



COMMUNITY DEVELOPMENT DEPARTMENT

Memorandum

October 24, 2023

To: Cindy Andrews, Planning Technician

From: Roxanne Robles, Senior Planner

Subject: PL-DR-23-0045 Sehmel Business Park, 5926 Sehmel Drive

Background

Staff conducted a pre-application conference (PL-PREAPP-23-0006) with the applicant in May 2023, during which buffering, stormwater management, right-of-way dedications, and site access were major points of discussion. Staff provided a revised pre-application memo to address additional points discussed at the pre-application conference (Exhibit A).

Design Review Board Pre-Application Review

The applicant has revised the plans presented at the May 2023 pre-application conference for a preliminary DRB review. The applicant's narrative provides a comprehensive list of Design Manual regulations, highlighting those which are pertinent to the project proposal. However, the applicant submittal does not include materials which can be reviewed against all potentially applicable regulations. Based on the current submittal, staff has provided the following sections of GHMC 17.99 Design Manual which are relevant to the project proposal:

GHMC 17.99.170 & 17.99.180 Zone Transition & Buffering Standards

Zone transitions occur wherever opposing zones meet. All parcels in a specific zone that abut, or are across the street from, parcels in a different zone (regardless of uses in that zone or as otherwise stated below) are subject to either zone transition buffering standards or zone transition development standards. Zone transition standards do not apply between parcels in a different zone separated by State Route 16. Zone transition standards do not apply to development that is permitted under the development standards of the opposing zone or between zones that collectively fall under any one of the following zoning district categories.

The DRB shall not consider or recommend approval of any deviation or proposed modification of any standard in GHMC17.99.180 or 17.99.190, except as provided in GHMC 17.99.200.

Staff Analysis: The subject site is in the Employment District (ED) district and is adjacent to the south across Sehmel Drive, of single-family residential development which requires a 40-foot transition zone.

GHMC 17.99.190 Zone Transition Development Standards

In situations where zone transition buffering standards cannot be achieved or where zone transitions occur within the height restriction area, the following development standards shall apply:

- A. Limit building footprint to the average size of building footprints in the opposing zones**. Building footprints shall be no larger than the average footprint size of all buildings in opposing zones located within 200 feet of the subject site and that are on parcels contiguous to the transition zone boundary (accessory structures, e.g., sheds and garages, may be excluded from this calculation).
- B. Limit building height to the average height of buildings in opposing zones**. Building height shall be no taller than the average building height of all buildings in opposing zones (including code-allowed height on vacant parcels) located within 200 feet of subject site and that are on parcels contiguous to the transition zone boundary. Structures may step up to a greater height (not to exceed maximum height limits) if the taller portions are stepped back at least 1.25 feet for every increased foot of height. In this context, structures shall be measured from the average finished grade along the side of the building facing the opposing zone to the highest point on the roof.
- C. Avoid facing dissimilar structures along streets. Structures facing a street which divides or abuts two or more zones shall be compatible with structures in the less intense zone as follows:
 1. Incorporate residential detailing. All buildings abutting a residential zone shall be limited to residential-type doors, windows, trim, and massing. Large storefront windows, kick plates below windows, flat roofs, parapets, sign bands, etc., do not appropriate reflect residential architecture.
 2. Conform to design standards of more restrictive zones. Structures abutting a dissimilar zone shall be subject to design standards for both zones. The more restrictive requirements shall apply.
 3. If desired, relax design standards on parcel interior. Buildings may be designed to reflect the more intense uses allowed in a zone if they are located behind structures that conform to the standards of the abutting zone.
- D. Avoid the appearance of parking lots along residential streets. Parking lots are not allowed along streets which divide commercial and residential districts or on parcels that abut residential zones. In these situations, parking lots must be largely contained behind nonresidential buildings. Driveways with parking on one side of the driveway may connect rear parking lots to the street.

** The DRB may recommend alternative measures of complying with this standard under the provisions of the alternative zone transition standards in GHMC 17.99.200.

Staff Analysis: The proposed convenience store and gas station are located within the 40-foot transition zone, therefore the applicant is proposing to utilize the development standards in GHMC 17.99.190 and 17.99.200 to reduce the impact on the adjacent residential properties.

With regard to part A of this standard, the proposed buildings are between 2,000 and 34,000 square feet; should the applicant treat the subject property as one site, as shown, the buildings would need to be modified in size to meet this standard.

GHMC 17.99.200 Alternative Zone Transition Standards

As an alternative to the zone transition standards in GHMC 17.99.180 and 17.99.190, the design review board may recommend approval of development in a zone transition area if it finds that the proposed development integrates, and is sensitive to, the pattern of development in the abutting zone. To determine if a proposed development is sensitive to the pattern of development in the abutting zone, the DRB shall consider the following elements of design**:

- A. Separation of structures. Is there sufficient separation between structures on the site and structures in the opposing zone to mitigate the impacts of taller or larger structures?
- B. Architectural modulation of building. Is there sufficient modulation in the design of the building to reflect the scale and massing of adjacent buildings in the opposing zone?
- C. Rooflines. Do the rooflines of the proposed building(s) reflect the type, style and form of the rooflines on the adjacent buildings in the opposing zone?
- D. Location of service areas. Is there sufficient separation of service areas (e.g., loading docks, delivery areas, dumpster enclosures) to minimize impacts to development in the opposing zone?
- E. Window and balcony orientation. Are windows and balconies located in a manner that preserves the privacy of residents in the opposing zone?
- F. Lighting. Is the location and intensity of outdoor lighting low enough to avoid negative impacts on abutting residential development?
- G. Vegetative buffering. Does existing on-site vegetation provide screening opportunities or otherwise ensure the privacy of residents in opposing zones?
- H. Existing nonconformities. Are there existing patterns of development in the opposing zone that do not conform with current development standards and should therefore not be perpetuated in new development?
- I. Entryway orientation. Is the building entrance in a location that minimizes impacts to the privacy of abutting residential development?
- J. Location of parking and driveway entrances. Are parking lots and driveways in locations that minimize traffic noise on, or invasion of privacy of, abutting residential development?

- K. Open space and common areas. Does the project utilize common areas to provide separation between site development and development in the opposing zone?
- L. Existing natural characteristics of the site. Does the development utilize existing site conditions such as topography or clusters of trees to provide buffering or to enhance view opportunities?
- M. Siding materials and details. Do the siding materials and other architectural details reflect the type of materials and details that typify development on abutting parcels in the opposing zone?

Staff Analysis: The proposed convenience store and gas station are located within the 40-foot transition zone; therefore the applicant is proposing to utilize the development standards in GHMC 17.99.190 and 17.99.200 to reduce the impact on the adjacent residential properties.

GHMC 17.99.240 Natural Site Conditions

Site development should be designed to reflect the natural conditions of the site, including topography and existing vegetation. The following standards will help to achieve this, Site development should be designed to reflect the natural conditions of the site, including topography and existing vegetation. The following standards will help to achieve this and are applicable to all development.

