfaces will be provided on the floats, improving lighting conditions beneath the floats over the existing condition. The existing creosote treated materials will be removed from the water, resulting in an improvement in water quality. The upper intertidal beach along the length of the subject property’s shoreline currently contains scattered debris, including angular rock, concrete chunks, and metal wires and loose netting. The proposed project will remove this debris, improving the upper intertidal habitat and increasing beach substrate availability. In addition, implementation of beach nourishment is proposed within a scoured portion of the upper intertidal beach. The proposed improvements in lighting beneath the floats, water quality, and upper intertidal habitat will offset the proposed impact of the expanded overwater surface coverage, resulting in no net loss of ecological functions in the nearshore environment. Table 3, below, contains quantification of the project details for the no net loss analysis.

Table 3. No Net Loss Analysis Factors

Existing	Proposed Conditions	Net Change
1,698 square feet of solid-surfaced float decking	2,364 square feet of grated float decking uses grating with at least 60% open area ¹ 709.2 square feet of open space on the float decking	1,655 square feet of solid surface areas resulting from the replacement floats; a reduction of solid surface decking coverage by 43 square feet
6 creosote-treated wood pile anchoring the floats	10, 12-inch-diameter HDG steel pile	Increase in support pile by 4 piles

		Removal of an estimated 65.94 cubic feet of creosote-treated wood ³
16 square feet of overwater solid surface gangway/decking on southeast corner of building	15 square feet of open space on gangway decking surface	Reduction of solid surface decking coverage on the gangway to 10 square feet in elevated overwater structure coverage
Beach debris across 1,844 square feet of beach Beach erosion under culvert results in 102 square foot scour channel in upper intertidal beach	Removal of beach debris across 1,844 square feet of beach Install 5 cubic yards of beach nourishment to restore the beach	Approximately 3,400 square feet of intertidal beach habitat enhancement

Notes:

1. Square grating with at least 60% open area meet current dock design standards, details provided in Appendix D.
2. Cubic feet estimated assuming 14-foot height to piles and 12-inch diameter.

6.3.2 Mitigation Sequencing

Per the GHSMP 6.2.3 mitigation measures shall be applied as follows for proposed projects:

a) Avoidance of Impacts

The purpose of the proposed project is to maintain and upgrade the existing commercial marina; as such, replacement of the floats and support pile is necessary and temporary impacts unavoidable. The project will reconfigure existing dock floats to improve boat access and moorage opportunities, particularly for larger boats. In addition, associated infrastructure upgrades will be performed to provide ADA-access to the marina. All proposed grading and development activities associated with the parking will be located landward of the existing building onsite. As the shoreline buffer is heavily manipulated and degraded due to current use of the property, grading and parking upgrades are not expected to result in any adverse impacts, even temporarily, to the shoreline buffer. The proposed project is carefully designed to avoid and minimize impacts; however, full avoidance of impacts is not feasible given the project’s water-dependence and location of some submerged aquatic vegetation throughout the project area. The current dock design allows for grounding on the beach substrate during periods of low tide. To improve overall nearshore habitat and substrate a portion of the proposed floats will be located further in the waterbody, over identified patches of sugar kelp (Transect T-20, T-25, and T-30). The proposed project will result in a net expansion of 666 square feet of float, but will relocate the moorage to waterward and deeper areas over existing moorage.

b) Minimization of Impacts

The proposed project has been carefully designed to minimize impacts by sizing floats appropriate to the proposed project purpose and locating the replacement floats further waterward than the existing floats. The proposed waterward migration of the floats will locate the floats in deeper waters, minimizing impacts to shallow nearshore areas used by juvenile salmon. The proposed

replacement floats will contain grated surfaces and replace pollutant-generating creosote piles to improve light availability and water quality conditions near the floats. Additionally, locating the proposed floats farther in the water body will prevent grounding, and improve nearshore habitat. Impacts to identified kelp patches will be limited to overwater shading which is minimized with improved grating specifications. Further, grounding prevention will provide greater substrate for kelp to establish throughout the subject property. The proposed project will follow construction timing windows and use BMPs, including those for safe removal of creosote-treated material, to protect marine resources and minimize potential impacts during construction.

c) Rectifying the Impacts

In an effort to rectify impacts within the Project Area, the project actions will include clearing the entire intertidal shoreline area of several large items of trash and debris. The beach clean-up will restore uncluttered beach substrate conditions beneath the existing overwater commercial building and provide improved substrate for SAV establishment. And the implementation of beach nourishment will enhance the existing habitat conditions of the upper intertidal beach. Additionally, the improved PRF design is expected to provide self-mitigating qualities through a reduction in solid overwater structures, creosote materials, and grounding during low tides. Together the combined mitigation will ensure no net loss of shoreline or SAV ecological function onsite.

d) Reducing or Eliminating the Impacts Over Time

A maintenance and monitoring plan is included in Chapter 7 of this report.

e) Compensating for the Impacts

The proposed float replacement and expansion is subject to the federal permitting process. Additional mitigation measures for the float replacement and expansion may be proposed, as required, during the federal permitting process.

6.4 City of Gig Harbor FEMA ESA Habitat Assessment Requirements

GHMC 18.10.100 requires compliance with the ESA; specifically, this title prohibits development permits on any parcel partially or fully within the area of special flood hazard or riparian buffer zone unless the planning director or designee, after review of a habitat assessment report provided by the applicant, has determined the development meets the standards of No Effect or Not Likely to Adversely Affect (NLAA), or the applicant submits a letter from the National Marine Fisheries Service or the Federal Emergency Management Agency stating that the development complies with the requirements under the biological opinion and the ESA. FEMA identifies the base flood elevation (BFE) on the subject property at 14 feet NAVD 88. 14 feet NAVD 88 is located along the face of the bulkhead on the subject property; no work is proposed on the bulkhead or within the floodplain other than maintenance and upgrades that improve the habitat conditions onsite. Independent of FEMA's requirements, a Biological Evaluation has been prepared for the proposed project as part of the federal permitting process with USACE. The project is anticipated to result in NLAA to pertinent ESA-listed species and habitats located within the project vicinity.

6.5 State and Federal Regulatory Considerations

In a December 2, 2008 memorandum from the Environmental Protection Agency (EPA) and USACE, joint guidance is provided that describes waters that are to be regulated under section 404 of

the CWA (USACE, 2008). This memorandum was amended on February 2, 2012 where the EPA and USACE issued a final guidance letter on waters protected by the CWA.

The 2012 guidance describes the following waters where jurisdiction would be asserted: 1) traditional navigable waters, 2) interstate waters, 3) wetlands adjacent to traditional navigable waters, 4) non-navigable tributaries of traditional navigable waters that are relatively permanent meaning they contain water at least seasonally (e.g. typically three months and does not include ephemeral waters), and 5) wetlands that directly abut permanent waters. The regulated waters are those associated with naturally occurring waters and water courses and not artificial waters (i.e. stormwater pond outfalls).

The 2012 memorandum further goes on to describe waters where jurisdiction would likely require further analysis: 1) Tributaries to traditional navigable waters or interstate waters, 2) Wetlands adjacent to jurisdictional tributaries to traditional navigable waters or interstate waters, and 3) Waters that fall under the “other waters” category of the regulations.

In addition, the 2012 guidance identifies thirteen waters or areas where jurisdiction will not be asserted: 1) Wet areas that are not tributaries or open waters and do not meet the agencies regulatory definition of “wetlands”, 2) Waters excluded from coverage under the CWA by existing regulations, 3) Waters that lack a “significant nexus: where one is required for a water to be jurisdictional, 4) Artificially irrigated areas that would revert to upland if the irrigation ceased, 5) Artificial lakes or ponds created by excavating and/or diking dry land to collect and retain water and which are used exclusively for such purposes as stock watering, irrigation, settling basins, or rice growing, 6) Artificial reflecting pools or swimming pools excavated in uplands, 7) Small ornamental waters created by excavating and/or diking dry land to retain water for primarily aesthetic reasons, and puddles, 8) Water-filled depressions created incidental to construction activity, 9) Groundwater, including groundwater drained through subsurface drainage systems, 10) Erosional features (gullies and rills), 11) Non-wetland swales, 12) Ditches that are excavated wholly in uplands, drain only uplands or non-jurisdictional waters, and have no more than ephemeral flow, and 13) Ditches that do not contribute flow, either directly or through other waterbodies, to a traditional navigable water, interstate water, or territorial sea.

The proposed project area is located along the shoreline of Gig Harbor Bay (Puget Sound waters), a traditionally navigable water. The USACE recently (2/21/2020) released a Special Public Notice clarifying that Section 404 jurisdiction in tidal waters now extends to the high tide line (HTL) which is a site-specific elevation determined on a case-by-case basis. Generally, the HTL is higher than MHHW (i.e., the previous Section 404 jurisdictional boundary) and, on this site, is expected to be somewhere between approximately 11.78 feet and 14 feet relative to MLLW. USACE also regulates areas waterward and at MHW according to Section 10 of the Rivers and Harbors Act. The proposed dock project includes components waterward of both datums and as such the project will require approval of pertinent federal agencies, as permitted through review by the USACE.

Chapter 7. Habitat Management Plan

7.1 Description of Impacts

The Applicant proposes to reconfigure and replace the existing floats and perform associated infrastructure upgrades for the marina. Improved parking infrastructure will require minor grading and resurfacing within the shoreline buffer. All upland actions are located outside of any functional shoreline buffer area due to the location of a large building spanning the width of the subject property between the parking area and the water. In addition, all construction best management practices will be implemented to avoid temporary water quality impacts to Gig Harbor Bay. In order to meet the project purpose and improve moorage opportunity and facilities, temporary impacts within Gig Harbor Bay are unavoidable. The proposed project requires an expansion of float area and increase in number of support piles to a waterward position over the existing structure. Please see Section 6.3.1 and Table 3 above for the detailed summary of the actions. Overwater structure impacts include shading of submerged aquatic vegetation and the potential to alter juvenile salmon behavior. Juvenile salmonids have been observed to avoid the shaded areas beneath large overwater structures such as ferry terminals (Nightingale and Simenstad, 2001; Southard et al, 2006; and Toft et al, 2007). Overwater structures can also inhibit submerged aquatic vegetation growth through shading, resulting in decrease of cover and invertebrate biomass associated with submerged aquatic vegetation (Nightingale and Simenstad, 2001). Due to the presence of submerged aquatic vegetation, including kelp, throughout the project area, shading impacts to kelp are unavoidable. The replacement floats and piles will be designed to meet current design standards, resulting in an improvement of water quality and light availability compared to the existing conditions. No additional development impacts will occur within the upper intertidal area; as such, no permanent impacts to the mapped surf smelt spawning habitat is anticipated. Beach enhancement actions are proposed. Forage fish surveys will be conducted per regulatory approvals as needed to ensure that construction activities do not impact forage fish spawning activities.

7.2 Mitigation Strategy

The proposed project has been designed to avoid and minimize impacts to the shoreline environment, including the critical fish and wildlife habitat areas pursuant to the City of Gig Harbor SMP 6.2.5.23. The purpose of the proposed project is to maintain and upgrade boat moorage at an existing dock, and the proposed project is designed to avoid and minimize impacts relative to existing conditions. The proposed floats will be located further waterward than the existing floats, minimizing impacts to the shallow nearshore areas used by juvenile salmonids. The existing floats are decked with solid surfaces that completely shade the waters below. The proposed floats will be grated, improving light availability beneath the float surface, and have been designed to provide 709 square feet of lighted, open space using square grating. The improved lighting will benefit migrating fish and submerged aquatic vegetation in the project area. The proposed project will remove approximately 65.94 cubic feet of existing creosote material from the nearshore environment, resulting in improvements to water quality and aquatic organism health. The project actions also include the removal of debris that is scattered across 1,844 square feet of upper intertidal beach. The debris includes 691 square feet of concrete and 59 cubic feet of piping and rope and some netting. The implementation of approximately 5 cubic yards of beach nourishment on the upper intertidal beach will further enhance the habitat functions within the shoreline.

7.3 Restoration Approach and Construction Best Management Practices

Shoreline restoration actions will occur concurrently with project construction. TESC measures should be installed prior to the start of upland maintenance actions and actively managed for the duration of the project.

A concrete wash water collection basin should also be installed away from the shoreline area prior to commencement of construction activities requiring additional concrete work. All equipment staging and materials stockpiles should be kept out of the shoreline area, and the area will need to be kept free of spills and/or hazardous materials. All parking area surfacing should be sourced from upland areas onsite or from approved suppliers and will need to be free of pollutants and hazardous materials. Construction materials along with all construction waste and debris should be effectively managed and stockpiled on paved surfaces and kept free of the shoreline area.

All in-water work will be conducted during the appropriate salmonid work windows for Tidal Reference Area 4 (salmon and bull trout species: July 16 – February 15) and per regulatory approvals. The in-water work may be conducted outside of the surf smelt work window for Tidal Reference Area 4, provided the appropriate forage fish survey is conducted prior to commencing in-water work per regulatory approval. The approved work window for the protection of spawning surf smelt in Tidal Reference 4 is April 15 to September 30. Work requiring a forage fish survey will commence only upon a negative result from the forage fish surveys and as approved by WDFW.

The removal of the existing floats and piles will be conducted from a barge. The installation of the proposed dock will occur following the existing float removal and during high tide to avoid grounding by the barge during the installation.

BMPs for the removal of the treated creosote pile may include removing pilings slowly to minimize turbidity and sediment disturbance. Complete extraction of a pile is preferable to partial removal or cutting of a pile. Removal of the piles during a low tide is preferable to increase the likelihood of the pile remaining intact by allowing the operator greater visibility. Removed piles should not be shaken, hosed-off, stripped or scraped off, left hanging to drip or any other action intended to clean or remove adhering material from the piling while in or over the waters of Gig Harbor bay. Any sediment adhered to the removed piles should not be returned to the waterway. Adhered sediments associated with treated piles may be contaminated and may, along with the piles, require special handling and disposal. Removed piles should be expeditiously moved into the containment area for processing and disposed of at an approved offsite, upland facility.

When barge equipment is to be used, no grounding on the beach will be allowed. Excess or waste materials should be kept from entering the waterway to the maximum extent possible, and all excess or waste materials should be collected and recycled or disposed of at an approved facility. The contractor should comply with water quality restrictions as required by law and implement corrective measures if temporary water quality standards are exceeded. Care should be taken to prevent any petroleum products or other toxic or deleterious materials from entering the water. All construction equipment should be inspected daily for fluid leaks, and no equipment should leave the staging area until any leaks are repaired. The contractor should have a spill kit with oil-absorbent materials on-site to be used in the event of a spill or if any oil product is observed in the water. The contractor will be responsible for the preparation of a Spill Prevention, Control, and Countermeasures (SPCC) plan to

be used for the duration of the project and training crews in the SPCC plan if required by permitting agencies. No materials will be stockpiled outside of the staging area. Fueling and maintenance of equipment will occur in upland staging areas only.

7.4 Goals, Objectives, and Performance Standards

The goals and objectives for the proposed shoreline restoration actions are based on providing restored habitat and protection for Gig Harbor Bay, a shoreline of the state. The goals and objectives of the restoration actions are as follows:

Goal 1 – Restore the upper intertidal beach habitat to daylight and enhance beach substrates currently impacted and obscured by debris.

Objective 1 – Remove debris, including large angular rocks, and concrete chunks and other assorted debris within the upper intertidal beach onsite.

Performance Standard 1.1 – All debris of anthropogenic origin, including large angular rocks will be removed from 1,844-square-foot area beneath existing overwater commercial building within the upper intertidal environment onsite.

Objective 2 – Restore approximately 102 square feet of scoured upper intertidal beach area.

Performance Standard 2.1 – Approximately 5 cubic yards of beach nourishment materials, meeting WDFW materials specifications, will be carefully installed to restore the beach profile.

7.5 Long-Term Maintenance

The Applicant is committed to compliance with the shoreline restoration plan and overall success of the project. As such, the Applicant will continue to maintain the project, keeping the site free from non-native invasive vegetation, trash, and deleterious waste.

7.6 Reporting

A brief As-Built report detailing the dock construction, removal of creosote material, and beach enhancement measures will be prepared and submitted to the City of Gig Harbor within 3 months following the completion of the proposed project.