- A. Limit clearing of vacant parcels to no more than 50 percent of significant trees and retain vegetation in all required buffers and setbacks. Clearing limitations apply to all vacant parcels with no approved site plan or building permit for development.
- B. Retain natural vegetation on underdeveloped portions of sites with approved site plan. Clearing of underdeveloped portions of approved site plans shall only be permitted once civil plans for development of those areas have been approved and clearing is required for civil infrastructure.
- C. Maintain natural topography. Buildings and parking lots shall be designed to fit natural slopes rather than regrading the slope to fit a particular building or parking lot design. Cuts and fills on a site shall be balanced and finished grades shall not include any retaining walls that exceed six feet. Instead, designs shall complement and take advantage of natural topography. Sloped lots may require multileveled buildings, terraced parking lots and/or lower level parking garages.
- D. Incorporate approximately 25 percent of significant trees into the project. On nonresidential, multifamily sites and residential subdivisions, at least 25 percent of significant trees shall be incorporated into required landscaping and retained indefinitely. The 25 percent calculation shall be based upon significant trees currently on the site and which have been cleared from the site within the past five years. All significant trees on site shall be identified and shown on a tree survey. In conjunction with the 25 percent retention requirement, the following options may be applied to other landscaping requirements of this chapter.
 - 1. **REDUCED LANDSCAPING REQUIREMENTS** Clusters of natural vegetation which form a continuous canopy at least 15 feet deep (average) and at least 25 percent of the parcel size (measured from the

- outer edges of the trunks) will meet the requirements for on-site trees; provided, that screening and buffering requirements otherwise required are met. All other landscaping requirements must be adhered to.
2. **REDUCED PARKING STALL DIMENSIONS** Parking stalls adjacent to protected trees may be reduced to eight feet by 16 feet to avoid encroachment into tree root zones.
 3. **ENCROACHMENT INTO SETBACKS** Structures and parking areas may encroach into required setbacks if it can be shown that such encroachment allows significant trees or tree clusters to be retained. Encroachment shall be the minimum encroachment necessary to protect specified trees. In no case shall the yard be reduced to less than five feet. (Not applicable to single-family and duplex development or to development subject to zone transition standards.)
- E. Replace lost trees which were intended to be retained. If trees required to be retained pursuant to this title or a land use approval are subsequently removed or damaged, they shall be replaced by at least one and one-half times the tree diameter removed (ex. a 10-inch DBH tree removed will equal 15-inch DBH of tree diameter replaced). A single tree may be replaced with multiple trees provided the total tree diameter at DBH equals the required replacement value. Replacement trees shall be a minimum of six-foot trees for evergreens or two-inch caliper for deciduous trees at planting. The trees removed shall be replaced with trees of the same type, evergreen or deciduous. Shrubs and ground cover shall also be replaced when replacing tree(s). The shrubs and groundcover shall be planted within the limits of the previous tree stand canopy.
- F. Retain the natural symmetry of trees. Trimming of trees shall be done in a manner that preserves the tree's natural symmetry. Topping is prohibited unless recommended by a qualified arborist for health or safety reasons. Limbing-up may be appropriate if sufficient crown is retained to preserve the tree's fullness and health.
- G. Maintain health and fullness of natural vegetation and buffer areas. Areas of natural vegetation shall be retained over time. To ensure this, volunteer saplings of coniferous trees should be allowed to grow to replace older, less healthy trees. However, it may be prudent to thin out some saplings to avoid overcrowding if existing trees are healthy and full. A healthy and typical spacing of larger trees in a natural or forested setting is about 12 to 15 feet on center. Selective thinning and maintenance may be allowed if this spacing is retained, subject to city planning staff approval. The order of preference in trees to be retained under a thinning maintenance program is:
1. Healthy coniferous and madrone trees with a 10-inch or greater trunk diameter;
 2. Healthy coniferous and madrone trees with a six-inch or greater trunk diameter;
 3. Smaller saplings of coniferous trees; and
 4. Deciduous trees.
- No trees shall be removed under a thinning and maintenance program if such removal results in tree spacing greater than 15 feet on center, except to remove dying or dangerous trees as determined by a qualified arborist. Full

under-story shrubbery shall be retained, except to thin out non-native species (e.g., blackberry, scotch broom).

Staff Analysis: The subject site contains substantial grades and will need to create a grading plan with balanced cuts and fills, with retaining walls that do not exceed six feet. The city has used a standard of 10% as 'balanced' for prior projects. The proposed earthwork is as follows:

Business park area earthwork
Cut: 55,430 cubic yards
Fill: 49,108
Excess cut: 6,322 cubic yards

North pond earthwork
Cut: 5,995 cubic yards
Fill: 1,558 cubic yards
Excess cut: 4,437 cubic yards

C-store earthwork
Cut: 6,334 cubic yards
Fill: 456 cubic yards
Excess cut: 5,877 cubic yards

South pond earthwork
Cut: 4,051 cubic yards
Fill: 593 cubic yards
Excess cut: 3,458 cubic yards

Significant trees will need to be retained, and the calculation shall include those trees which were removed in the last five years.

GHMC 17.99.280 Outdoor Common Area Standards

A common area is a designed outdoor space which encourages outdoor activities and leisure in outdoor spaces associated with nonresidential development. Required common areas must be provided on site, unless otherwise allowed by subsection (B)(5) of this section, but may be enlarged and extended into city rights-of-way to connect with the sidewalk, subject to city public works department approval.

- A. Provide common area of a size proportionate to development. Nonresidential development greater than 2,000 square feet in floor area shall include common areas equal to 10 percent of the gross floor area of the building to which they apply, excluding garages, warehouses, and similar unheated support structures.
- B. Choose type of common area best suited to development. Common areas must include trash receptacles and casual seating and/or tables. Common areas must be one of (or a combination of) the following:
 1. BALCONY, TERRACE OR COVERED COLONNADE – providing a minimum walking width of eight feet and which also incorporates seating areas.
 2. PLAZA – with colored or textured pavement surface e.g., brick, stone, exposed aggregate concrete or colored and textured concrete. To provide pattern and enhance the texture of the pavement, concrete surfaces shall be scored or otherwise divided into smaller sections.
 3. POCKET PARK – developed between or in front of buildings which include landscaped areas of grass, trees, shrubbery and flowers, combined with limited paths and pavement areas for casual tables and/or seats.

4. SHORELINE VIEWING PLATFORM – consistent with both the shoreline master program requirements and these design standards. Viewing platforms intended for public access shall be identified with signage located at the edge of the public right-of-way.
 5. OFF-SITE COMMON AREAS – For structures with less than 5,000 square feet of floor area, any of the above common areas which are within 250 feet of the subject site and are at least as large as the required common area for the subject site meet common area requirements and do not have to be repeated. This does not imply that the off-site common area must be accessible for the subject site's use. It merely develops an appropriate density for outdoor common areas in a given district. Off-site common areas do not qualify for on-site parking subject site's use. It merely develops an appropriate density for outdoor common areas in a given district. Off-site common areas do not qualify for on-site parking credits allowed by subsection (F) of this section.
- C. Locate common areas in view corridors. Where view corridors occur on a site, common areas shall be located within the view corridor. Use care in the selection of landscape plantings so as to preserve views.
 - D. Provide direct access to common areas with pedestrian walkways. Common areas (or outdoor stairs leading to common areas) shall be easily accessible to customers from the public right-of-way by either primary or secondary walkways.
 - E. Provide outdoor seating where people want to sit. Pedestrian seating is encouraged in locations which allow enjoyment of sun and protection from wind and rain. Locate seating so that users can observe the activities of the street or enjoy a scenic view.
 - F. Take advantage of common area credits. Common areas invite pedestrian activity. Therefore, it is expected that impacts from automobile traffic will be lessened. Additionally, a well-designed common area provides the same visual amenity as landscaping. Provision of common areas may therefore be counted toward parking and hard surface coverage requirements as follows:
 1. REDUCED PARKING. Required on-site parking may be reduced by one parking stall for every 200 square feet of required common area.
 2. INCREASED HARD SURFACE COVERAGE. Required common areas shall not be counted towards the total hard surface coverage. (Drainage system design must incorporate all impermeable surfaces.).
 - G. Consider allowed activities in common areas. To assure full use and benefit of common areas to the property-owner, the following activities are allowed in common areas:
 1. FOOD OR FLOWER CARTS – limited to one portable food or flower handcart, provided such cart does not impede pedestrian flow. Common areas larger than 2,000 square feet may have two carts. Carts shall be on private paved common area, subject to owner approval and health department permit requirements. Carts must be portable and be stored away after hours.
 2. TEMPORARY ART DISPLAYS – allowed in private common areas, subject to owner approval, and subject to city permit requirements.
 3. OUTDOOR SALES – (e.g., farmers' market) allowed one day per week.

4. OUTDOOR DINING – up to one seat per 20 square feet of common area is allowed as a bonus (in addition to seating regulated by parking requirements), provided such seating does not impede pedestrian flow.
5. TRANSIT STOP – Common areas may double as a transit stop if they conform to both transit stop and common area requirements.

Staff Analysis: The project proposal appears to include removing existing property lines to create on site. Therefore, the project proposal should include a common area of 8,542 square feet based on the proposed gross square footage of 85,419.

GHMC 17.99.330 Parking Lot Standards

The following standards apply to all nonresidential uses and development.

- A. Limit the number of curb cuts. To maximize landscaping at the street face, curb cuts for driveways shall be limited to one cut per parcel frontage or one cut per 200 feet of parcel frontage, subject to public works standards driveway separation requirements. An additional cut is allowed if the driveway is one-way. Where available, side streets or alleys should be used for additional access needs.
- B. Limit driveway widths to maximize landscaping at the street face. To further maximize landscaping at the street face, one-lane driveways may be no wider than 15 feet, two-lane driveways may be no wider than 24 feet and three-lane driveways may be no wider than 34 feet except that necessary flaring of the driveway may occur between the inner edge of the sidewalk and the gutter.
- C. Conform to lighting standards in GHMC 17.99.350.
- D. Incorporate pedestrian ways into parking lot. Pedestrian ways, including walkways and crosswalks, shall conform to the on-site walkway requirements in GHMC 17.99.260 and 17.99.270.
- E. Minimize parking in front of buildings (IBE). No more than 50 percent of required parking may be located forward of the front facade of a building. In this context, the front facade of the building shall be any side facing or abutting the street providing primary access to the site. If a site has frontage on more than one street providing primary access, it shall be the longest of its street frontages.
- F. Avoid parking in front of building's entrance. Parking spaces in front of the main building entrance interfere with entrance visibility and access and are prohibited.
- G. Minimize driveway encroachments into setback areas. Driveways running perpendicular to property lines may cut through perimeter area landscaping in setback areas, but they may not run parallel to property lines through perimeter landscaping in setback areas.
- H. Avoid parking near street corners. Parking lots shall be no closer than 40 feet to any parcel corner where two streets converge.

Staff Analysis: The project proposal will need to include a parking plan that is compliant with these standards.

GHMC 17.99.350 Outdoor Lighting Standards

The following standards apply to all uses and development:

- A. Keep light sources hidden from public view. All light sources shall be hidden or conform to light standards specified herein. Light sources (e.g., light bulbs or lenses) shall not be visible except on approved decorator lights. Sources of high-intensity light, whether behind a lens or not, shall not be visible to the public.
- B. Use downward directional lighting. Except for intermittent security lighting on motion detectors, all lights more than seven feet above the ground shall be downward directional lighting. The fixture's housing must be totally opaque. Clear or refractive lenses shall not extend below the housing.
- C. Avoid lighting large areas with a single source. Large areas may be lit with a number of low-intensity sources close to the area requiring illumination. Illumination of a large area with a remote single source of light shall be avoided.
- D. Avoid excessive light throw. Lighting shall not be cast beyond the premises and shall be limited to illumination of surfaces intended for pedestrians or vehicles. Illumination of landscaped areas shall be avoided unless lighting is part of the landscape area immediately around the building or the area is intended for recreational use.
- E. Choose approved outdoor light designs. The following lighting types are approved:
 - 1. "SHOE BOX" STYLE POLE LAMPS – as preapproved color for district (downward directional).
 - 2. ORNAMENTAL POLE LAMPS – as per approved color and style for district (highly ornate Victorian, colonial or other styles which do not approximate Gig Harbor's historical development shall be avoided).
 - 3. BOLLARD LIGHTS – as per approved color and style for district.
- F. Avoid light fixture designs which have a utilitarian appearance. Designs that are strictly utilitarian in appearance shall be avoided on all fixtures visible to the public, e.g., mercury vapor lights, cobra lights, etc.
- G. Limit height of pole fixtures. Pole lights shall be no taller than 20 feet above a 36-inch base in parking lots and traffic areas, and no taller than 12 feet in pedestrian areas.

Staff Analysis: The project proposal does not include a lighting plan at this time. However, any future development proposal will need to be compliant with these standards.

GHMC 17.99.370 Site-Sensitive Building Design

The following standards are applicable to all development. Their purpose is to ensure that buildings are designed to reflect the natural conditions of the site and that they include design elements that visually "anchor" the building to the site. In order to deviate from maximum height standards, approval must be obtained through the variance process defined in Chapter 17.66 GHMC and not through the design review process.

- A. Respect natural topography. Buildings shall be designed to fit natural slopes rather than regrading the slope to fit a particular building design. Minimize cuts and fills by developing designs which complement and take advantage of natural topography. Sloped lots may require terraced parking lots and multilevel buildings designed to follow the slope.
- B. Incorporate building design elements into landscaping areas. Secondary design elements such as low walls, planter boxes, stairs or plaza surfaces that incorporate materials used on the building's exterior shall be incorporated into the landscape design around the building's perimeter to visually anchor and transition the building to the site.
- C. Avoid cantilevered designs. Buildings must be designed to solidly meet the ground. Large cantilevers of building mass are prohibited. Minor cantilevers such as bay windows, and balconies are acceptable. Upper floors may not cantilever more than three feet beyond lower floor walls.
- D. Determine allowable building height from any point within buildable area. Allowable building height may be measured from any point within defined buildable areas; provided, that the point of measurement is within 50 feet of the building footprint, as follows:
 - 1. In the height restriction area, each lot is allowed a building height of up to 16 feet; provided, that no portion of the structure exceeds 27 feet above natural and finished grade.
 - 2. In the historic district, height limits vary. Refer to historic district standards in GHMC 17.99.510(A)(2) for residential and GHMC 17.99.510(B) for nonresidential.
 - 3. All other areas, no portion of the structure shall exceed the maximum height of the underlying zone.

Staff Analysis: Part A of this standard has a relation to GHMC 17.99.240, and the project proposal utilizes a significant amount of cut; it also does not propose any terracing or multilevel buildings at this time.



INTEROFFICE MEMORANDUM

TO: Cindy Andrews, Planning Assistant
FROM: Roxanne Robles, Senior Planner
SUBJECT: Pre-Application comments for Sehmel Business Park, 5926 Sehmel Drive
DATE: May 24, 2023 **revised May 25, 2023**

Revisions are highlighted.

Applicable Codes

The proposal to develop seven parcels (APNs 0122361006, 0122361008, 0122361009, 0122361013, 0122361001, 0122361068, and 0122361067) with a business park and convenience store with a gas station and coffee shop. The proposal will be subject to the regulations contained in the Gig Harbor Municipal Code (GHMC) Titles 16, 17, 18, and 19. All of these documents may be accessed online from the City's website (www.cityofgigharbor.net), by clicking on the link to the reference library. You may also obtain copies of these documents from the City for a fee. Please make yourself familiar with these regulations as the comments in this letter are intended only to highlight the most relevant or problematic code provisions for your project.

Staff Comments:

Background

Two of the parcels within the proposal were previously subject to code enforcement (PLC-20-0009). In February 2020 the City was notified that work had been performed including the clearing of trees, movement and relocation of machinery, the construction of small buildings, and operations without a business license. An appeal was filed in April 2020 (PL-APP-20-0001) however, the case has not yet been resolved.