Chapter 8. Closure

The findings and conclusions documented in this assessment report have been prepared for specific application to the Boat Barn Marina site. These findings and conclusions have been developed in a manner consistent with that level of care and skill normally exercised by members of the environmental science profession currently practicing under similar conditions in the area. The conclusions and recommendations presented in this assessment report are professional opinions based on an interpretation of information currently available to us and are made within the operation scope, budget, and schedule of this project. No warranty, expressed or implied, is made. In addition, changes in government codes, regulations, or laws may occur. Due to such changes, our observations and conclusions applicable to this assessment may need to be revised wholly or in part in the future.

OHW determinations identified by SVC are based on conditions present at the time of the site visit and considered preliminary until the OHW determinations are validated by the jurisdictional agencies. Validation of the OHW determination and jurisdictional status of such features by the regulatory agencies provides a certification, usually written, that the OHW determination is verified are the units that will be regulated by the agencies until a specific date or until the regulations are modified. Only the regulatory agencies can provide this certification.

As waterbodies are dynamic communities affected by both natural and human activities, changes in boundaries may be expected; therefore, OHW determinations cannot remain valid for an indefinite period of time. Regulatory agencies may recognize the validity of an OHW determination for a period of 5 years after completion of an assessment report. However, natural events such as shoreline erosion may alter the location of OHW. In addition, changes in government codes, regulations, or laws may occur. Due to such changes, our observations and conclusions applicable to this site may need to be revised wholly or in part.

Chapter 9. References

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Appendix A — Methods and Tools

Table A1. Methods and tools used to prepare the report.

Parameter	Method or Tool	Website	Reference
Wetland Presence	USACE 1987 Wetland Delineation Manual	http://el.erdc.usace.army.mil/elpubs/pdf/wlman87.pdf	Environmental Laboratory. 1987. Corps of Engineers Wetlands Delineation Manual. Technical Report Y-87-1, US Army Engineer Waterways Experiment Station, Vicksburg, Mississippi.
	Regional Supplement to the Core of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region (Version 2.0)	http://www.usace.army.mil/Portals/2/docs/civilworks/regulatory/reg_supp/west_mt_final_supp.pdf	U.S. Army Corps of Engineers. 2010. <i>Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Western Mountains, Valleys, and Coast Region (Version 2.0)</i> , ed. J. S. Wakeley, R. W. Lichvar, and C. V. Noble. ERDC/EL TR-10-3. Vicksburg, MS: U.S. Army Engineer Research and Development Center.
Wetland Indicator Status	2018 National Wetland Plant List	https://wetland-plants.usace.army.mil/	U.S. Army Corps of Engineers. 2018. <i>National Wetland Plant List, version 3.4</i> Website.
Plant Names and Identification	USDA Plant Database	http://plants.usda.gov/	Website.
	Flora of the Pacific Northwest	http://www.washington.edu/uwpress/search/books/HITFLOC.html	Hitchcock, C.L. and A. Cronquist. 2018. <i>Flora of the Pacific Northwest: An Illustrated Manual, 2nd Edition</i> . University of Washington Press. Seattle, Washington.
Soils Data	NRCS Soil Survey	http://websoilsurvey.nrcs.usda.gov/app/	Website GIS data based upon: Zulauf, A.S. 1979. Soil Survey of Pierce County Area, Washington. Natural Resource Conservation Service. Washington D.C
	Soil Color Charts		Munsell® Color. 2000. Munsell® Soil Color Charts. New Windsor, New York.
	Field Indicators of Hydric Soils	https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcs142p2_053171.pdf	NRCS. 2018. <i>Field Indicators of Hydric Soils in the United States, Version 8.2</i> . L.M. Vasialas, G.W. Hurt, and C.V. Noble (eds.). USDA, NRCS, in cooperation with the National Technical Committee for Hydric Soils.
	Soil Data Access Hydric Soils List	https://www.nrcs.usda.gov/Internet/FSE_DOCUMENTS/nrcseprd1316620.html	NRCS. N.d. Soil Data Access Hydric Soils List (Soil Data Access Live).
Threatened and Endangered Species	Washington Natural Heritage Program	http://data-wadnr.opendata.arcgis.com/datasets/wnhp-current-element-occurrences	Washington Natural Heritage Program (Data published 07/19/17). Endangered, threatened, and sensitive plants of Washington. Washington State Department of Natural Resources, Washington Natural Heritage Program, Olympia, WA
	Washington Priority Habitats and Species	http://wdfw.wa.gov/hab/phspage.htm	Priority Habitats and Species (PHS) Program Map of priority habitats and species in project vicinity. Washington Department of Fish and Wildlife.
Species of Local Importance	WDFW GIS Data	http://wdfw.wa.gov/mapping/salmonscape/	Website
Report Preparation	City of Gig Harbor	https://www.cityofgigharbor.net/DocumentCenter/View/734/Gig-Harbor-Shoreline-Master-Program-PDF?bidId=	City of Gig Harbor Shoreline Master Program


Appendix B — Background Information

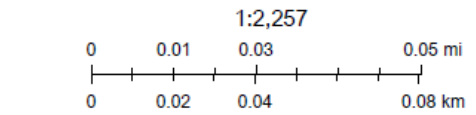
This appendix includes a Pierce County Contours Map (B1); NRCS Soil Survey Map (B2); USFWS NWI Map (B3); Pierce County Stream and Wetland Inventory Map (B4); WDFW PHS Map (B5); WDFW Forage Fish Map (B6); WSDOE Kelp Map (B7); WSDOE Eelgrass Map (B8); DNR Stream Typing Map (B9); WDFW SalmonScape Map (B10); and FEMA Flood Hazard Map (B11).

Appendix B1 — Pierce County Contours Map



1/28/2019, 8:34:41 AM

 Pierce Parcels _Query result




Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS,

Soundview Consultants

Appendix B2 — NRCS Soil Survey Map



1/28/2019, 8:55:06 AM

 Pierce Parcels _Query result

 NRCS Soil Survey  16D - Hestine gravelly ashy sandy loam, 15 to 30 percent slopes



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Soundview Consultants

Appendix B3 —USFWS NWI Map

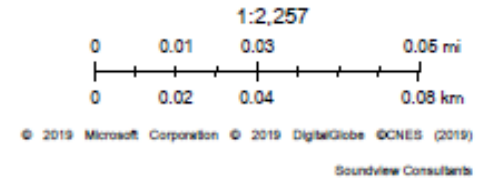


1/28/2019, 8:46:53 AM

Pierce Parcels _Query result
 Estuarine and Marine Wetland

NWI_Puget_Sound

Estuarine and Marine Deepwater



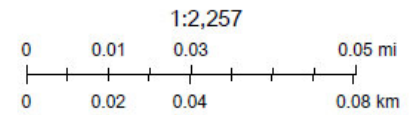
Appendix B4 — Pierce County Stream and Wetland Inventory



1/28/2019, 8:50:29 AM

Pierce Parcels _Query result Pierce_Wetlands

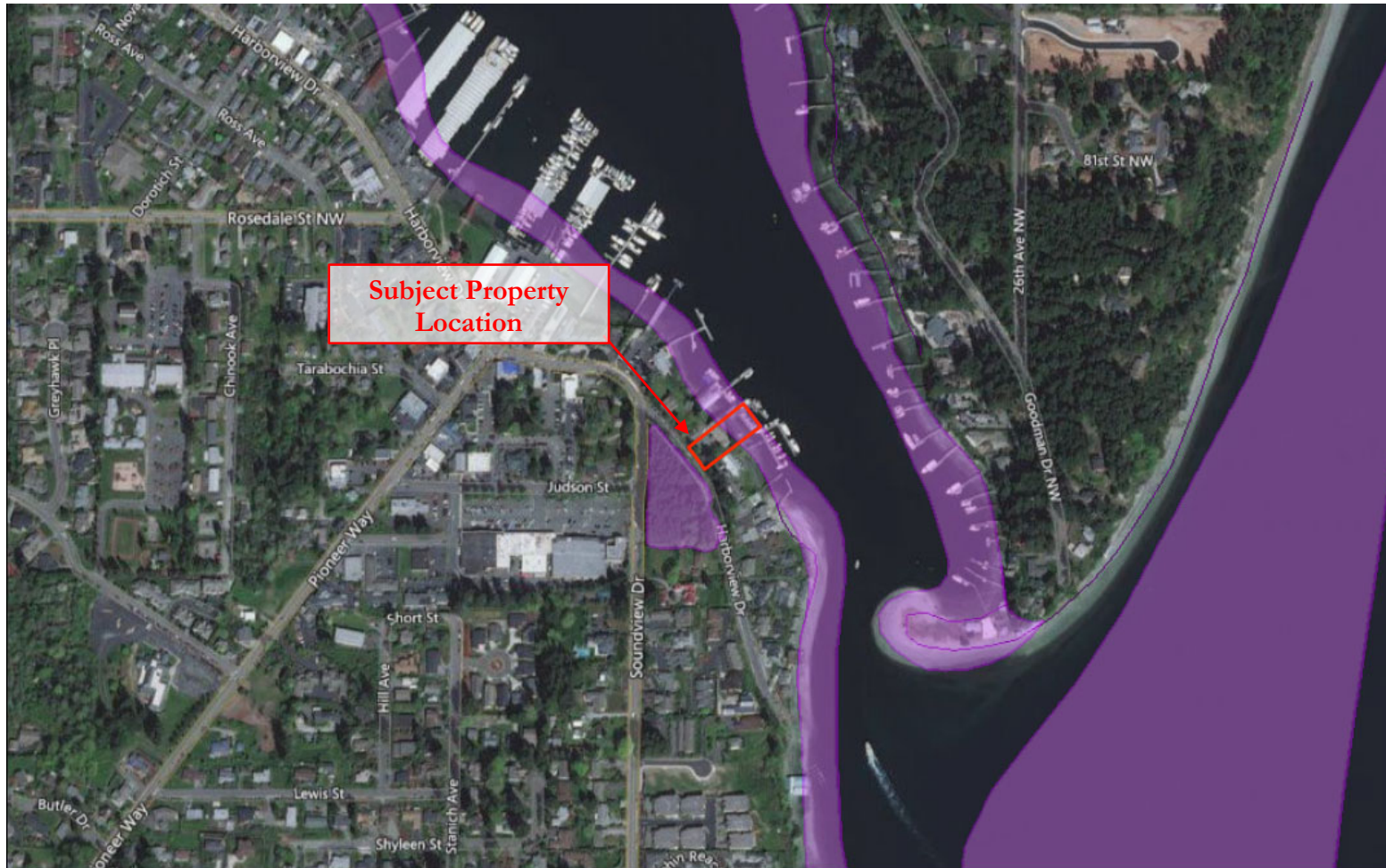
Pierce - Streams



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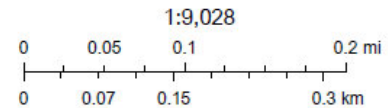
Soundview Consultants

Appendix B5 — WDFW PHS Map



1/28/2019, 9:25:17 AM

 Pierce Parcels _Query result



WDFW, © 2019 Microsoft Corporation © 2019 DigitalGlobe ©CNES (2019)

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WASHINGTON DEPARTMENT OF FISH AND WILDLIFE PRIORITY HABITATS AND SPECIES REPORT

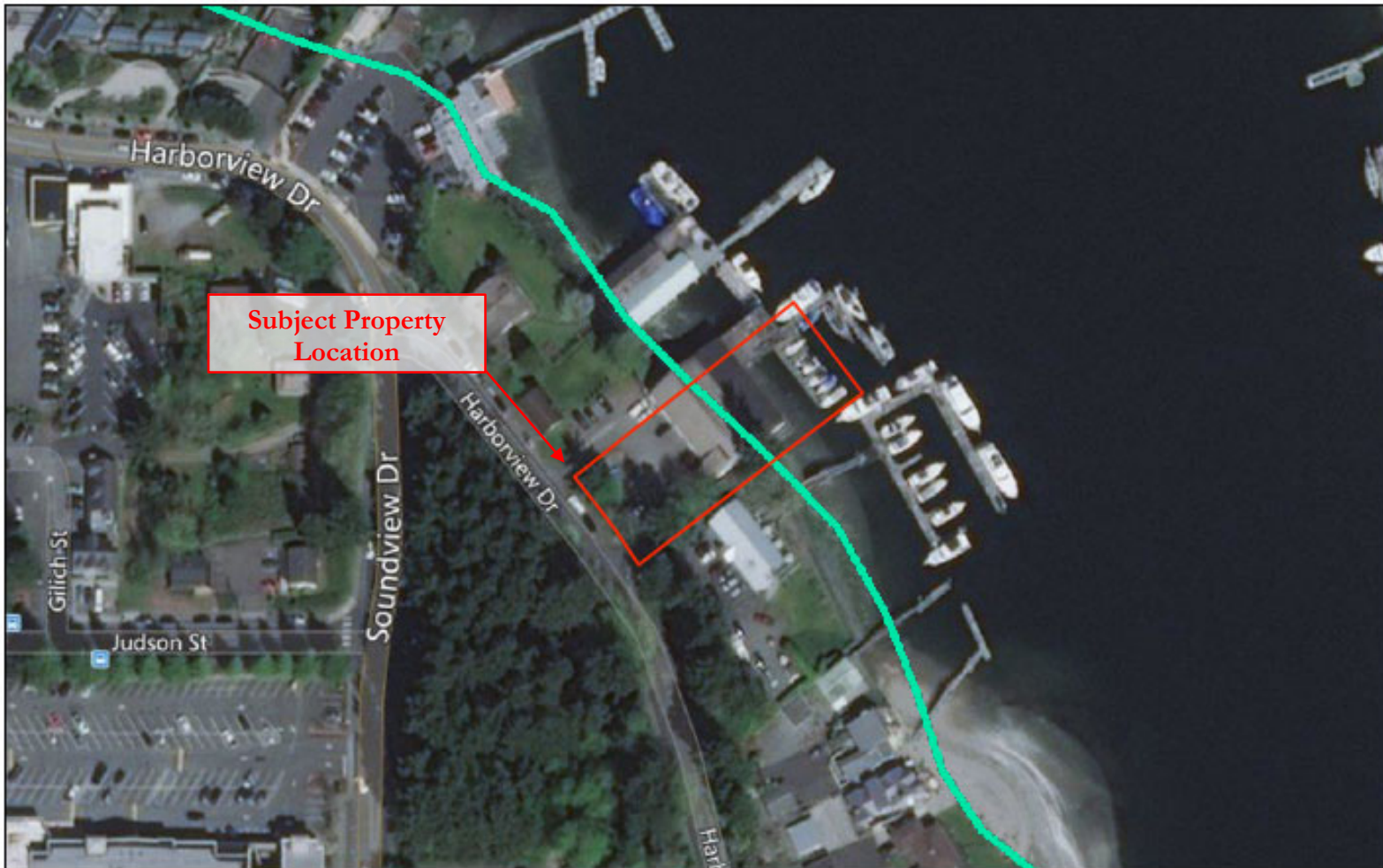
SOURCE DATASET: PHSPublic
REPORT DATE: 01/28/2019 9:32

Query ID: P190128093228

Common Name	Site Name	Priority Area	Accuracy	Federal Status	Sensitive Data	Source Entity
Scientific Name	Source Dataset	Occurrence Type		State Status	Resolution	Geometry Type
Notes	Source Record	More Information (URL)		PHS Listing Status		
	Source Date	Mgmt Recommendations				
Estuarine and Marine	N/A	Aquatic Habitat	NA	N/A	N	US Fish and Wildlife Service
	NW/Wetlands	Aquatic habitat		N/A	AS MAPPED	Polygons
		http://www.ecy.wa.gov		PHS Listed		
Great blue heron	DOWNTOWN GIG HARBOR	Breeding Area	Map 1:12,000 ↔ 33	N/A	N	WA Dept. of Fish and Wildlife
Ardea herodias	WS_OccurPolygon	Colony		N/A	AS MAPPED	Polygons
	4412			PHS LISTED		
	July 26, 2011	http://wdfw.wa.gov/publications/pub.php?				
Surf Smelt	Station Number: 10	Breeding Area	NA	N/A	N	WDFW
Hypomesus pretiosus	Forage_Fish_Survey	Breeding area		N/A	AS MAPPED	Lines
	32174			PHS Listed Species		
	December 13, 2016					

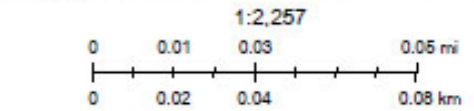
DISCLAIMER. This report includes information that the Washington Department of Fish and Wildlife (WDFW) maintains in a central computer database. It is not an attempt to provide you with an official agency response as to the impacts of your project on fish and wildlife. This information only documents the location of fish and wildlife resources to the best of our knowledge. It is not a complete inventory and it is important to note that fish and wildlife resources may occur in areas not currently known to WDFW biologists, or in areas for which comprehensive surveys have not been conducted. Site specific surveys are frequently necessary to rule out the presence of priority resources. Locations of fish and wildlife resources are subject to variation caused by disturbance, changes in season and weather, and other factors. WDFW does not recommend using reports more than six months old.