GHMC TITLE 16 SUBDIVISIONS

Should the applicant choose to maintain or adjust the existing boundary lines while allowing the site to operate as one lot, the applicant may consider using a binding site plan (BSP). With a BSP, the property owner will execute a written agreement which is recorded against the subject property ensuring that all lots will function as one site. BSPs are a Type II administrative decision. The project will require major site plan review per GHMC 17.96.030.B in either permit process (boundary line adjustment of binding site plan); review fees for both processes are included at the end of this letter.

GHMC Chapter 16.03 Boundary Line Adjustments

The project proposal intends to amend or eliminate boundary lines. Boundary line adjustments (BLA) are a Type I administrative decision. The Community Development Director (Director) shall approve an application for a BLA based on the following criteria:

1. No additional lot, tract, parcel, site or division will be created by the proposed adjustment;
2. No lot is created or modified which contains insufficient area and dimensions to meet the minimum requirements of the zone in which the affected lots are situated;
3. No lot is created or modified which does not have adequate drainage, water supply and sanitary sewage disposal, and access for vehicles, utilities and fire protection, and no existing easement in favor of the public is rendered impractical to serve its purpose; and
4. The boundary line adjustment is consistent with the applicable provisions of GHMC Title 17.

GHMC Chapter 16.11 Binding Site Plans

The Director shall approve an application for a BSP if the following criteria are satisfied:

1. The proposed lots will continue to function and operate as one site, for fully developed sites; and
2. The application must conform to the conditions imposed on the approved site plan; and
3. The decisionmaker must find that adequate provisions have been made for drainageways, alleys, streets, other public ways, water supplies, open space and sanitary wastes for the proposed development on the property included within the binding site plan;
 - a. The decisionmaker must find that the proposed development complies with all applicable provisions of the building code and public works standards;
 - b. The decisionmaker must find that the proposed development complies with all applicable provisions of Chapter 16.08 GHMC, and all provisions of the zoning code and the development standards in the zoning code relating to development in the underlying zoning district.

Amendment, modification and/or vacation of a BSP shall be accomplished by following the same procedure and satisfying the same laws and conditions as required for a new BSP, as set forth in GHMC Chapter 16. If a portion of a BSP is vacated, the property subject to the vacated portion shall constitute one lot unless the property is subsequently divided by an approved subdivision or short subdivision.

Please be aware that the use of the BSP does not eliminate property lines with respect to structure location. While perimeter landscaping is not required for parcels subject to the BSP, structures may not straddle property lines.

GHMC TITLE 17 ZONING

The subject parcel is adjacent to the south to a residential district, which has several setbacks and buffers required within different parts of GHMC:

- No structure in the ED district shall be closer than 50 feet to any residential zone or development, or closer to 20 feet to any street or property line. Parking shall not be located any closer than 35 feet adjacent to a residential zone or development, or any closer than five feet to any interior lot (GHMC 17.45.040.A). The 50-foot setback would not apply to the stormwater pond.
- The site must be landscaped to the standards of GHMC Chapter 17.78, and any yards adjacent to a residential zone must be landscaped with a 35-foot-wide dense vegetative screen (GHMC 17.45.040.C).

- Buffering between zones in parcels outside the height restriction area defined in Chapter 17.62 GHMC shall include a dense vegetative buffer of 40 feet or more unless the zone transition standards of GHMC 17.99.190 are complied with. The dense vegetative buffer shall be entirely located on the parcel being developed (GHMC 17.99.180).

GHMC 17.99.200 provides for alternative zone transition standards. Under this section, the Design Review Board (DRB) may recommend approval of development, such as the stormwater pond, if it finds that the development integrates and is sensitive to, the pattern of development in the abutting zone. 17.99.200 lists thirteen elements that are the subject of the DRB review. ***If the DRB does not find that the proposal meets the intent of the alternative standards, the location of the stormwater pond within the 40-foot vegetative buffer would only be allowed by approval of a variance.***

The DRB review of any proposed alternative zone transition standards would occur prior to the administrative or hearing examiner review, either as a DRB pre-application meeting or a formal DRB meeting. There is no fee for the DRB pre-app, but the meeting is an informal discussion and does not result in a recommendation. The formal meeting would result in a recommendation.

With respect to the 35-foot landscape buffer required under 17.45.040.C, the provision has not historically been applied when the residential zone/development is separated from an ED district by a roadway. While there is not an interpretation specific to this point, it seems reasonable to assume that the large right-of-way associated with Sehmel Drive will provide adequate distance and the DRB review of the zone transition question will address the potential impact of the proposed industrial uses on the residential neighborhood.

GHMC Chapter 17.45 Employment District (ED)

The employment district is intended to enhance the city's economic base by providing suitable areas to support the employment needs of the community. The employment district provides for the location of manufacturing, product processing, research and development facilities, assembly, warehousing, distribution, contractor's yards, professional services, corporate headquarters, medical facilities and complementary educational and recreational uses which are not detrimental to the employment district. Limited retail, business and support services that serve the needs of the employment district tenants and patrons are allowed. The employment district is intended to have limited nuisance factors and hazards. ***Industrial Level 1 and Level 2 uses are permitted outright in the ED. The proposed convenience store and gas station uses are conditional within the ED. If the coffee shop were to utilize a drive-through, this is also a conditional use. A conditional use permit is a Type III decision which requires a hearing examiner decision.*** Permit procedures can be reviewed in GHMC Title 19. Performance standards for restaurant and sales uses in the ED are as follows:

- The subject parcels are adjacent to the east and south of a single-family residential development across Sehmel Drive. GHMC 17.45.040. A requires that no structure in the ED district shall be closer than 50 feet to any residential zone or development, or closer to 20 feet to any street or property line. Parking shall not be located any closer than 35 feet adjacent to a residential zone or development, or any closer than five feet to any interior lot.
- The development must incorporate a minimum of 15% of open space (either retained natural vegetation or new landscaping), excluding setbacks.

- The site must be landscaped to the standards of GHMC Chapter 17.78, and ***any yards adjacent to a residential zone must be landscaped with a 35-foot-wide dense vegetative screen.***
- Sales, level 1 and level 2, and marine boat sales, level 2 uses are allowed if subordinate to the principal tenant use and occupy no more than 25 percent of the gross floor area of the principal tenant use. For reference, sales activities are categorized as follows:
 - “Sales, level 1” means general sales including grocery stores, hardware stores, variety stores, nurseries, pharmacies, bakeries, flower shops, and similar general retail uses.
 - “Sales, level 2” means automobiles, trucks, motorcycles, recreational vehicles, boats and trailer sales.
 - “Sales, level 2” means automobiles, trucks, motorcycles, recreational vehicles, boats and trailer sales.
 - “Retail sales” means the point of purchase acquisition of small quantities of finished goods or products, excluding motorized vehicles, trailers, manufactured homes and boats, by the ultimate consumer.
- Restaurant 2 and 3 uses are limited to no more than 25 percent of the gross floor area of a building. For reference, restaurant activities are categorized as follows:
 - “Restaurant 1” means an establishment that serves food and nonalcoholic beverages and operates without a grill or deep-fat fryer. Beer and wine may be served in a Restaurant 1 establishment provided the Restaurant 1 use does not exceed 1,200 square feet in size.
 - “Restaurant 2” means an establishment that prepares and serves food and nonalcoholic beverages.
 - “Restaurant 3” means an establishment that prepares and serves food and alcoholic beverages.

Please also review the performance standards within GHMC 17.454.040 that describe the screening of HVAC equipment, outdoor storage, outdoor lighting, and trash receptacles.

GHMC Chapter 17.64 Conditional Uses

Certain uses, because of their unusual size, infrequent occurrence, special requirements, possible safety hazards or detrimental effect on surrounding properties, are classified as conditional uses. These uses may be allowed in certain use districts by a conditional use permit granted by the hearing examiner, subject to the procedures established in GHMC Chapter 2.25.

Per GHMC 17.64.040 each determination granting or denying a conditional use permit shall be supported by written findings of fact showing specifically wherein all of the following conditions are met:

- That the use which the conditional use permit is applied for is specified by this title as being conditionally permitted within, and is consistent with the description and purpose of the zone district in which the property is located;
- That the granting of such conditional use permit will not be detrimental to the public health, safety, comfort, convenience and general welfare, will not adversely affect the established character of the surrounding neighborhood, and will not be injurious to the property or improvements in such vicinity and/or zone in which the property is located;
- That the proposed use is properly located in relation to the other land uses and to transportation and service facilities in the vicinity; and further, that the use can be adequately served by such public facilities and street capacities without placing an undue burden on such facilities and streets;

- That the site is of sufficient size to accommodate the proposed use and all yards, open spaces, walls and fences, parking, loading, landscaping and other such features as are required by this title or as needed in the opinion of the examiner.

The applicant should submit a narrative in their application addressing the approval criteria.

GHMC Chapter 17.66 Variance and Interpretations

The applicant discussed the potential of siting a stormwater pond within the setbacks and buffer along Sehmel Drive. This chapter is intended to provide review procedures and criteria for those special situations where the dimensional, bulk or spacing provisions of this title may be relaxed. Variances are not intended to be used as a means of circumventing individually inconvenient regulations. A request of this type would require a general variance which is a Type III application and requires a public hearing. Criteria of approval are as follows:

1. The proposed variance will not amount to a rezone nor authorize any use not allowed in the district;
2. Special conditions and circumstances exist which are peculiar to the land such as size, shape, topography or location, not applicable to other land in the same district and that literal interpretation of the provisions of this title would deprive the property owner of rights commonly enjoyed by other properties similarly situated in the same district under the terms of this title;
3. The special conditions and circumstances do not result from the actions of the applicant;
4. Granting of the variance requested will not confer a special privilege that is denied other lands in the same district;
5. The granting of the variance will not be materially detrimental to the public welfare or injurious to the property or improvements in the vicinity and zone in which the subject property is situated;
6. The hearing examiner shall further make a finding that the reasons set forth in the application justify the granting of the variance, and that the variance is the minimum variance that will make possible the reasonable use of the land.

In this case, the applicant would need to demonstrate that there is no other suitable location for a stormwater pond on the site, which could include a series of diagrams, site plans, and/or soils analysis.

GHMC Chapter 17.72 Off-Street Parking and Loading Requirements

GHMC 17.72.020 Off-street parking design standards

Please review this section for parking space design standards. Note that all open parking areas with four or more parking spaces shall be effectively screened by a wall, a fence, or landscaping from an institutional or public building and from any property in a residential district, pursuant to the requirements in GHMC 17.78.080.

The subject parcel is adjacent to the east and south of a residential development, and to the west of a parcel zoned Public Institutional (PI). Per GHMC 17.72.020.F All open parking areas with four or more parking spaces shall be effectively screened by a wall, a fence or landscaping from any institutional or public building and from any property in a residential district, pursuant to the requirements of GHMC 17.78.080.

GHMC 17.72.030 Number of off-street parking spaces.

Parking requirements for many of the proposed uses are allocated by gross floor area of the associated use. GHMC 17.72.030 has a table which outlines the required parking for each type of use. Based on the proposal (and potential related uses), the following parking standards apply:

Automotive fuel-dispensing facility	One off-street parking space per every two fuel pumps if service bays are not provided. If service bays are provided, four off-street parking spaces per service bay.
Drive-through facility	One off-street space for every two employees assigned to the drive-through service area. In addition, a stacking lane or lanes capable of accommodating a minimum of 10 percent of the projected maximum hourly throughput of vehicles for the drive-through facility shall be provided near the drive-through service area. One car length within the stacking lane shall be equal to the length of a standard parking space.
Industrial, level 1	One off-street parking space per 1,000 square feet of gross floor area.
Industrial, level 2	One off-street parking space per 1,000 square feet of gross floor area, except for moving companies and distribution facilities. For moving companies and distribution facilities, one off-street parking space per vehicle in use, at any time, in the conduct of business.
Restaurant 1, 2 & 3	One off-street parking space for every three seats based on a seating plan submitted to the Director showing a reasonable seating capacity for the dining area. Concurrency review under GHMC Chapter 19.10 may also be required if the additional seats generate any new p.m. peak-hour trips, require additional sewer capacity, or increase water consumption.
Sales, level 1	One off-street parking space per 300ft ² of gross floor area
Sales, level 2 & 3	One off-street parking space per 400ft ² of gross floor area
Vehicle wash	Two off-street parking spaces per service bay plus one space for every two employees. In addition, a stacking lane or lanes capable of accommodating a minimum of 10 percent of the projected maximum hourly throughput of vehicles shall be provided near the entrance to the wash bay(s). One car length within the stacking lane shall be equal to the length of a standard parking space.

GHMC 17.72.040 Off-street loading design requirements

Please review this section regarding the development of off-street loading berths. This section outlines dimensional requirements for the loading berths and approaches.

GHMC 17.72.050 Off-street loading berth requirements

Commercial and industrial uses require one berth for each 10,000 square feet of gross floor space.

GHMC 17.72.080 Joint use of required parking spaces for mixed use developments within the RB-2, B-1, B-2, C-1, DB, PCD-C, PCD-BP, PCD-NB, ED and MUD zoning districts

Mixed use developments that provide common parking areas may share required spaces for several different uses when those uses include both daytime and nighttime peak uses as defined below. When calculating the total required parking for the mixed use

development, the parking required for either the daytime peak uses or the nighttime peak uses, whichever is smaller, may be reduced by 50 percent. Regulated as follows:

- For the purposes of this section, the following uses may be considered daytime uses: government administrative office; financial institutions; professional services; retail stores (sales level 1); industrial level 1 uses; restaurants that the Director determines have principal operating hours during the day; and similar primarily daytime uses as determined by the Director.
- For the purposes of this section, the following uses may be considered nighttime uses: house of religious worship; clubs; commercial entertainment; restaurants that the Director determines have principal operating hours during the night; taverns; and similar primarily nighttime uses as determined by the Director.
- All uses do not have to be categorized as a daytime or nighttime peak use. No reduction applies to uses that experience peak levels during both the daytime and nighttime.
- When the use or uses change within a mixed use development and additional parking spaces are required as a result, it is unlawful and a violation of this chapter to begin or maintain such use until such time as the required off-street parking provisions of this chapter are met.

GHMC Chapter 17.78 Trees, Landscaping and Screening

GHMC 17.78.030 Tree, landscape and screening plans.

Please review this section for tree, landscape, and screening plan requirements. The project will require a significant tree survey, as well as retention and protection plans. The City utilizes a third-party review for any major tree removal proposals. The cost of the review is borne by the applicant.

GHMC 17.78.070 Perimeter landscaping requirements for nonresidential and mixed use development

The required area of perimeter landscaping shall be at least the depth of the required yard or setback area, in this case at least 20 feet. Those areas adjacent to residential zones or developments must be landscaped with a 35-foot dense vegetative screen per GHMC 17.45.040.C.

The width of the perimeter landscape areas may be modified as provided for in this section in order to group, shape or cluster existing or planted vegetation to create modulating edges along the perimeter of a site or to create internal vegetation islands. In addition, internal vegetation island(s) may be included in the calculation of perimeter areas and shall be located in order to separate and/or juxtapose buildings and/or parking areas and prioritize access points and junctions in internal circulation if the standards below are met. The total square footage of these modified perimeter landscape areas shall be equivalent to the area of the standard required perimeter width identified above.

Please review the landscaping requirements within GHMC 17.78.070 for guidance. Please see attached Director's Preferred Planting List and the Public Works Street Tree List for reference.

GHMC 17.78.070.B notes that to achieve residential screening, a solid screen of trees and vegetation may be used, or a combination of vegetation and fencing.