Appendix B6 — WDFW Forage Fish Map



1/28/2019, 9:08:09 AM

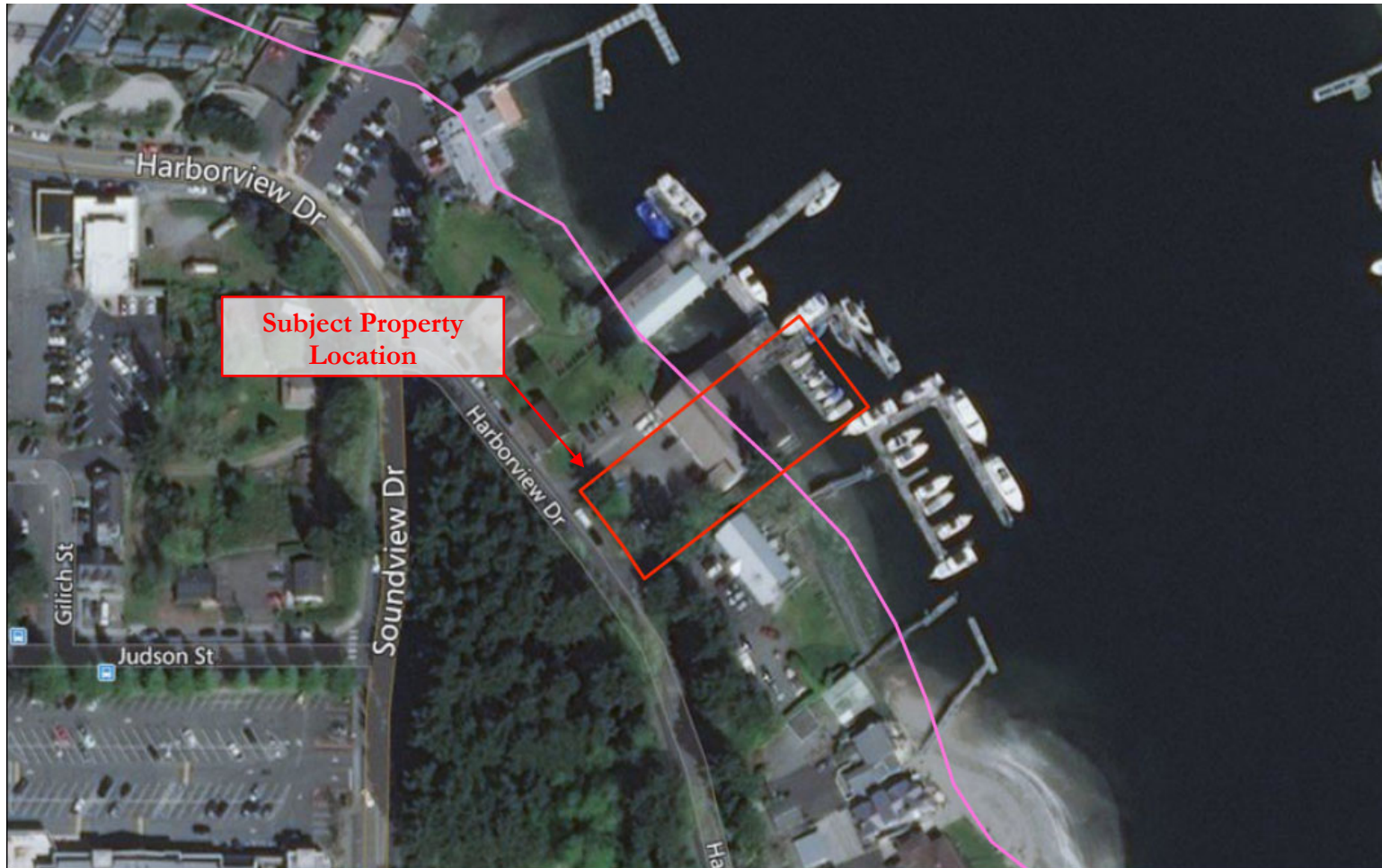
- Pierce Parcels _Query result
- Smelt Spawning
- Sand Lance Spawning
- Herring Spawning
- Pre-spawner Herring Holding Areas





These data were collected by WDFW staff with contributions from the North

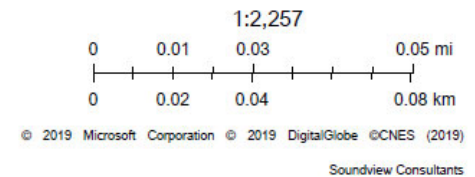
Soundview Consultants

Appendix B7 — WSDOE Kelp Map

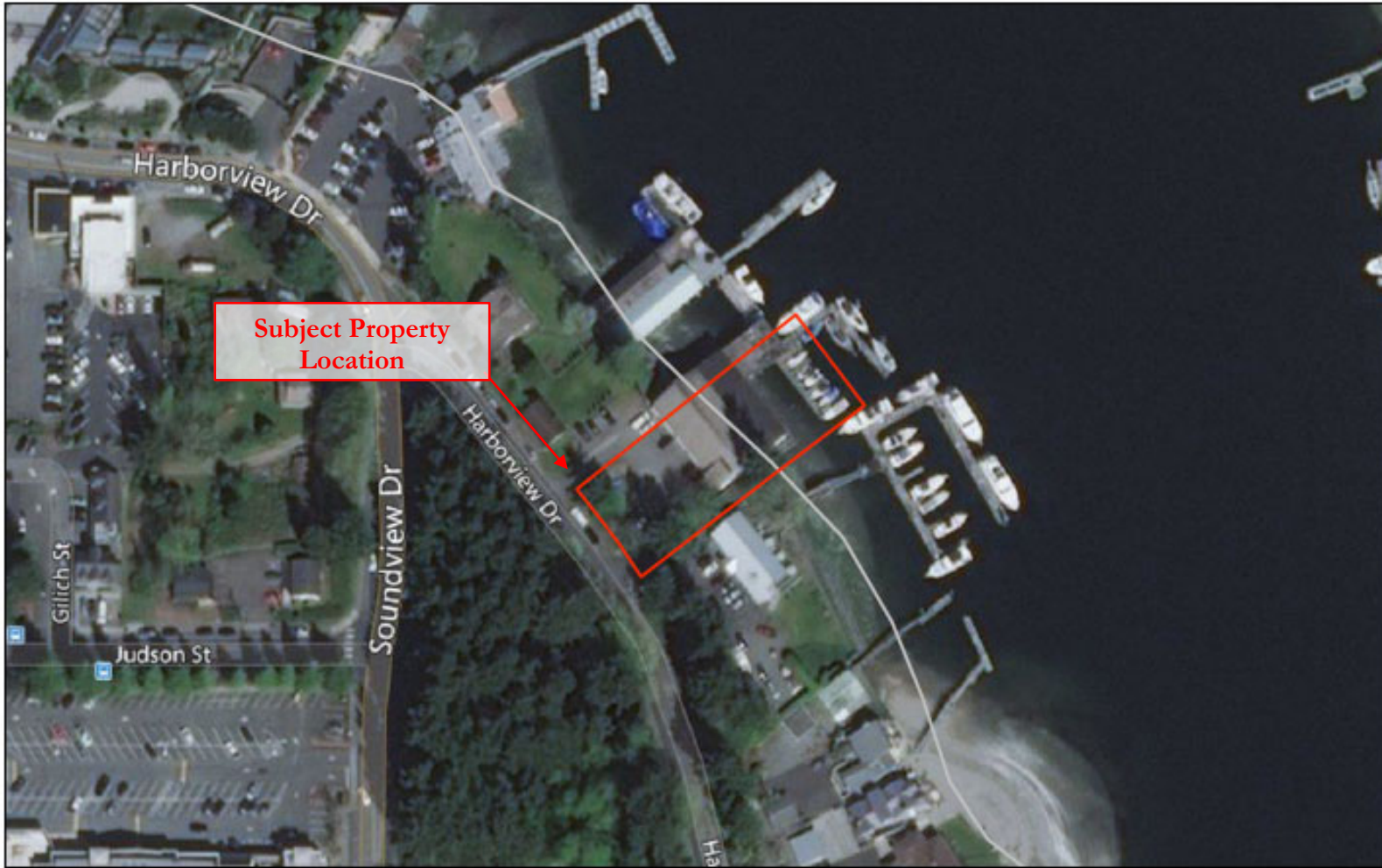


1/28/2019, 2:09:02 PM



 Pierce Parcels _Query result ECY - Kelp
 PATCHY

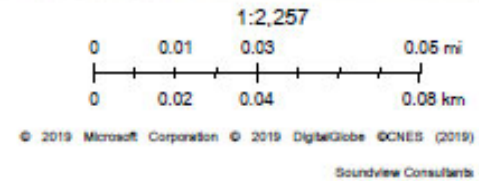


Appendix B8 — WSDOE Eelgrass Map

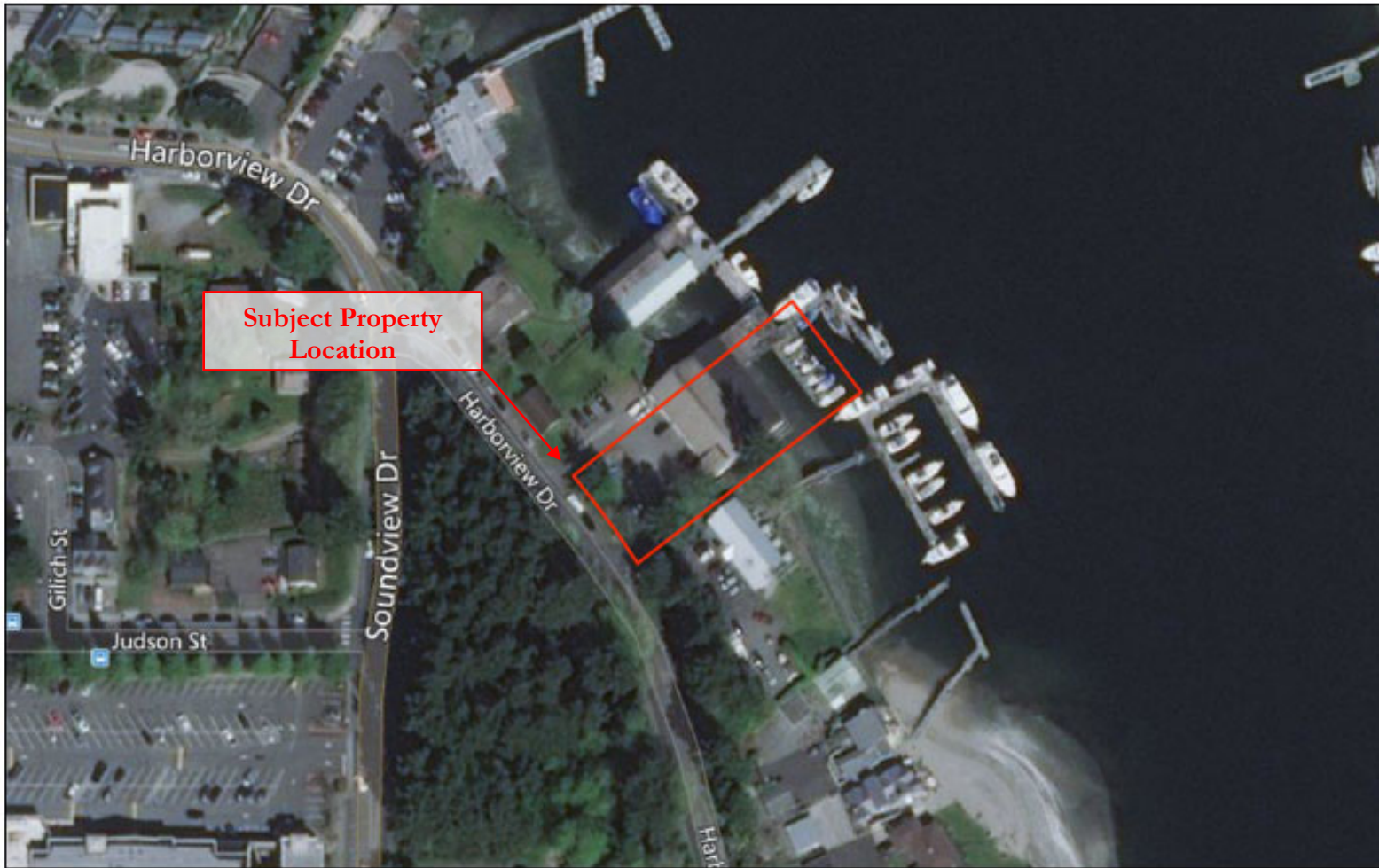


1/28/2019, 2:07:05 PM

 Pierce Parcels _Query result ECY - Eelgrass
 ABSENT

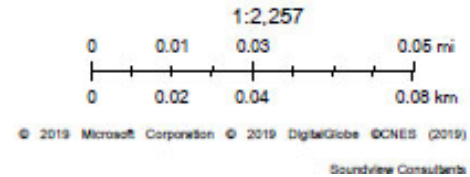


Appendix B9 — WDNR Stream Typing Map

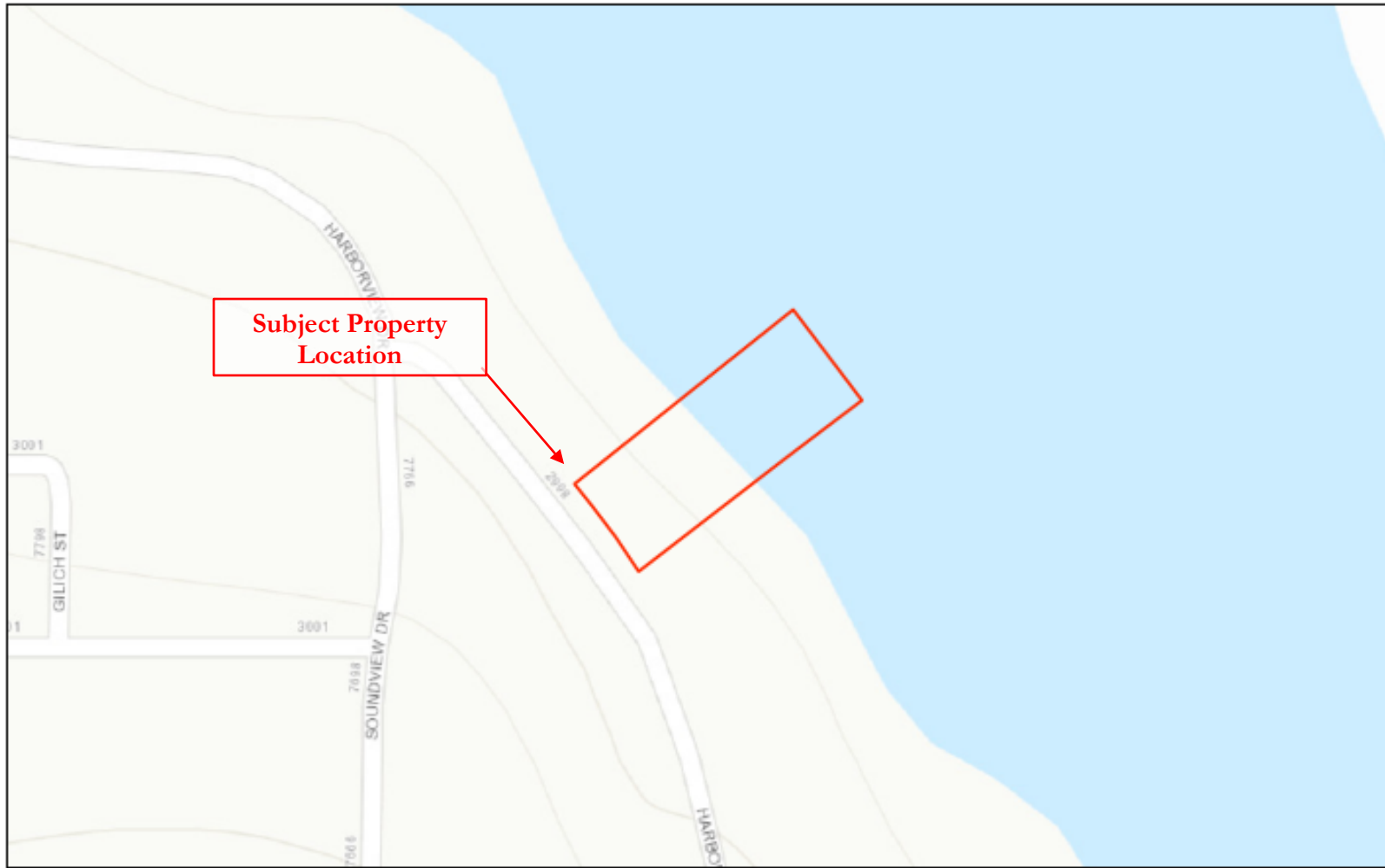


1/28/2019, 8:48:20 AM


- Pierce Parcels_Query result
- Type F
- X, non-typed per WAC 222-16
- Streams
- Type N, Np, Ns
- Stream Names
- Type S
- U, unknown