GHMC 17.78.080 Parking lot and service area landscaping and screening

Please review this section to understand regulations for perimeter and interior landscaping of parking lots for nonresidential uses. As there will be several uses on site, the parking areas will need to be distinguished by 5-foot planting strips as noted in GHMC 17.78.080.A.1.

Developments which meet the Industrial Building Exemption (IBE) standards in GHMC 17.99.040 are exempt from the continuous canopy of interior parking lot trees if the number of trees otherwise required within the parking lot are provided around the parking lot, along with any other required landscaping. If the applicant chooses to utilize this exemption, please show the calculations for trees on the tree, landscaping, and screening plan.

GHMC Chapter 17.80 Sign Code

It is the purpose of this chapter to promote a quality visual environment by establishing reasonable standards for the size, placement, height and maintenance of outdoor signs, graphics and advertising. It is further intended to encourage quality design and material composition which create an attractive community and business climate by implementing the goals and policies described in the community design element of the city's comprehensive plan. Implementing these goals and policies will assure that signage is in harmony with building designs and the character of the surrounding areas.

GHMC 17.80.070 Master sign plans

Before a sign permit can be issued for any commercial multi-tenant building, a master sign plan shall be developed and approved by the City. Individual buildings on a single site may have separate master sign plans. Please review GHMC 17.80.070 for application contents, design limitations, sign color requirements, the approval process, and amendment procedures.

Sign plans shall be approved through the site plan review process except existing buildings may have sign plans approved administratively by the Director. Owners, or owner's designees, of all existing multi-tenant projects or buildings shall submit a master sign plan prior to issuance of any new sign permits for said buildings. The Director may approve a master sign plan prepared by an owner or owner's designee.

GHMC 17.80.120 Prohibited signs

Please review this section which lists prohibited sign types. The Public Works Director may determine signs to be a safety hazards if they impede pedestrian or vehicular traffic.

GHMC Chapter 17.96 Site Plans

The project proposal will require major site plan review which is a Type II administrative decision. Site plan approval criteria is within GHMC 17.96.035 and is as follows:

- The site plan is compatible with the surrounding uses; and
- The site plan is compliant with all relevant statutory codes, regulations, and ordinances.

The applicant should submit a narrative addressing approval criteria as part of their application. Please review GHMC 17.96.050 for complete application requirements.

GHMC CHAPTER 17.99 DESIGN MANUAL

The project proposal is for a commercial and industrial business park complex. Industrial developments which meet the exemption criteria in GHMC 17.99.040 are exempt from certain design requirements as listed in GHMC 17.99.040.C. IBE is applicable to those developments for which the following are true:

- The building, structure, or site is not located in the City's historic district; and
- If the building structure or site is in the ED, one of the following must be true:
 - The building, structure or site is more than 800 feet from a parkway or the defined right-of-way within an enhancement corridor as described in GHMC 17.99.110 and 17.99.150, respectively; or
 - The building, structure or site is within 800 feet from a parkway or the defined right-of-way within an enhancement corridor and is not visible from such right-of-way; or
- If the building, structure or site is not within the ED, one of the following must be true:
 - The building, structure or site is more than 800 feet from a public right-of-way; or
 - The building, structure or site is within 800 feet from a public right-of-way and is not visible from such right-of-way.

Based on the existing proposal, the following sections of the Design Manual are of interest:

GHMC 17.99.240 Natural site conditions

Site development should be designed to reflect the natural conditions of the site, including topography and existing vegetation. The following standards will help to achieve this and are applicable to all development.

GHMC 17.99.280 Outdoor common area standards

A common area is a designed outdoor space which encourages outdoor activities and leisure in outdoor spaces associated with nonresidential development. Required common areas must be provided on site, unless otherwise allowed by subsection (B)(5) of this section but may be enlarged and extended into city rights-of-way to connect with the sidewalk, subject to city public works department approval.

GHMC 17.99.330 Parking lot standards (except part E)

Parking lots and parking structures should not visually dominate Gig Harbor's urban setting. Parking facilities should be designed with increased emphasis on landscaping, pedestrian ways and human enclosure. The requirements of this section are intended to mitigate the visual impacts of parking by screening parking lots from public rights-of-way and by making parking garages a secondary element in building designs.

GHMC 17.99.350 Outdoor lighting standards

The primary purpose of outdoor lighting is to improve visibility and safety within outdoor spaces. However, light can also enhance a setting if the intensity and source of the light corresponds to the visual character of the surroundings. The protection of neighborhoods and the quality of the night sky are important goals of lighting design standards in the city.

GHMC 17.99.360 Outdoor furnishings

Outdoor furnishings areas important to the visual quality of the city as indoor furnishings are to a room. Outdoor furnishings in public and quasi-public spaces contribute to a community image. The choice of furnishings determines how casual or formal a setting may be and reveal a great deal about the preferences of the people the setting is designed to serve.

Any proposals which do not adhere to the general requirements of the design review manual (bold headings) will require a Design Review Board (DRB) recommendation to the Director or hearing examiner, depending on the decision mechanism. Any proposals which do not adhere to the specific requirements of the design review manual (normal text), but proposes an alternative design solution, will require an administrative review and Director recommendation to the hearing examiner. Proposals which do not adhere to the specific requirements, and do not propose an alternative design solution, will require a design exception. The DRB will issue a recommendation to the Director for review.

TITLE 18 ENVIRONMENT

GHMC Chapter 18.04 Environmental Review (SEPA)

Based on the scope and scale of the project, the City will need to issue a SEPA determination. This process is governed by GHMC Chapter 18.04, which adopts the State Environmental Policy Act (SEPA) by reference.

GHMC Chapter 18.08 Critical Areas

Any soil disturbance or construction within critical areas or their buffers is regulated by GHMC Chapter 18.08. The wetland review process is outlined in GHMC 18.08.070. ***The subject property contains and is adjacent to wetlands designated by Pierce County. The City requires any proposal within a wetland, or within 300 feet of a wetland to provide a wetland analysis report. If alteration of a wetland or buffer is proposed, a wetland mitigation plan shall be submitted pursuant to the requirements of GHMC Chapter 18.08.***

Applicant Questions:

1. The zone transition buffer are storm ponds allowed in the transition buffers. Alternative zone transition standards do not cover ponds.

Based on the discussion within pre-application conference a variance would be required to site any structure or stormwater facility within the 35-foot setback required by GHMC 17.45.040.C. In this case, the DRB may review the request for an exception to the 40-foot zone transition standard, but the project would still require a variance from the requirements of GHMC 17.45.040.C.

The following fees apply, depending on project scope:

1. **Conditional Use Permit**
 - a. New Nonresidential/Multi-family Development (fee: \$4,051.00), includes fee for building and fire review
2. **Variance/Interpretation**
 - a. Non-Single-Family Variance (fee: \$1,560.00)
3. **Site Plan Review and Landscape Plans**

- a. Major site plan review (fee: \$5,297.00), includes design review and master sign plan review
 - b. Existing/approved site plan modifications/expansions (fee: \$3,337.00)
 - c. Modifications of conditions of approval (fee: \$2,057.00)
 - d. Alternative landscape plan (fee: \$630.00)
- 4. Short Subdivisions and Boundary Line Adjustments**
- a. Boundary line adjustment – combined total (fee: \$853.00)
- 5. Binding Site Plans**
- a. Binding site plans – combined total (fee: \$3,779.00)
 - b. Amendment/modification/vacation – combined total (fee: \$866.00)
- 6. Critical Areas Review**
- a. Third-party wetland analysis report review (fee: actual cost)
- 7. Environmental Review (SEPA)**
- a. Checklist (\$510.00)

Please see the attached application forms and checklists for the application requirements:

“Neither the discussions at the conference nor the information provided on the forms sent by the Director to the applicant under 19.02.001 (C) shall bind the Director in any manner or prevent the Director’s future application or enforcement of all applicable codes, ordinances, and regulations.” 19.02.001 (D) GHMC



Design Review Pre-Application Conference Request

OFFICE USE ONLY

RECEIVED
 By C. ANDREWS at 1:03 pm, Oct 18, 2023

SUBMITTED: _____

CASE NO.: _____

MASTER PLANNING PERMIT APPLICATION

Check all permits you are applying for in the boxes provided. Submit this application form, the applicable materials listed in the corresponding checklist and fee.