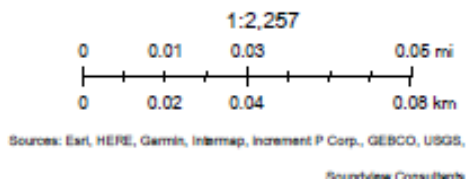


Appendix B10 — WDFW SalmonScape Map

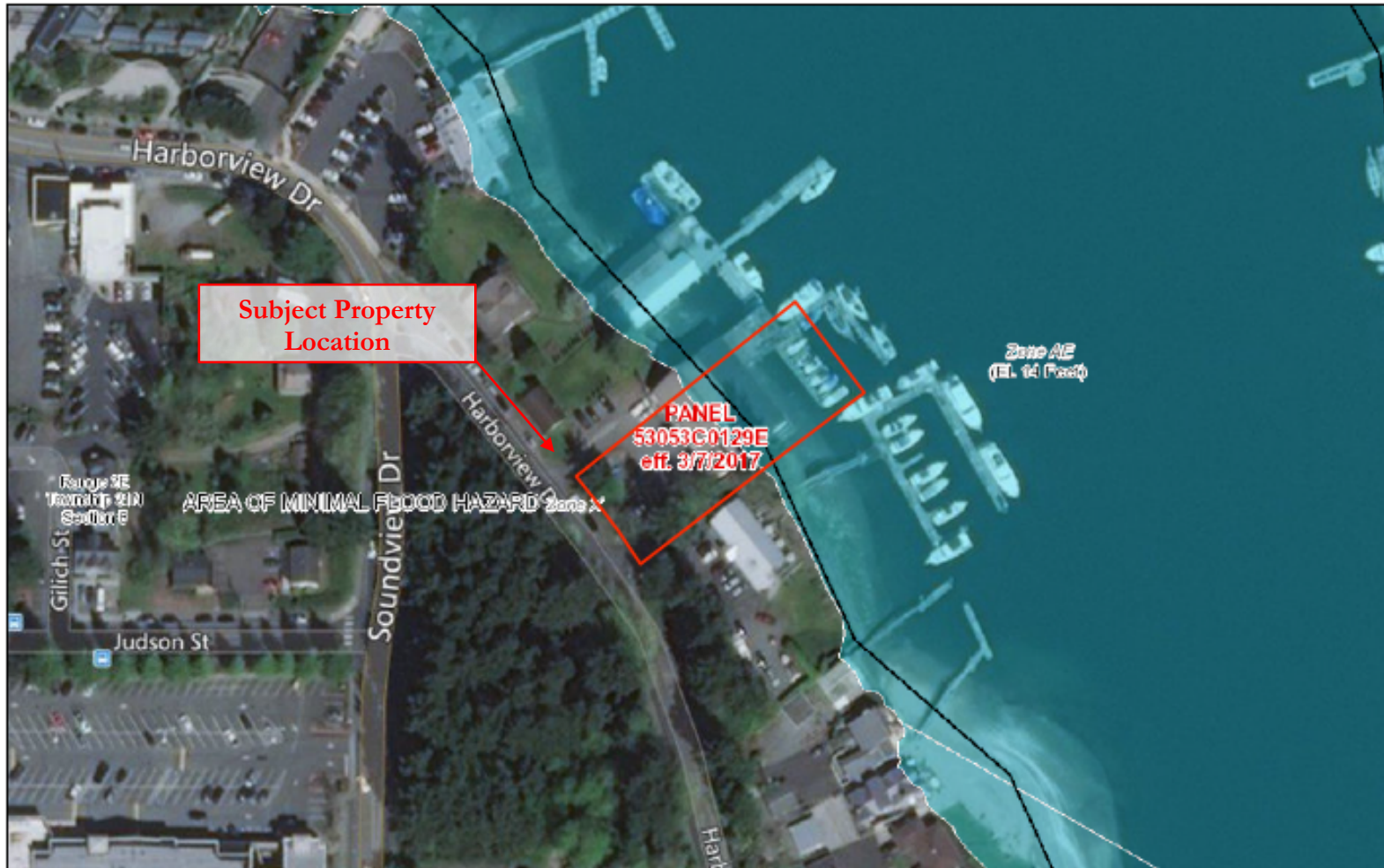


1/28/2019, 8:33:21 AM

 Pierce Parcels _Query result

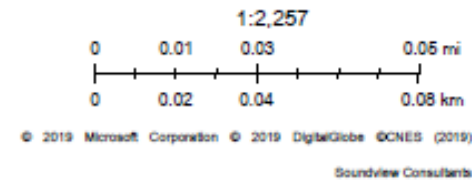


Appendix B11 — FEMA Floodplain Map



1/28/2019, 9:04:12 AM

- Pierce Parcels_Query result
- Regulatory Floodway
- 0.2% Annual Chance Flood Hazard
- Flood Hazard Zones**
- 1% Annual Chance Flood Hazard
- Area of Undetermined Flood Hazard
- Special Floodway



Appendix C — Site Plan

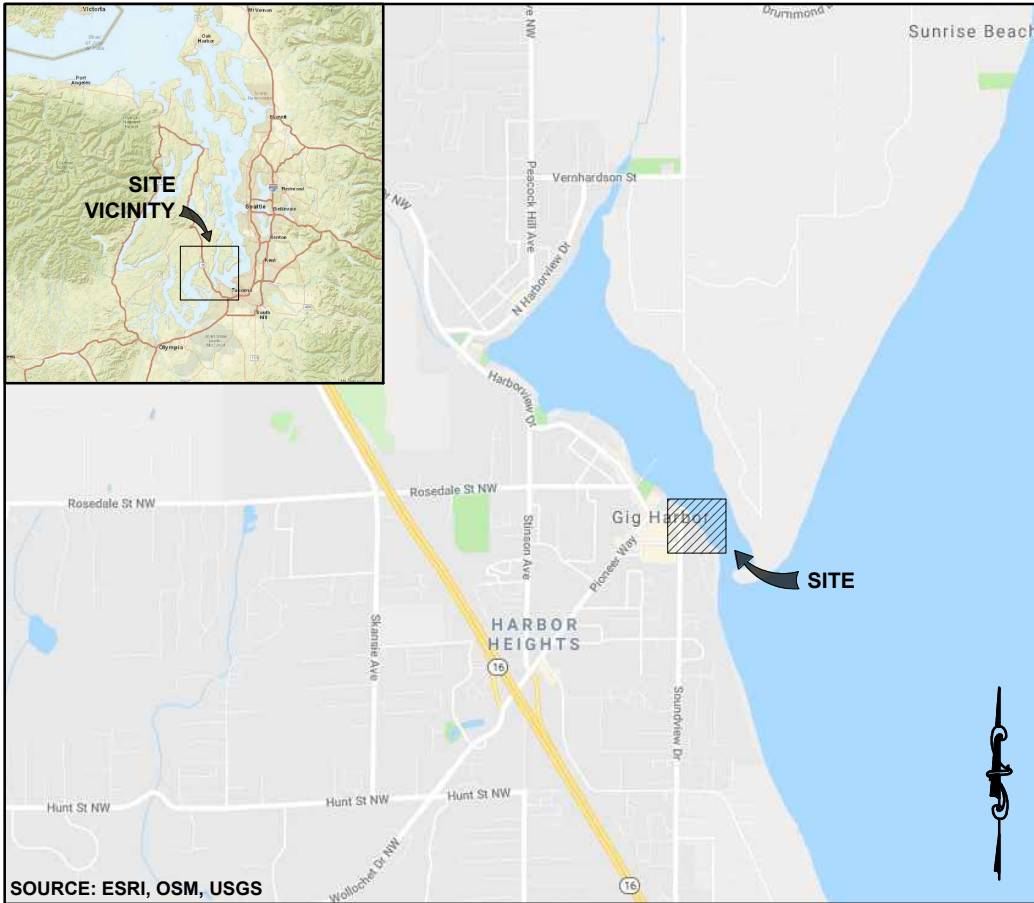
LOCATION:

THE Q 12 OF SECTION 08, TOWNSHIP 21 N, RANGE 02 E, W.M.

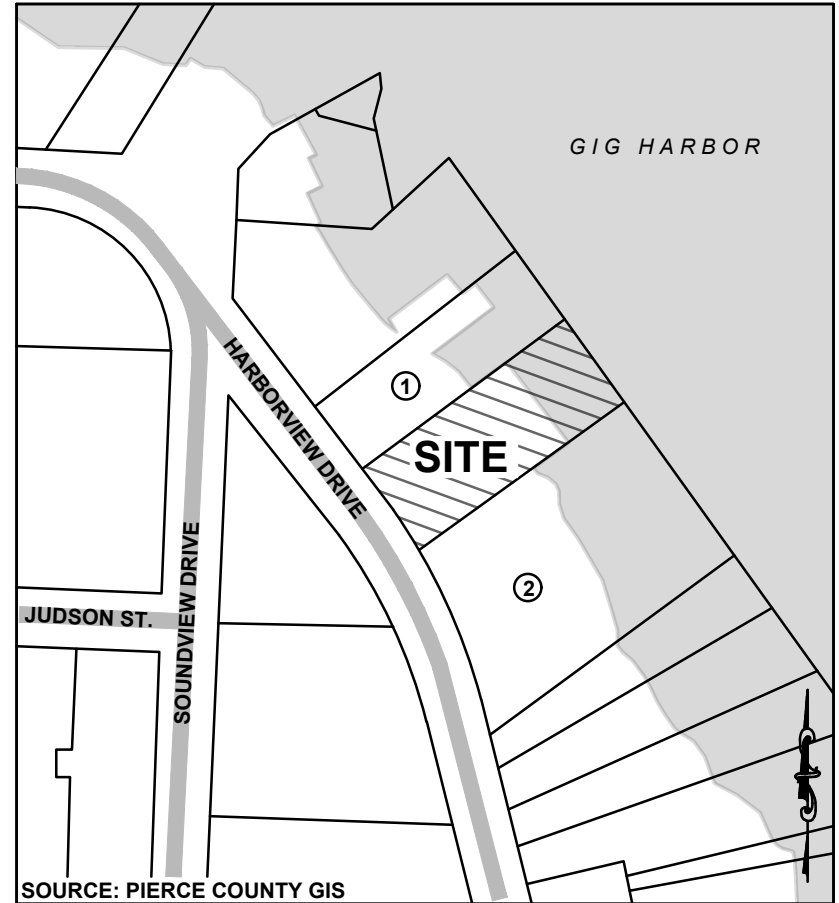
PIERCE COUNTY PARCEL NUMBERS: 0221081058

LAT 47°19'42.83" N LONG -122°34'39.1" W

VICINITY MAP



ADJACENT OWNERSHIP



ADJACENT OWNERS:

1. **BABICH-BAILEY NET SHED LLC**
2. **HORSEHEAD INVESTMENTS LLC**

PROJECT: BOAT BARN MARINA

PURPOSE: PROVIDE NEW DOCK FACILITY

DNR AQUATIC LEASE NO. 22-A02767

IN: GIG HARBOR

NEAR: COLVOS PASSAGE

SITE ADDRESS: 2907 HARBORVIEW DR.
GIG HARBOR, WA 98335

COUNTY: PIERCE

APPLICANT: XITCO, LUKE

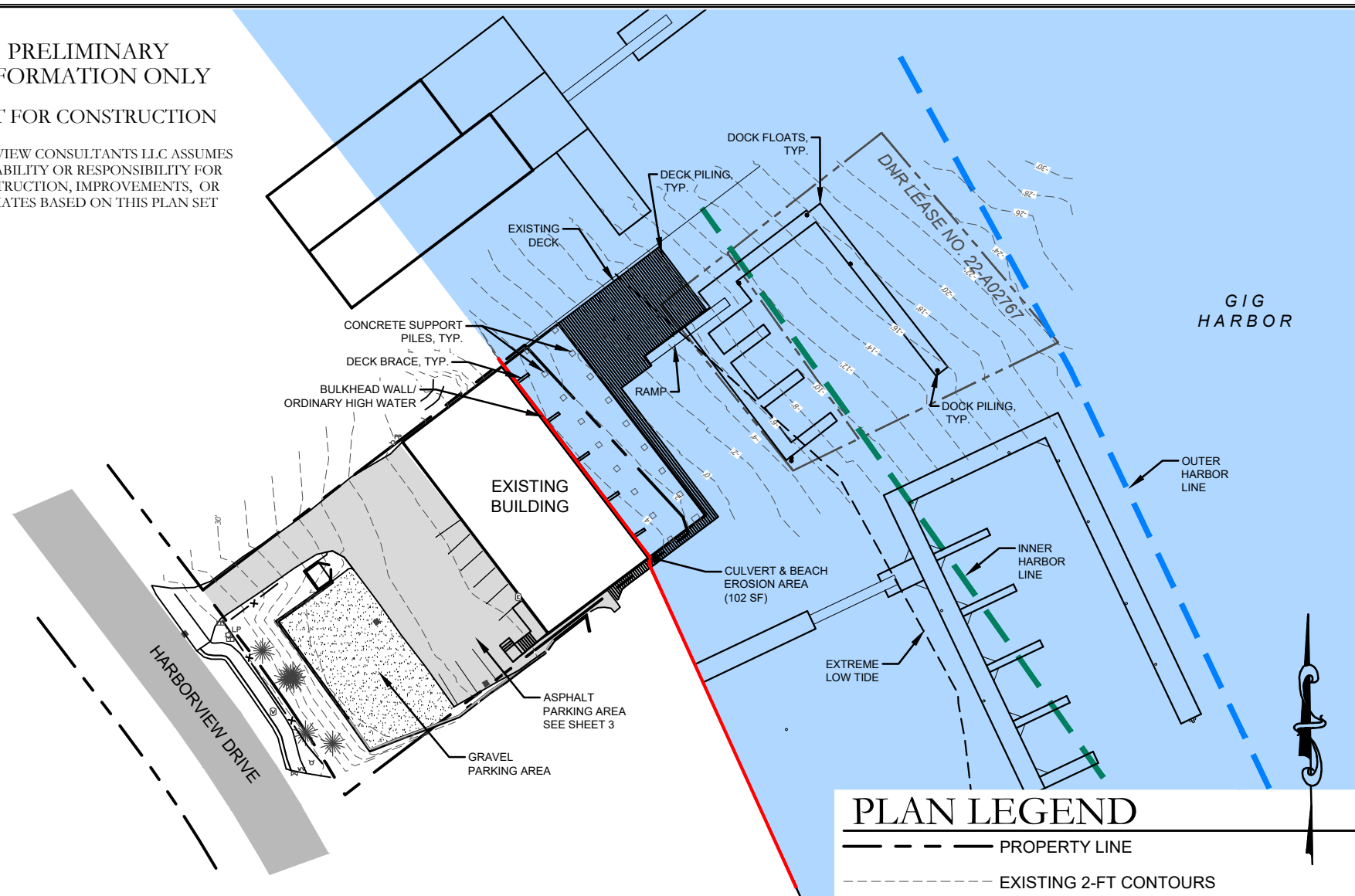
SHEET: 1

DATE: 02/28/2023

**PRELIMINARY
INFORMATION ONLY**

NOT FOR CONSTRUCTION

SOUNDVIEW CONSULTANTS LLC ASSUMES
NO LIABILITY OR RESPONSIBILITY FOR
CONSTRUCTION, IMPROVEMENTS, OR
ESTIMATES BASED ON THIS PLAN SET



PLAN LEGEND

- PROPERTY LINE
- EXISTING 2-FT CONTOURS

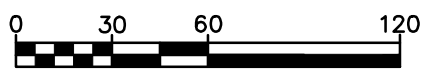


TIDAL DATUM (NAVD 88)

MEAN HIGHER HIGH WATER	= +9.199±
MEAN HIGHER WATER	= +8.317±
MEAN LOW WATER	= +.358±
MEAN LOWER LOW WATER	= -2.234±

NOTE: TIDAL ELEVATIONS DRAWN APPROXIMATELY.