<input type="checkbox"/> Major Site Plan Review	<input type="checkbox"/> Preliminary Short Plat	<input type="checkbox"/> Shoreline Substantial Development Permit	<input type="checkbox"/> Land Clearing
<input type="checkbox"/> Minor Site Plan Review	<input type="checkbox"/> Final Short Plat	<input type="checkbox"/> Shoreline Variance	<input type="checkbox"/> Nonconforming Review
<input type="checkbox"/> Administrative Design Review	<input type="checkbox"/> Preliminary Plat	<input type="checkbox"/> Shoreline Conditional Use Permit	<input type="checkbox"/> Perf. Based Height Exception
<input type="checkbox"/> Alternative Design Review	<input type="checkbox"/> Preliminary Plat Revision	<input type="checkbox"/> Shoreline Exemption	<input type="checkbox"/> Temporary Trailer / Use
<input type="checkbox"/> Alternative Landscape Plan	<input type="checkbox"/> Final Plat	<input type="checkbox"/> Shoreline Revision	<input type="checkbox"/> Administrative Interpretation
<input type="checkbox"/> Binding Site Plan	<input type="checkbox"/> Plat Alterations/Vacation	<input type="checkbox"/> Flood Hazard	<input type="checkbox"/> Rezone
<input type="checkbox"/> Variance	<input type="checkbox"/> Preliminary PRD/PUD	<input type="checkbox"/> Critical Area Variance	<input type="checkbox"/> Height Restriction Area Amendment
<input type="checkbox"/> Conditional Use Permit	<input type="checkbox"/> Final PRD/PUD	<input type="checkbox"/> Reasonable Use Exception	<input type="checkbox"/> Comp. Plan Amendment
<input type="checkbox"/> SEPA	<input type="checkbox"/> Final PRD/PUD Amendment	<input type="checkbox"/> Critical Area Review	<input type="checkbox"/> Zoning Text Amendment
<input type="checkbox"/> Tree Removal	<input type="checkbox"/> Boundary Line Adjustment	<input type="checkbox"/> Master Sign Plan	
<input type="checkbox"/> Change in Use	<input type="checkbox"/> Short Term Rental		

Project Name: _____

Project Address: _____

Tax Assessor Parcel Number(s): _____
Attach full legal description

APPLICANT/AGENT Primary Contact for Application

Name:	_____	Phone:	_____
Street:	_____	Fax:	_____
City/State/Zip:	_____	Email:	_____

PROPERTY OWNER(S) Applicant Primary Contract for Application

Name:	_____	Phone:	_____
Street:	_____	Fax:	_____
City/State/Zip:	_____	Email:	_____

Property Owner(s)

I do hereby affirm and certify, under penalty of perjury, that I am one (or more) of the owners or owner under contract of the herein described property and that the foregoing statements and answers are in all respects true and correct on my information and belief as to those matters, I believe it to be true.

Signature by Property Owner: _____ **Date:** _____

PROJECT DESCRIPTION (PROVIDE DETAILED SUMMARY)

UTILITIES

Water Supply (name of utility provider): _____ **Sewage Disposal (name of utility provider):** _____

Access (Name of road or street from which access is or will be gained):

CRITICAL AREA INFORMATION

Wetlands on site Yes No **Slopes exceeding 15%** Yes No **Streams** Yes No

Existing Land Use: Describe (or illustrate separately) all existing use structures and all critical areas within 300 feet of property lines.

Fee Deposits:

"I acknowledge that I have applied for a permit which requires a deposit for future services to be rendered, as required by section F of the City's adopted Fee Schedule. I understand that, as the applicant, I (we) shall bear all of the costs of these services and will be billed the act costs in excess of the deposit. If the actual costs are below the deposit, I will be refunded the difference." _____(Initials)

Consolidated Permit Processing:

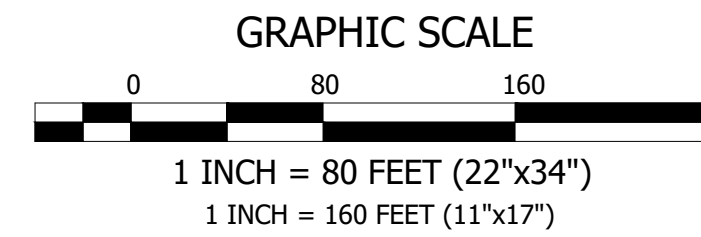
"As the applicant, I (we) elect to have all planning permits submitted concurrently and associated with our project processed collectively under the highest numbered permit procedure per [GHMC 19.01.002\(B\)](#)." _____(Initials)

RECEIVED
By C. ANDREWS at 2:18 pm, Oct 18, 2023



RECEIVED
By C. ANDREWS at 2:20 pm, Oct 18, 2023





SEHMEL DRIVE BUSINESS PARK

A PORTION OF SECTION 36, TOWNSHIP 22 N, RANGE 1 E, W.M.,
CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON

RECEIVED
By C. ANDREWS at 2:21 pm, Oct 18, 2023

GRADING NOTES
BUSINESS PARK EARTHWORK
QUANTITIES TO FINISH GRADE
CUT: 55,430 CY
FILL: 49,108 CY
EXCESS CUT: 6,322 CY
MAX CUT DEPTH: 30'
MAX FILL DEPTH: 27'

GRADING SLOPES
MAX ROAD GRADE: 8%
MAX PARKING LOT GRADE: 5%
MAX CUT/FILL SLOPE 3:1

BUILDING HEIGHTS SHOWN IN SITE SECTIONS ARE ASSUMED AND FOR REFERENCE PURPOSES ONLY

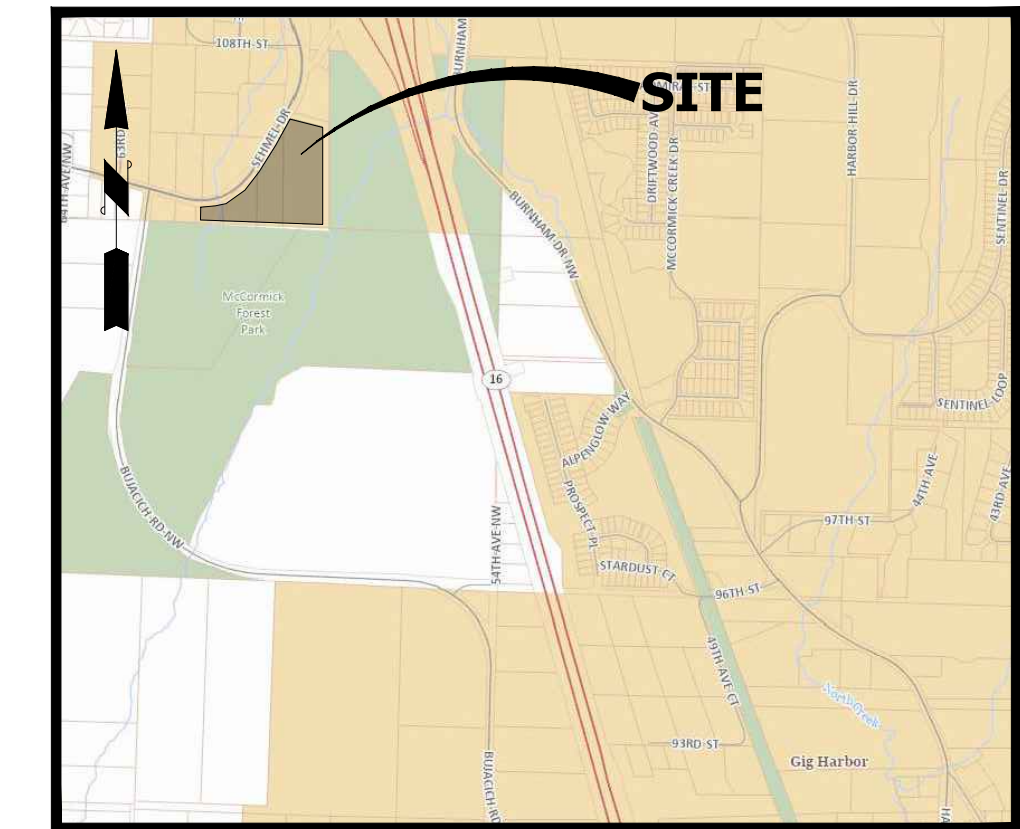
C-STORE EARTHWORK
QUANTITIES TO FINISH GRADE
CUT: 6,334 CY
FILL: 456 CY
EXCESS CUT: 5,877 CY