EXISTING CONDITIONS



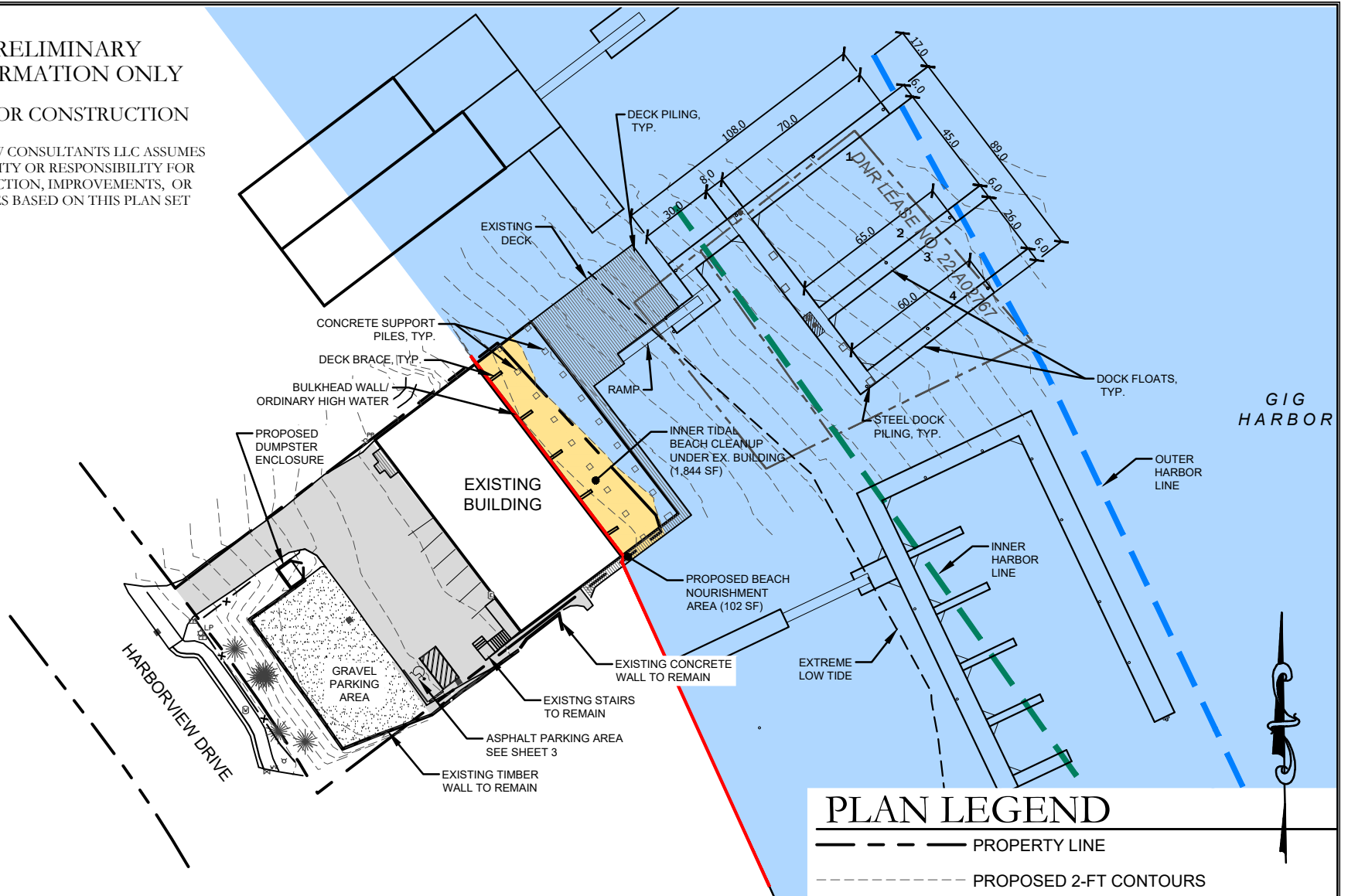
**GRAPHIC SCALE
1"=60'**

DNR AQUATIC LEASE NO. 22-A02767	
IN: GIG HARBOR	
NEAR: COLVOS PASSAGE	
COUNTY: PIERCE	
APPLICANT: XITCO, LUKE	
SHEET: 2	DATE: 02/28/2023

**PRELIMINARY
INFORMATION ONLY**

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CONSTRUCTION, IMPROVEMENTS, OR
ESTIMATES BASED ON THIS PLAN SET



PLAN LEGEND

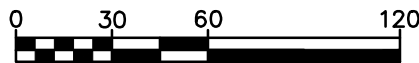
- PROPERTY LINE
- PROPOSED 2-FT CONTOURS

TIDAL DATUM (NAVD 88)

MEAN HIGHER HIGH WATER	= +9.199±
MEAN HIGHER WATER	= +8.317±
MEAN LOW WATER	= +.358±
MEAN LOWER LOW WATER	= -2.234±

NOTE: TIDAL ELEVATIONS DRAWN APPROXIMATELY.

PROPOSED SITE PLAN



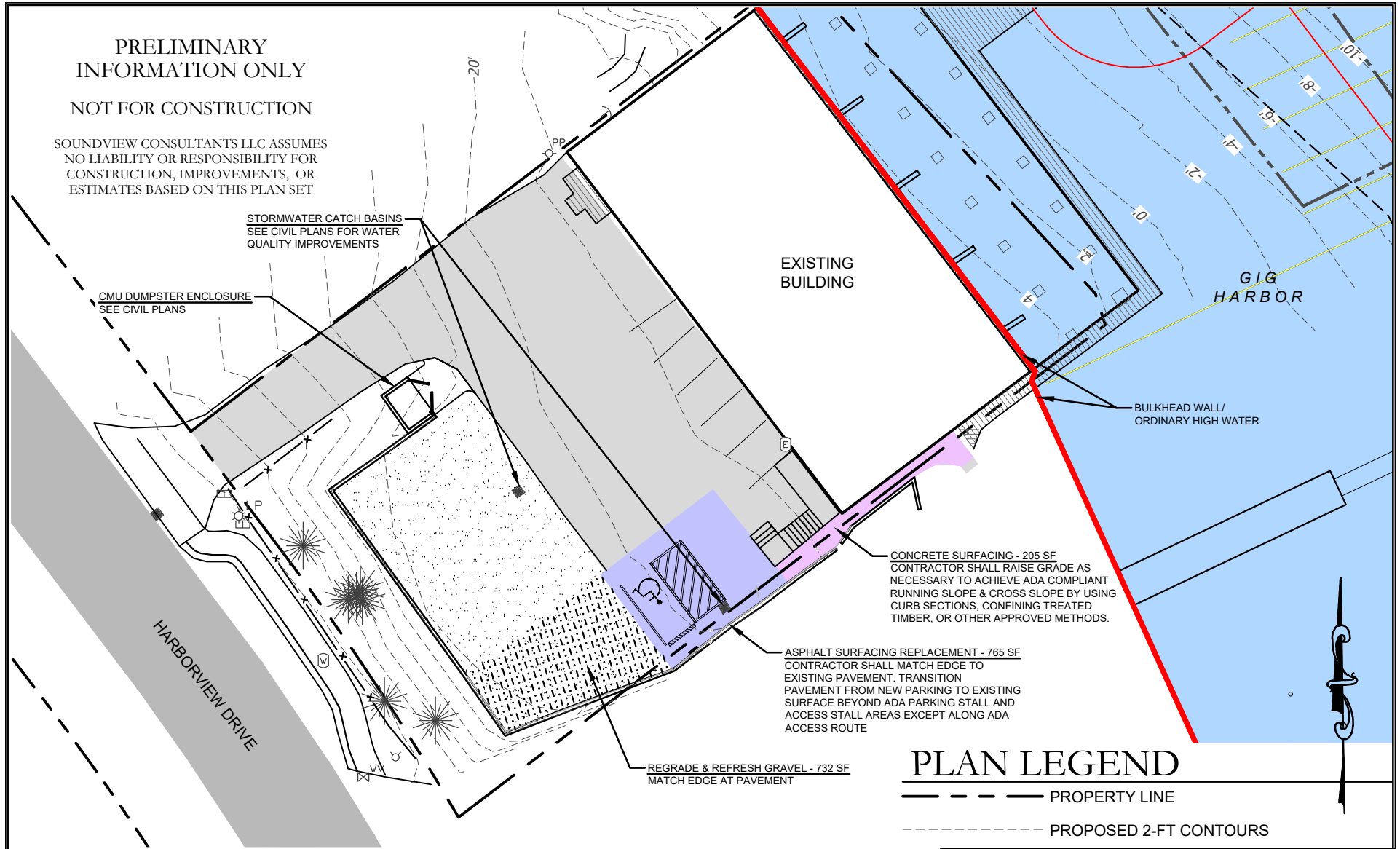
GRAPHIC SCALE
1"=60'

DNR AQUATIC LEASE NO. 22-A02767	
IN: GIG HARBOR	
NEAR: COLVOS PASSAGE	
COUNTY: PIERCE	
APPLICANT: XITCO, LUKE	
SHEET: 3	DATE: 02/28/2023

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CONSTRUCTION, IMPROVEMENTS, OR
ESTIMATES BASED ON THIS PLAN SET



STORMWATER CATCH BASINS
SEE CIVIL PLANS FOR WATER
QUALITY IMPROVEMENTS

CMU DUMPSTER ENCLOSURE
SEE CIVIL PLANS

EXISTING
BUILDING

GIG
HARBOR

BULKHEAD WALL/
ORDINARY HIGH WATER

CONCRETE SURFACING - 205 SF
CONTRACTOR SHALL RAISE GRADE AS
NECESSARY TO ACHIEVE ADA COMPLIANT
RUNNING SLOPE & CROSS SLOPE BY USING
CURB SECTIONS, CONFINING TREATED
TIMBER, OR OTHER APPROVED METHODS.

ASPHALT SURFACING REPLACEMENT - 765 SF
CONTRACTOR SHALL MATCH EDGE TO
EXISTING PAVEMENT. TRANSITION
PAVEMENT FROM NEW PARKING TO EXISTING
SURFACE BEYOND ADA PARKING STALL AND
ACCESS STALL AREAS EXCEPT ALONG ADA
ACCESS ROUTE

REGRADE & REFRESH GRAVEL - 732 SF
MATCH EDGE AT PAVEMENT

HARBORVIEW DRIVE

PLAN LEGEND

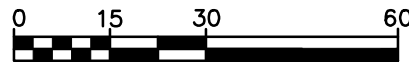
- — — — — PROPERTY LINE
- - - - - PROPOSED 2-FT CONTOURS

TIDAL DATUM (NAVD 88)

MEAN HIGHER HIGH WATER	= +9.199±
MEAN HIGHER WATER	= +8.317±
MEAN LOW WATER	= +.358±
MEAN LOWER LOW WATER	= -2.234±

NOTE: TIDAL ELEVATIONS DRAWN
APPROXIMATELY.

PROPOSED ADA IMPROVEMENTS



GRAPHIC SCALE
1"=30'

DNR AQUATIC LEASE NO. 22-A02767

IN: GIG HARBOR

NEAR: COLVOS PASSAGE

COUNTY: PIERCE

APPLICANT: XITCO, LUKE

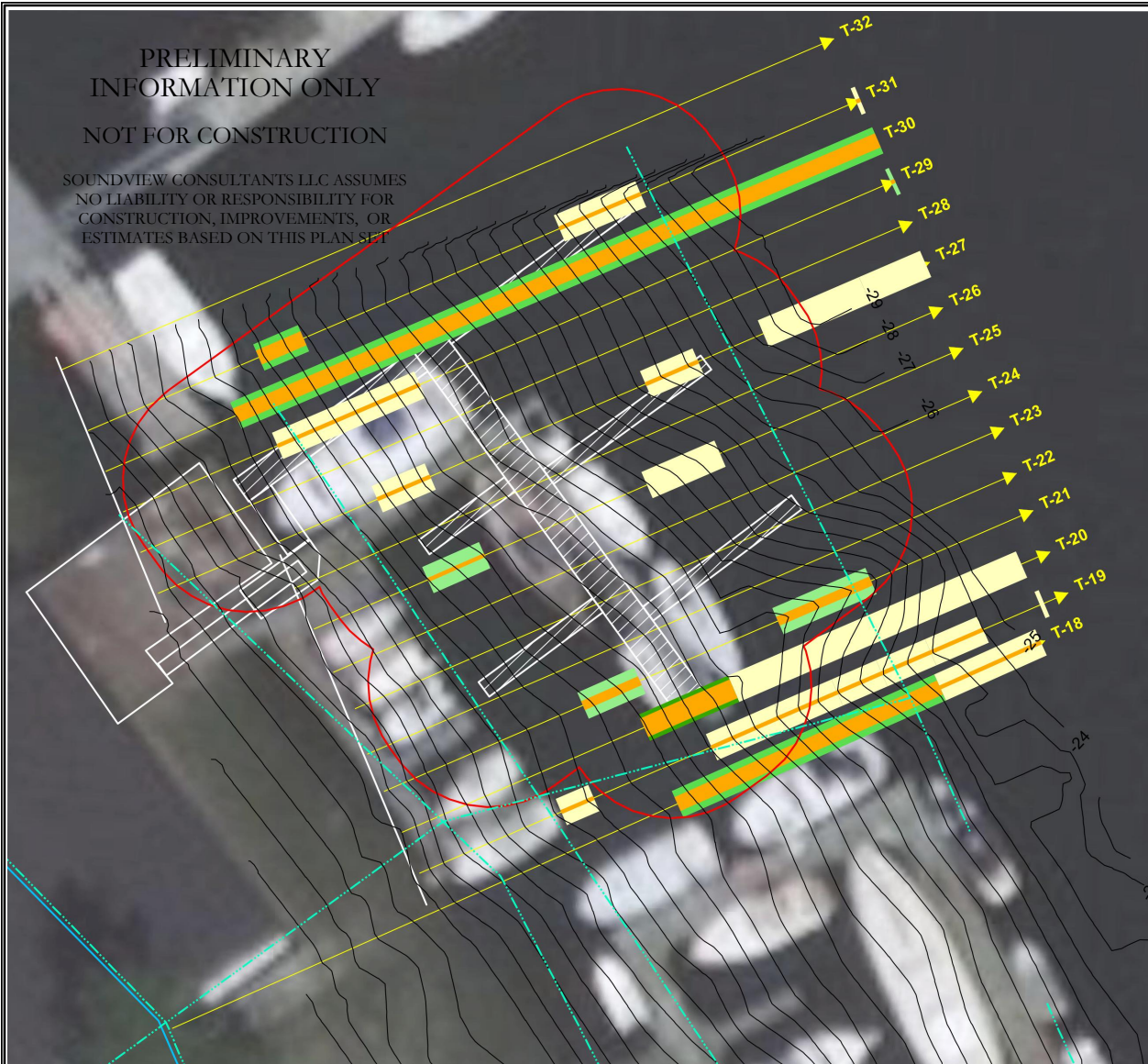
SHEET: 4

DATE: 02/28/2023

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CONSTRUCTION, IMPROVEMENTS, OR
ESTIMATES BASED ON THIS PLAN SET



Macroalgae within Buffer	
Total Sq Ft of Buffer	18303.1
Total Sq Ft Algae (not incl. Ulva)	1155.6
Total Sq Ft Kelp	1136.2
% Algae Cover (not incl. Ulva)	6.3%
% Kelp Cover	6.2%

Legend

- Marina Boundaries (MF 02-18-2019)
 - Existing bulkhead (per MF CAD)
 - Existing to remain
 - Proposed
 - Survey Baselines
 - Transects
 - *Est Depth (ft MLLW)
 - Boat Barn 25 Ft Float Buffer
- Saccharina % Cover**
- 2.0 - 10.0
 - 10.1 - 25.0
 - 25.1 - 75.0
 - 75.1 - 80.0
- Total Veg % Cover (no Ulva)**
- 2.0 - 10.0
 - 10.1 - 25.0
 - 25.1 - 75.0
 - 75.1 - 80.0



TIDAL DATUM (NGVD 29)

MEAN HIGHER HIGH WATER = +7.14±
 MEAN HIGHER WATER = +6.20±
 MEAN LOW WATER = -4.27±
 MEAN LOWER LOW WATER = -7.34±



EELGRASS SURVEY



GRAPHIC SCALE
1"=40'

NOTE: TIDAL ELEVATIONS DRAWN APPROXIMATELY.

DNR AQUATIC LEASE NO. 22-A02767

IN: GIG HARBOR

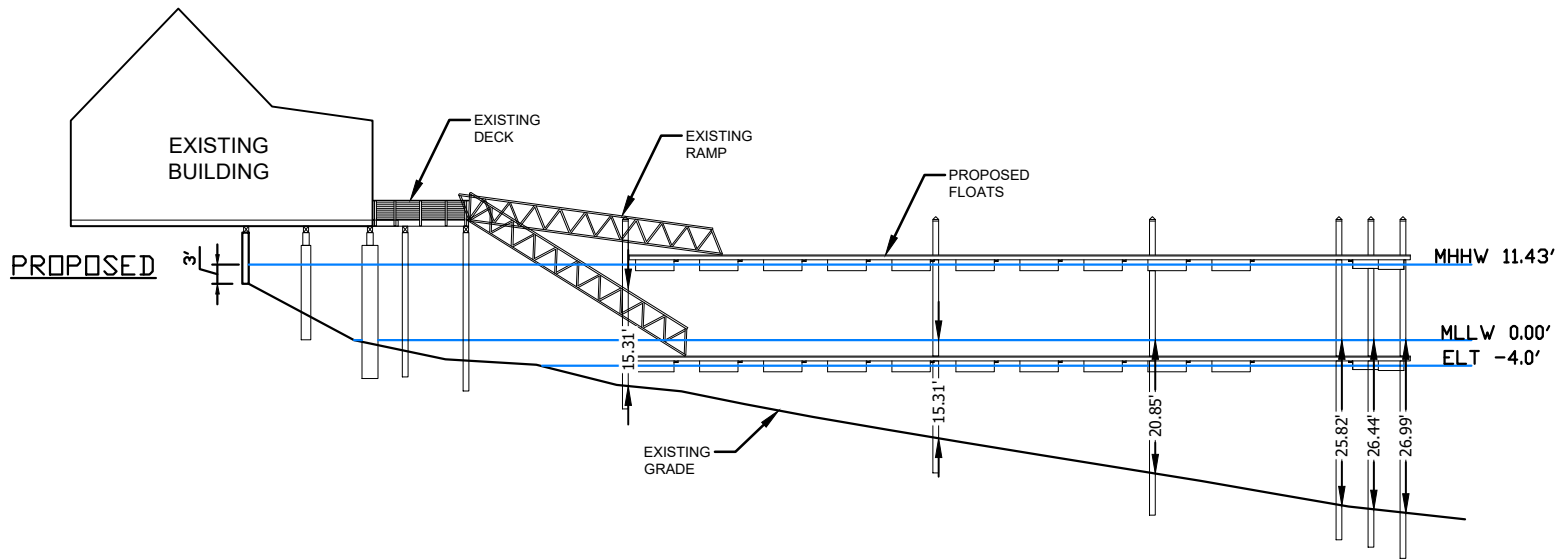
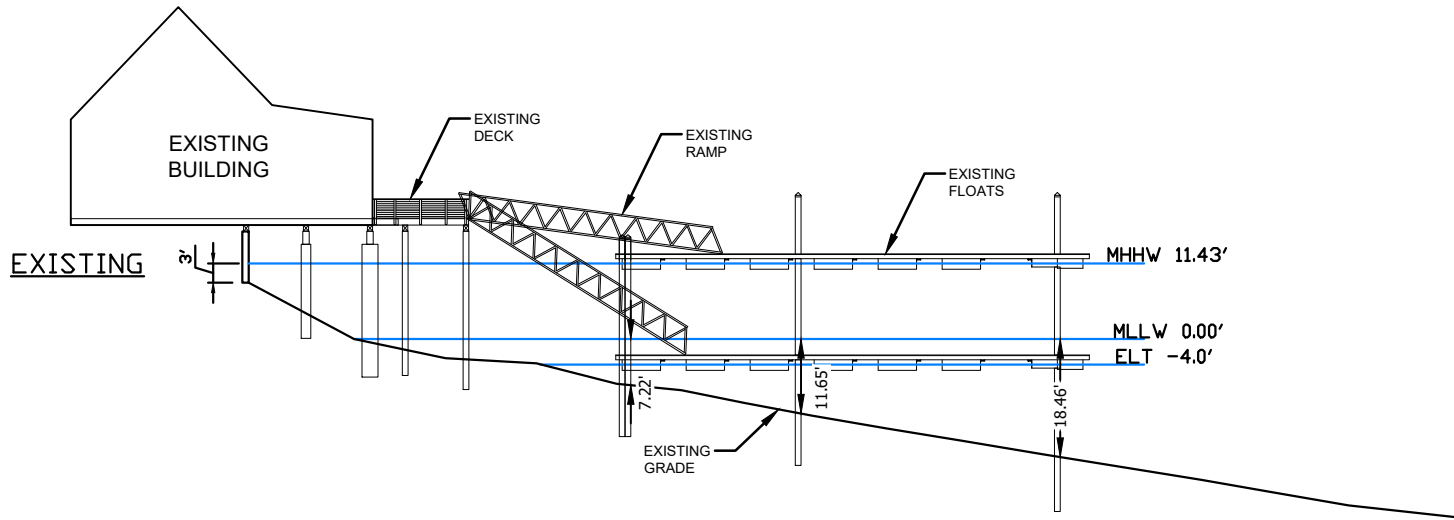
NEAR: COLVOS PASSAGE

COUNTY: PIERCE

APPLICANT: XITCO, LUKE

SHEET: 5

DATE: 02/28/2023



TIDAL DATUM (NAVD 88)

MEAN HIGHER HIGH WATER	= +9.199±
MEAN HIGHER WATER	= +8.317±
MEAN LOW WATER	= +.358±
MEAN LOWER LOW WATER	= -2.234±

NOTE: TIDAL ELEVATIONS DRAWN APPROXIMATELY.

DOCK CROSS-SECTIONS



GRAPHIC SCALE
1"=30'

DNR AQUATIC LEASE NO. 22-A02767

IN: GIG HARBOR

NEAR: COLVOS PASSAGE

COUNTY: PIERCE

APPLICANT: XITCO, LUKE

SHEET: 6

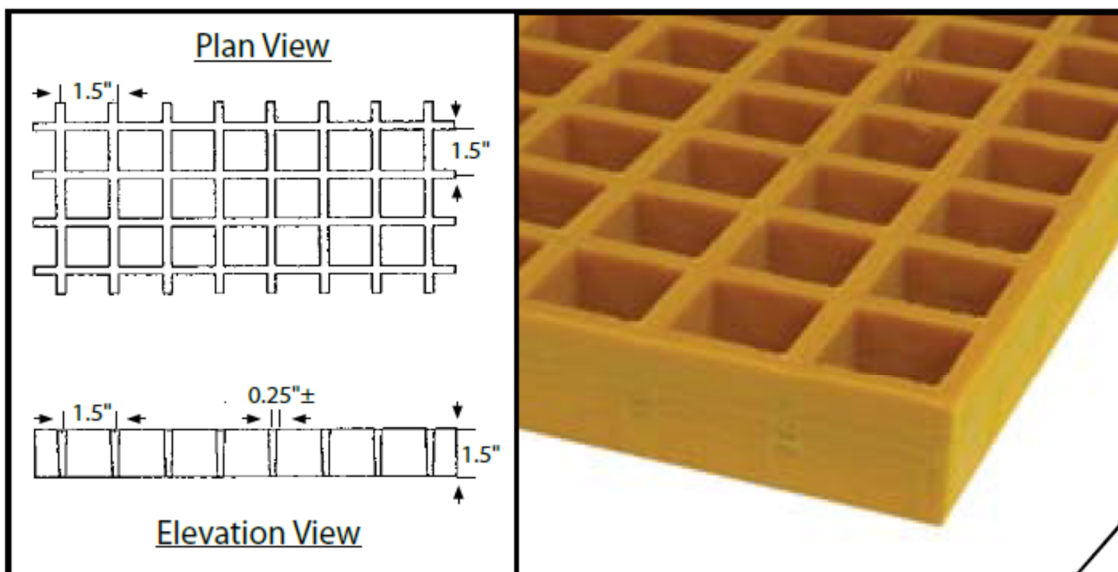
DATE: 02/28/2023

Appendix D — Grating Specifications

Molded Grating Details

1-1/2" Deep x 1-1/2" Square Mesh

# of Bars/ Ft of Width	Load Bar Width	Open Area	Load Bar Centers	Approximate Weight
8	1/4"	70%	1-1/2"	3.75 psf

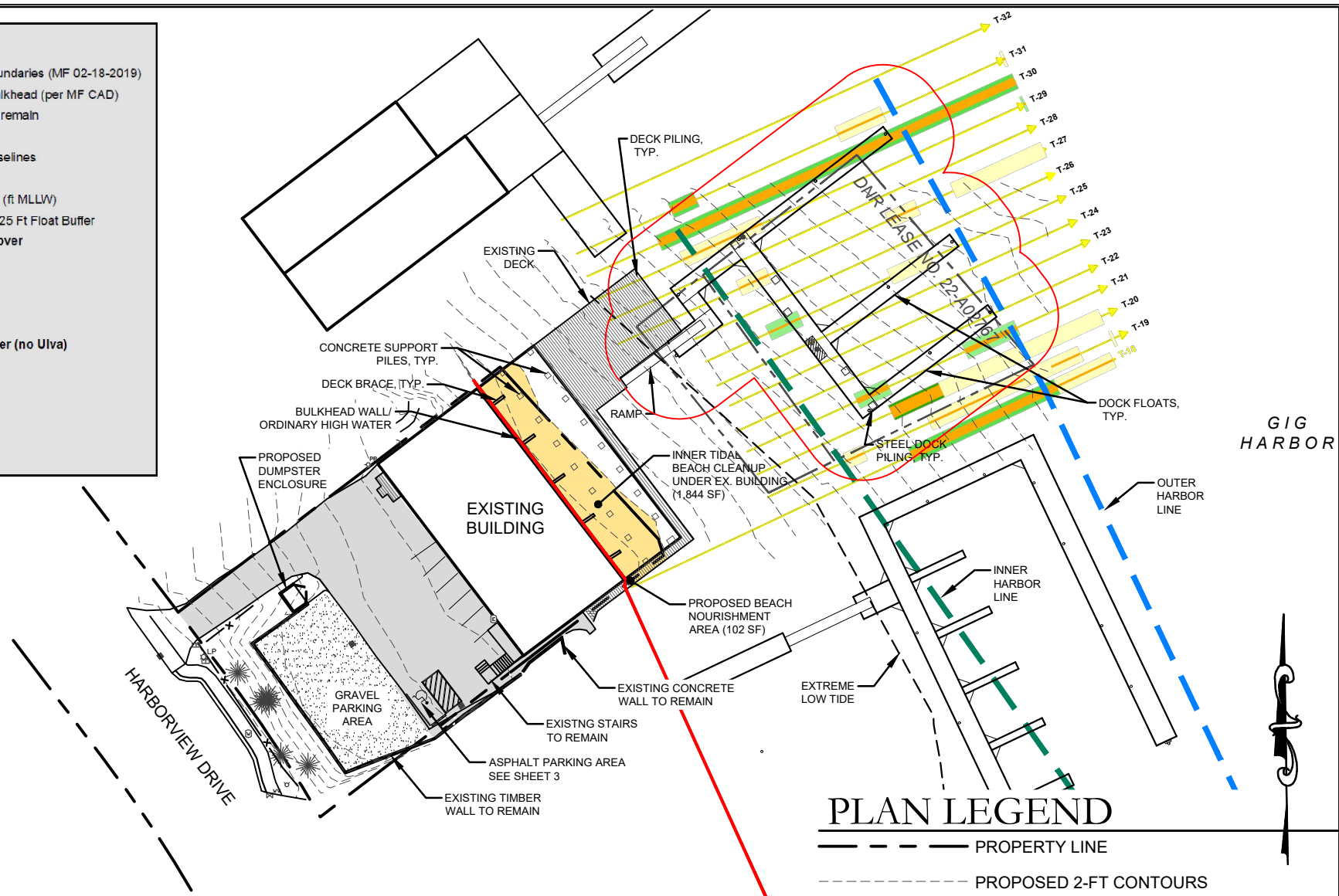


Section Properties per Ft of Width: $A = 2.85 \text{ IN}^2$ $I = 0.51 \text{ IN}^4$ $S = 0.65 \text{ IN}^3$

Appendix E — SAV Survey

Legend

- Marina Boundaries (MF 02-18-2019)
- Existing bulkhead (per MF CAD)
- Existing to remain
- Proposed
- Survey Baselines
- Transects
- *Est Depth (ft MLLW)
- Boat Barn 25 Ft Float Buffer
- Saccharina % Cover**
- 2.0 - 10.0
- 10.1 - 25.0
- 25.1 - 75.0
- 75.1 - 80.0
- Total Veg % Cover (no Ulva)**
- 2.0 - 10.0
- 10.1 - 25.0
- 25.1 - 75.0
- 75.1 - 80.0



PLAN LEGEND

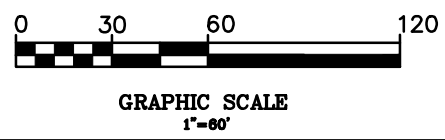
- PROPERTY LINE
- PROPOSED 2-FT CONTOURS

TIDAL DATUM (NGVD 29)

MEAN HIGHER HIGH WATER	= +7.14±
MEAN HIGHER WATER	= +6.20±
MEAN LOW WATER	= -4.27±
MEAN LOWER LOW WATER	= -7.34±

NOTE: TIDAL ELEVATIONS DRAWN APPROXIMATELY.

SAV EXHIBIT



DNR AQUATIC LEASE NO. 22-A02767	
IN: GIG HARBOR	
NEAR: COLVOS PASSAGE	
COUNTY: PIERCE	
APPLICANT: XITCO, LUKE	
SHEET: 3	DATE: 3/16/2022

Appendix F — Author Qualifications

All field inspections, habitat assessments, and supporting documentation, including this ***Shoreline, Critical Areas, No Net Loss Analysis, and Habitat Management Plan Report*** for the ***Boat Barn Marina*** project were prepared by, or under the direction of Racheal Villa of SVC. In addition, field investigations were performed by Racheal Villa, and Laura Livingston assisted with report preparation.

Racheal Villa

Associate Principal and Senior Fisheries Biologist

Professional Experience: 15 years

Racheal Villa is an Associate Principal and Senior Fisheries Biologist with a diverse background in both freshwater and marine ecology with emphasis in salmonid life histories and habitat. She has experience in assessing marine, shoreline, stream, and wetland systems, reporting on biological evaluations, permitting, and site assessments.

Racheal earned a Bachelor of Science degree in Fisheries Biology from the University of Washington, Seattle, with additional graduate level training in salmonid behavior and life history; restoration of fish communities and habitats in river ecosystems; biological problems with water pollution; and biomonitoring and assessment.

In addition, she has received formal training in Compensatory Mitigation and Restoration Projects, Determining the Ordinary High Water Mark, the revised Washington State Wetland Rating System, Selecting Wetland Mitigation Sites Using a Watershed Approach from the Washington State Department of Ecology; Biological Assessment Preparation for Transportation Projects from the Washington State Department of Transportation; and Seagrass Biology, Delineation, and Mapping from the United States Army Corps of Engineers. She is also a Pierce County qualified Fisheries Biologist and qualified Wetland Specialist.

Laura Livingston

Environmental Planner

Professional Experience: 7 years

Laura Livingston is an Environmental Planner with a background in water quality monitoring, invasive species monitoring, wildlife monitoring, wilderness stewardship, and erosion control projects. Laura has field experience working on natural resources projects, with an emphasis on stream and river projects, in the Northwest, Northeast, and Southwest United States. She has also worked on a variety of environmental science research, grant, and teaching projects requiring scientific writing, science communication, laboratory work, and statistical analysis. She currently performs ordinary high water delineations; conducts environmental code analysis; and prepares environmental assessment and mitigation reports, biological evaluations, and permit applications to support clients through the regulatory and planning process. Laura has a particular interest in shoreline projects and has prepared a variety of application materials to support projects within Shoreline Master Program jurisdictions.

Laura earned a Master of Science degree in Environmental Science from Washington State University, Pullman. In addition, she has received training from the Washington State Department of Ecology in How to Administer Shoreline Development Permits in Western Washington's Shorelines,

Determining the Ordinary High Water Mark, the revised Washington State Wetland Rating System, Puget Sound Coastal Processes, How to Conduct a Forage Fish Survey, and Using the Credit-Debit Method for Estimating Mitigation Needs. Laura has also received training from the Washington State Department of Transportation in Biological Assessment Preparation for Transportation Projects and is listed by WSDOT as a junior author for preparing Biological Assessments.

TECHNICAL MEMORANDUM

Prepared by: Grette Associates^{LLC}
2709 Jahn Ave. NW, Ste H5
Gig Harbor, WA 98335

June 7, 2023

Prepared for: City of Gig Harbor
Attention: Jeremy Hammar
3510 Grandview Street
Gig Harbor, WA 98335

File No.: 250.001.2086

Re: Boat Barn Marina Moorage and Accessibility Upgrades: Third-Party Review

1 INTRODUCTION

The City of Gig Harbor (City) contracted with Grette Associates (Grette) to assist in the review of a Shoreline, Wetland, and Fish and Wildlife Habitat Assessment, and No Net Loss Analysis (the “Report”; January 24, 2022) prepared by Soundview Consultants, LLC (SVC). The Boat Barn Marina Moorage and Accessibility Upgrades Project (Project) is located at 2907 Harborview Drive (Pierce County parcel 0221081058) in Gig Harbor, WA. In summary of Grette’s July 12, 2022 review, the Report was lacking information to be fully compliant with Chapter 6 of the City’s Shoreline Master Program (GHSMP).

In response to Grette’s July 2022 review, a revised Report (dated August 31, 2022) was prepared by SVC. Additionally, a biological evaluation (the “BE”; SVC 2022) was submitted to the City in response to Grette’s review comments. In conclusion of this review (dated January 6, 2023), the revised Report did not adequately address Grette’s July 2022 no net loss comment for compliance with Chapter 6 of the GHSMP. All other comments were adequately addressed.

Following Grette’s January 2023 review, SVC submitted an updated Report (the Updated Report; dated February 27, 2023). Provided below is a summary of Grette’s January 2023 no net loss comment (*italic*) followed by Grette’s response upon review of the Revised Report.

Section 6.3.2 (mitigation sequencing) of the Revised Report was updated to include a brief discussion stating that impacts to SAV are limited to overwater shading which will be minimized through the use of grated decking. While the no net loss analysis provided in the revised Report summarizes that overwater structures can inhibit SAV growth through shading, no specific rationale and/or quantification demonstrating that the proposed overwater coverage would result in no net loss was provided. According to Sheet 5 of the BE, there is approximately 1,136 square feet of kelp within the general project area¹ which accounts for approximately six percent of the total general project area. No quantification of existing shading of kelp or quantification of proposed shading of kelp is provided in the Revised Report or BE. While the revised Report

¹ Project area includes pier, ramp, and float (PRF) structure as well as the 25-foot buffer area from the PRF structure.

adequately demonstrates that shading will be minimized through the use of grated decking, the submitted document has not adequately demonstrated that no net loss of kelp will occur upon completion of the proposed project. At a minimum, the Revised Report needs to show a balance between existing shading and proposed shading; provide adequate mitigation to address shading of kelp; and/or provide a sufficient analysis to demonstrate that any additional shading compared to existing conditions will not cause a net loss of existing shoreline ecological function or processes.

The no net loss analysis provided in the Updated Report was not updated to show a balance between existing shading and proposed shading or provide an adequate analysis to demonstrate that any additional shading compared to the existing conditions will not cause a net loss of existing shoreline function. For example, Table 3 of the Updated Report provides a comparison of pre- and post-project conditions but this table excludes a summary of kelp shading. Additionally, Section 6.3.2 of the Updated Report describes that the proposed floats will be located further into the waterbody and over identified patches of kelp and goes on to describe how impacts to kelp are limited to overwater shading but the use of grated decking will result in no net loss. No quantification is provided to document the extent of impact to support the conclusion of no net loss and that the proposed shoreline enhancement will be sufficient to mitigate any potential adverse impacts that may occur with the shading of kelp.

Based on Grette's evaluation of the provided materials, it appears that the existing footprint of the marina does not extend over kelp beds. According to Grette's calculations, approximately 240 square feet of the proposed project will extend over kelp beds. As such, the proposed project will result in approximately 240 square feet of shading impacts to kelp beds.

As noted previously, the proposed project has sufficiently demonstrated avoidance and minimization measures have been implemented which includes utilizing grated decking to reduce shading to the extent possible. According to the Updated Report, the proposed project will result in an increase of approximately 666 square feet of float. However, with the use of grated decking, the proposed project will reduce the amount of solid surface decking coverage by 43 square feet compared to the existing marina.

The proposed compensatory mitigation to address any adverse impacts associated with the proposed project includes removal of approximately 1,844 square feet of debris within the intertidal area which includes removal of 691 square feet of concrete debris and 59 square feet of commercial fish debris (rope and netting). Once these enhancement actions are completed approximately five cubic yards of beach nourishment will be placed within the intertidal area.

In regards to shading approximately 240 square feet of kelp, utilizing grated decking will reduce the actual shading that will occur as a result of the proposed project. However, the Updated Report still does not provide any supporting information to demonstrate that the grated decking will provide adequate light where it will not shade out kelp. The Updated Report needs to, at a minimum, conclude that losing 40 percent of direct sunlight to the kelp bed that is currently not being shaded will not have an adverse impact.

In Grette's professional opinion, the proposed shoreline enhancement appears to be sufficient to address any adverse impacts that may potentially occur with the shading of kelp and will ultimately improve the shoreline environment compared to existing conditions and that the proposed project will not result in an overall net loss of shoreline function and value. However, the no net loss analysis needs to be revised to describe that the new floats extending over kelp beds will not have

any significant affect given the size of impact and use of grated decking for compliance with GHSMP 6.2.2.

The review of the submitted document was conducted using the best available scientific information and methodologies and the best professional judgment of Grette Associates staff wetland biologists. Final acceptance and approval of the report is at the discretion of City staff.

If you have any questions on the document review, please contact me at (253) 573-9300, or by email at chadw@gretteassociates.com.

Regards,



Chad Wallin
Biologist
GRETTE ASSOCIATES^{LLC}

References:

Soundview Consultants, LLC. (SVC). 2022. Biological Evaluation – Boat Barn Marina. Prepared for Luke Xitco. August 31, 2022.



RECEIVED

By C. ANDREWS at 4:41 pm, Jun 27, 2023

Soundview Consultants LLC

Environmental Assessment • Planning • Land Use Solutions

2907 Harborview Dr., Suite D, Gig Harbor, WA 98335

Phone: (253) 514-8952 Fax: (253) 514-8954

EXHIBIT P

Technical Memorandum

To: Jeremy Hammar, City of Gig Harbor

File Number: 1844.0001

From: Racheal Villa, Soundview Consultants LLC

Date: June 23, 2023

Re: Response to Third-Party Comments – Boat Barn Marina Moorage and Accessibility Upgrades

Dear Mr. Hammar,

Soundview Consultants LLC (SVC) is assisting X2 Boat Barn LLC (Applicant) with shoreline, wetland and fish and wildlife habitat assessments and permitting support for the proposed marina facilities upgrades of the subject property located at 2907 Harborview Drive in the City of Gig Harbor, Washington. The subject property consists of one parcel situated in the Northeast ¼ of Section 8, Township 21 North, Range 2 East, W.M (Pierce County Tax Parcel Number 0221081058).

This Technical Memorandum has been prepared in response to review comments provided by the City of Gig Harbor's (City) third-party reviewer (Grette, 2023) regarding the review of the *Shoreline, Wetland, and Fish and Wildlife Habitat Assessment, and No Net Loss Analysis* prepared by SVC on August 31, 2022 (Report)(SVC, 2022). This memorandum supersedes any inconsistencies that may remain between the memorandum and the existing report. The following are the third-party reviewer's comments (italicized) followed by SVC's responses:

1. ***Comment:*** *The Report was not updated to show a balance between existing shading and proposed shading or provide an adequate analysis to demonstrate that any additional shading compared to the existing conditions will not cause a net loss of existing shoreline function*

SVC Response: As discussed in the Report, the proposed project will provide a net gain in available habitat for juvenile salmonids and substrate for native kelp identified in the area (*Saccharina latissima*, and *Nereocystis* spp.). Currently, all the floats associated with the existing PRF are composed of solid surface decking that do not support any light transmittance below the water's surface under and around these structures. Overwater shading from large solid surface structures has the potential to negatively interfere with juvenile salmonid migration along the shore as juvenile salmonids likely avoid swimming under these structures and will swim around the structures resulting in an interference of migratory paths. Juvenile salmonids' use of deeper habitat to swim around overwater structures may expose them to increased predation risk, and the overwater structure likely increases habitat for piscivorous predators (Ehinger et al, 2015). The project has been designed to remove all solid float decking associated with the existing dock configuration and will install floats with a minimum 60 percent functionally grated surfaces over fifty percent of the surface areas, consistent with the current standard float construction. While

the square footage of floats will increase, the overall project will result in a 43 square foot reduction in solid surface area associated with the decking. Further, by improving light transmittance below the proposed floats juvenile salmonids may have less obstructions or disruption to migratory patterns in the nearshore, in turn potentially reducing overall predation on the species. The native kelp species identified on this site, sugar kelp, is a common native subcanopy kelp species that has been identified growing on and under small overwater structures (i.e. private docks) in studies completed by Marine Survey & Assessment (WDFW, 2021), suggesting shading may not be the main factor impacting sugar kelp establishment in intertidal habitats. While shading has been known to inhibit growth in some macroalgae species, impacts from float grounding and intertidal habitat obstruction appear to pose a greater impact to native kelp patches onsite. Currently, a 258 square foot section of float closest to shore regularly grounds out during seasonally low tides. As such, no native kelp has been able to establish below the existing structure closest to the shore. Removal of the existing floats and installation of the grated floats further waterward of the existing configuration to deeper water will prevent float grounding and provide 258 square feet of additional substrate for native kelp to establish. Overall, to reiterate and clarify the proposed project and mitigation actions are anticipated to improve intertidal habitat and migration corridors for native kelp establishment and for juvenile salmonid and forage fish habitat potential. See Section 6.3.1 No Net Loss Analysis of the Assessment Report for more detail on the avoidance, minimization, and mitigation measures incorporated into project design. Please see the attached exhibit for an illustration of the project effects discussed herein. Additionally, Table 2 No Net Loss Analysis Factors has been taken from the Assessment Report and provided below (excerpt from Soundview, 2022):

Table 3. No Net Loss Analysis Factors

Existing	Proposed Conditions	Net Change
1,698 square feet of solid-surfaced float decking	2,364 square feet of grated float decking uses grating with at least 60% open area ¹ 709.2 square feet of open space on the float decking	1,655 square feet of solid surface areas resulting from the replacement floats; a reduction of solid surface decking coverage by 43 square feet
6 creosote-treated wood pile anchoring the floats	10, 12-inch-diameter HDG steel pile	Increase in support pile by 4 piles Removal of an estimated 65.94 cubic feet of creosote-treated wood ³
16 square feet of overwater solid surface gangway/decking on southeast corner of building	15 square feet of open space on gangway decking surface	Reduction of solid surface decking coverage on the gangway to 10 square feet in elevated overwater structure coverage
Beach debris across 1,844 square feet of beach Beach erosion under culvert results in 102 square foot scour channel in upper intertidal beach	Removal of beach debris across 1,844 square feet of beach Install 5 cubic yards of beach nourishment to restore the beach	Approximately 3,400 square feet of intertidal beach habitat enhancement

Notes:

1. Square grating with at least 60% open area meet current dock design standards, details provided in Appendix D.
2. Cubic feet estimated assuming 14-foot height to piles and 12-inch diameter.

2. ***Comment:*** No quantification is provided to document the extent of impact to support the conclusion of no net loss and that the proposed shoreline enhancement will be sufficient to mitigate any potential adverse impacts that may occur with the shading of kelp.

SVC Response: Currently, no native kelp, eelgrass or macroalgae is capable of growing beneath the existing float structure as the float offers no light transmittance below the water surface and the most landward sections of float ground out on the intertidal beach at seasonally low tides. It was noted by third party review that the proposed float configuration will overlap with 240 square feet of identified native kelp and algae patches within the project area which may adversely affect a portion of the existing kelp patches onsite. However, given the improvements in PRF design compared the existing structure, the project is anticipated to have a net gain in available substrate for native kelp and algal species to grow. The most landward section of floats currently ground on the beach during periods of low tide. This in addition to solid decking make it nearly impossible

for macroalgae to grow below the existing floats onsite. Proposed piles and floats have been designed to prevent float grounding and thus preventing daily disturbance to the substrate. Additionally, following construction the floats will impose 43 square feet less solid surfaces, shading over the project area compared to existing conditions. Improvements to the PRF design alone are enough to ensure no net loss of kelp species within the project area. Supplementary enhancement of the upper shore zone through removal of 1,844 square feet of beach debris and beach nourishment will provide additional sandy/rocky substrate for native kelp and macroalgae to attach and grow. Overall, the proposed project will provide a net gain of native kelp and macroalgae habitat area onsite. . Refer to Attachment A for an exhibit depicting the areas of the existing versus proposed float coverage conditions.

3. ***Comment:*** *The Updated Report still does not provide any supporting information to demonstrate that the grated decking will provide adequate light where it will not shade out kelp. The Updated Report needs to, at a minimum, conclude that losing 40 percent of direct sunlight to the kelp bed that is currently not being shaded will not have an adverse impact.*

SVC Response: A study completed in 2014 by the Washington Department of Natural Resources documented on average grated surfaces of over 60 percent open space provided photosynthetically active radiation (PAR) between ~ 7 mol/m² /day and ~ 25 mol/m² /day depending on float orientation to the sun and relative height of the structure. The study further noted the threshold for daily PAR required for eelgrass (*Z. marina*) survival was identified at 3 mol/m²/day (DNR, 2014). The floats onsite will be a minimum of 60 percent grated surfaces which allows more light transmittance through the decking than the existing floats, the overall project is expected to improve native macroalgae establishment after the project. Additionally, the removal of the floats from shallow water will help to prevent grounding onsite, improving kelp establishment and survival below the proposed structures. The proposed floats will result in 240 square feet of overwater shading of existing kelp beds onsite; however, given the reduction in solid surfaces, and grounding of floats, overall impacts to onsite kelp beds are anticipated to be discountable. Additionally, recent WDFW analysis of effects from small overwater structures discusses the benefits of grated surface decking, float orientation, and elevated deck surfaces as being better associated with light penetration below the structure than solid deck surfaces (WDFW, 2021). Long term benefits of the proposed project including locating replacement floats in deeper water with grated surface decking, removing 258 square feet of floats that ground out on the intertidal beach and removing all creosote treated materials in the project area outweigh unsubstantiated potential for impacts associated with 240 square feet of kelp shading associated with the proposed floats.

4. ***Comment:*** *The no net loss analysis needs to be revised to describe that the new floats extending over kelp beds will not have any significant affect given the size of impact and use of grated decking for compliance with GHSMF 6.2.2.*

SVC Response: See Section 6.3.1 No Net Loss Analysis in the Assessment Report for more detail on the avoidance, minimization, and mitigation measures incorporated into project design. As described above, the removal of creosote treated materials, the reduction of overall shading resulting from implementation of new grated deck surfacing and the removal of structure grounding on the intertidal habitat areas will provide an increase in potential suitable nearshore salmonid migration and forage habitat, provided that kelp and other macroalgae can grow within the additional 258 square feet of available intertidal habitat area following project implementation.

Additional enhancement actions, including removal of concrete debris and placement of beach nourishment will further improve substrate availability of native kelp to establish within the project area. Overall, and as agreed to by third party review (Wallin, June 7, 2023), the project will not result in an overall loss of shoreline function and value.

I trust this Technical Memorandum addresses Grette Associates Environmental Consultants' comments. Please do not hesitate to contact me with any questions or concerns you may have.

Sincerely,

A handwritten signature in cursive script that reads "Racheal Villa".

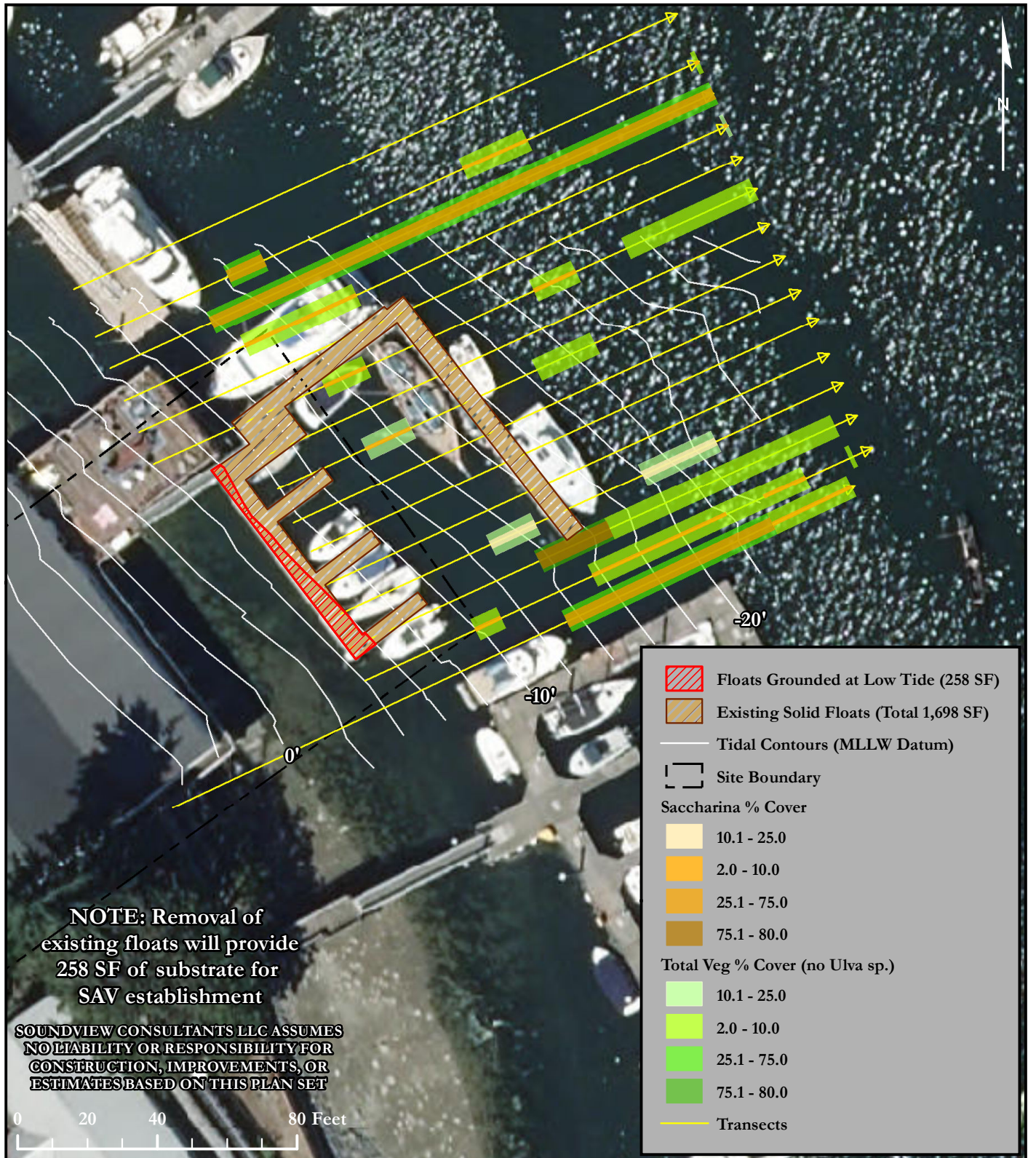
Racheal Villa
Principal

References

- Ehinger, S.I., J.P. Fisher, R. McIntosh, D. Molenaar, and J. Walters. 2015. Working Draft, April 2015: *Use of the Puget Sound Nearshore Habitat Values Model with Habitat Equivalency Analysis for Characterizing Impacts and Avoidance Measures for Projects that Adversely Affect Critical Habitat of ESA-Listed Chinook and Chum Salmon*. National Marine Fisheries Service. Lacey, WA
- Gig Harbor Municipal Code (BDMC). 2021. *Shoreline Master Program*. Website: <https://www.cityofgigharbor.net/DocumentCenter/View/371/2022-Shoreline-Master-Program-SMP-?bidId=> Effective through January 28, 2022, passed November 8, 2021.
- Grette Associates Environmental Consultants. 2023. *Boat Barn Marina Moorage and Accessibility Upgrades: Third-Party Review*. Prepared for the City of Gig Harbor, June 7, 2023.
- Lambert, M.R., R. Ojala-Barbour, R. Vadas Jr., A. P. McIntyre, and T. Quinn. 2021. *Small overwater structures: a review of effects on Puget Sound habitat and salmon*. Science Division, Habitat Program, Washington Department of Fish & Wildlife.
- Soundview Consultants (SVC). 2022. *Biological Evaluation*. Prepared August 31, 2022.
- SVC. 2023. *Shoreline, Wetland and Fish and Wildlife Habitat Assessment, and No Net Loss Analysis*. Revised February 27, 2023.
- Washington Department of Natural Resources (DNR). 2014. *Comparison of light transmitted through different types of decking used in nearshore over-water structures*. January 5, 2014.

Attached Exhibit: Existing and proposed conditions with respect to the mapped kelp and macroalgae.

EXISTING FLOAT CONDITIONS




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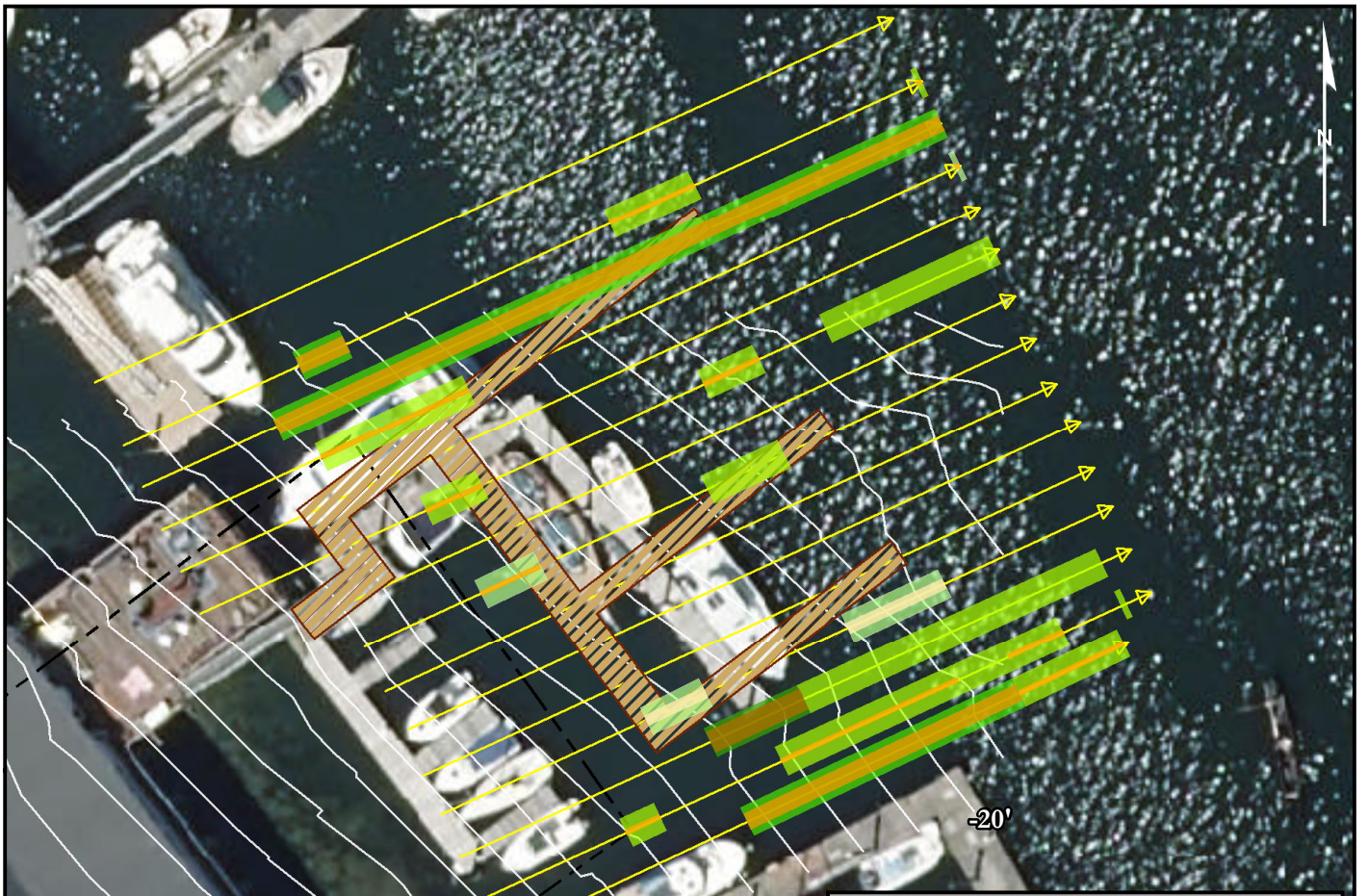
BOAT BARN MARINA

2907 HARBORVIEW DRIVE
 GIG HARBOR, WA 98335

PIERCE COUNTY PARCEL NUMBER:
 0221081058

DATE: 6/20/2023
JOB: 1844.0001
BY: CM
SCALE: 1" = 40'
FIGURE NO. 1

PROPOSED FLOAT CONDITION ON EXISTING AERIAL IMAGE



NO GROUNDING OF FLOATS- RESULTS IN 258 SF HABITAT AREA BENEFIT OVER EXISTING CONDITIONS
 Mapped kelp overlap of 240 SF in Deep water which will minimize and reduce existing impacts

NOTE: Proposed floats will overlap with 240 SF of SAV Mapped

SOUNDVIEW CONSULTANTS LLC ASSUMES NO LIABILITY OR RESPONSIBILITY FOR CONSTRUCTION, IMPROVEMENTS, OR ESTIMATES BASED ON THIS PLAN SET



	Grated Floats (2,364 SF) -No Grounding
	Tidal Contours (MLLW Datum)
	Site Boundary
Saccharina % Cover	
	10.1 - 25.0
	2.0 - 10.0
	25.1 - 75.0
	75.1 - 80.0
Total Veg % Cover (no Ulva sp.)	
	10.1 - 25.0
	2.0 - 10.0
	25.1 - 75.0
	75.1 - 80.0
	Transects



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BOAT BARN MARINA
 2907 HARBORVIEW DRIVE
 GIG HARBOR, WA 98335
 PIERCE COUNTY PARCEL NUMBER:
 0221081058

DATE: 6/20/2023
JOB: 1844.0001
BY: CM
SCALE: 1" = 40'
FIGURE NO. 1

MEMORANDUM

DATE: January 8, 2024

TO: Jeremy Hammer, Senior Planner

FROM: Stephanie Seibel, P.E., Associate Engineer

SUBJECT: **X2P Boat Barn Moorage & Accessibility Upgrades (PL-SEPA-22-0005)**
Recommended SEPA Mitigation and Conditions

Reference: Upgrade Drawings submitted 12-12-2023
SEPA Checklist submitted 10-18-2023

Based on the submitted project documents and the identified impacts from the proposed development, the Public Works Department has the following “Recommended Mitigation and Conditions” described below. Unless otherwise noted, all mitigation items shall meet the City of Gig Harbor Public Works Standards and be completed prior to any certificates of occupancy being issued for structures on the proposed development.

BACKGROUND

The project proposes to replace the existing 16' entrance gate behind the MHHW mark, add 4' railings around the existing pier on parcel 5970000110. A portion of the existing pier will remain. The project will remodel the existing marina and replace solid decked surfaces and creosote treated wood pile with fiberglass grating and galvanized steel pile. As well as, re-enforcing the support of the existing net shed. The project will introduce more environmentally friendly materials including grating and steel piling. The project will reduce the over water coverage by 930.5 square feet.

The site has existing connections to the City's water system, the City's wastewater system, and provisions for compliance with stormwater concurrency.

REVIEW and ANALYSIS

Water Infrastructure: The project does not propose to make any change to the current water usage.

Appropriate provisions for potable water supplies and adequate means of water supply can be obtained by compliance with the City of Gig Harbor's development regulations, comprehensive plan and other applicable local, state and federal laws. No further mitigation is required under SEPA as any impacts will be addressed by compliance with the City of Gig Harbor's development regulations, comprehensive plan and other applicable local, state and federal laws consistent with WAC 197-11-158.

Wastewater Infrastructure: The project does not propose any change to current sewer usage.

January 8, 2023

Jeremy Hammer, Senior Planner

(PL-SEPA-22-0005) X2P Boat Barn Moorage & Accessibility Upgrades

Page 2 of 2

Stormwater Infrastructure: The City has reviewed the storm water impacts for the proposed development based on the documents provided by the applicant. The City of Gig Harbor Stormwater Management and Site Development Manual requires consideration of both quantity and quality control of storm water run-off from the proposed development. The impacts to the City's stormwater infrastructure from the proposed development have been reviewed in accordance with the following:

- Gig Harbor Municipal Code (GHMC), Chapter 14.20.
- City of Gig Harbor Stormwater Comprehensive Plan (Stormwater Plan).

The proposed project does not trigger any stormwater mitigation. No further mitigation is required under SEPA as the impacts will be addressed by compliance with State and local regulations consistent with WAC 197-11-158.

Transportation Infrastructure: The impacts to the City's transportation infrastructure from the proposed development have been reviewed in accordance with the following:

- Gig Harbor Municipal Code (GHMC), Chapter 19.10, Concurrency Management
- City of Gig Harbor Comprehensive Plan (Plan).

The proposed project does not create any new PM Peak hour trips. The City will reserve **zero** PM Peak hour trips for the proposed development.

Recommended Mitigations and Conditions

None