GRADING SLOPES
MAX ROAD GRADE: 10%
MAX PARKING LOT GRADE: 5%
MAX CUT/FILL SLOPE 3:1

SOUTH POND EARTHWORK
QUANTITIES TO FINISH GRADE
CUT: 4,051 CY
FILL: 593 CY
EXCESS CUT: 3,458 CY

NORTH POND EARTHWORK
QUANTITIES TO FINISH GRADE
CUT: 5,995 CY
FILL: 1,558 CY
EXCESS CUT: 4,437 CY

GRADING SLOPES
MAX CUT/FILL SLOPE 3:1

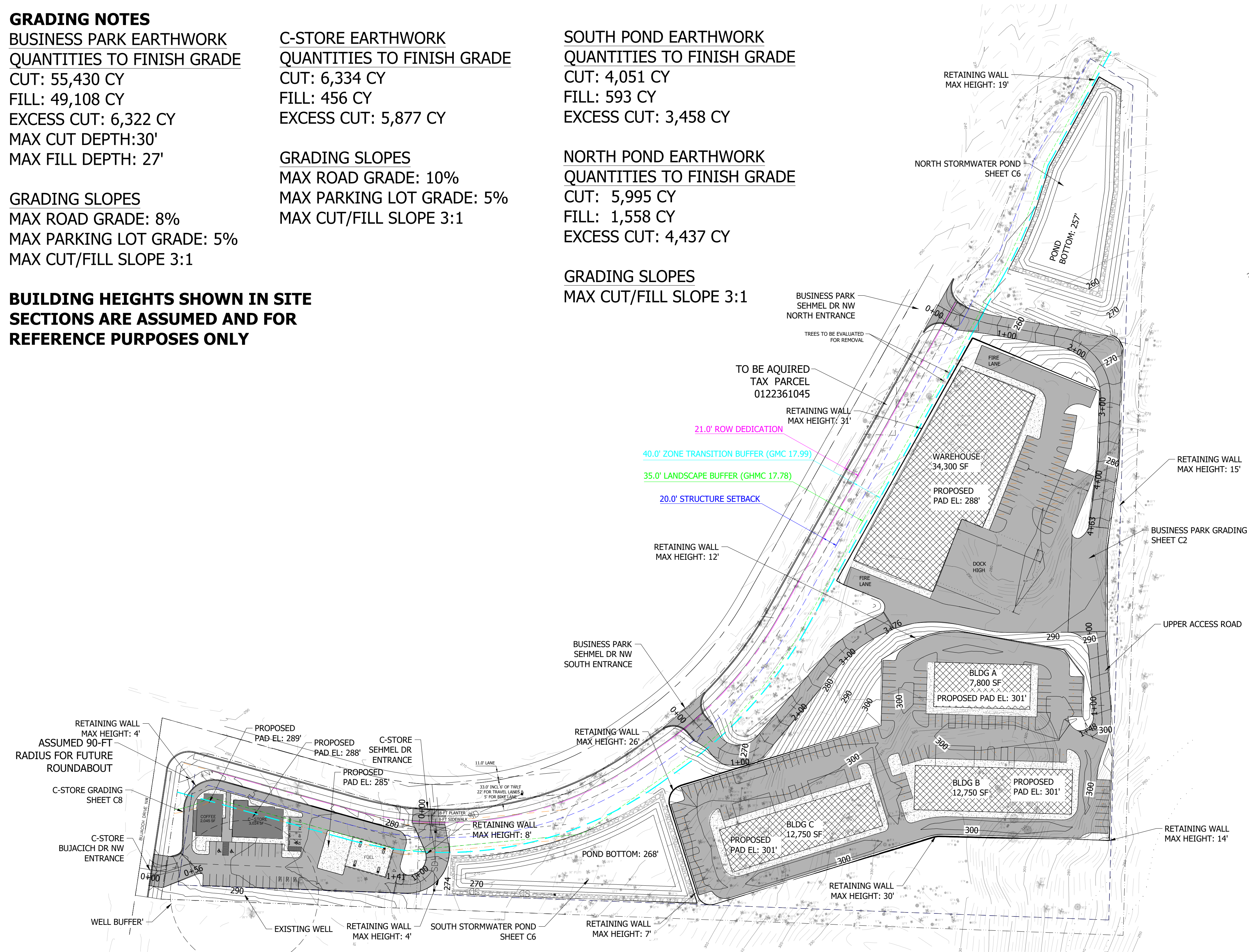


VICINITY MAP

NOT TO SCALE

LEGEND

SURVEY	CONTOURS	PROPOSED
---	100	---
---	PROPERTY LINE/RIGHT-OF-WAY	---
---	RIGHT-OF-WAY DEDICATION	---
---	RIGHT-OF-WAY CENTERLINE	---
---	EASEMENT	---
SD	BUILDING SETBACK	SD
SS	STORM DRAIN LINE	SS
RD	SANITARY SEWER LINE	RD
FM	ROOF DRAIN LINE	FM
UT	SANITARY SEWER FORCE MAIN LINE	UT
OHP	COMMON UTILITY TRENCH	OHP
P	OVERHEAD POWER LINE	P
G	UNDERGROUND POWER LINE	G
W	GAS LINE	W
⊙	WATER LINE	⊙
⊙	TYPE 2 CATCHBASIN	⊙
⊙	TYPE 1/TYPE 1L CATCHBASIN	⊙
⊙	STORM DRAIN CLEANOUT (SDCO)	⊙
⊙	SANITARY SEWER MANHOLE	⊙
⊙	SANITARY SEWER CLEANOUT (SSCO)	⊙
⊙	HYDRANT	⊙
⊙	WATER VALVE	⊙
⊙	WATER METER	⊙
⊙	FIRE STAND PIPE (FSP)	⊙
⊙	FIRE DEPARTMENT CONNECTION (FDC)	⊙
⊙	PRESSURE RELEASE VALVE (PRV)	⊙
⊙	GAS MARKING POST	⊙
⊙	GAS METER (GM)	⊙
⊙	GAS VALVE (GV)	⊙
⊙	MONUMENT	⊙
⊙	POWER POLE (PP)	⊙
⊙	GUY WIRE (GW)	⊙
⊙	WATER MARKING POST (WMP)	⊙
⊙	LIGHT STANDARD/YARD LIGHT (LS/YL)	⊙
⊙	POWER MANHOLE (PMH)	⊙
PV	POWER VAULT	PV
TP	TRANSFORMER PAD	TP
⊙	TELEPHONE JUNCTION BOX	⊙
⊙	CABLE JUNCTION BOX (CJB)	⊙
⊙	SIGNAL BOX (SB)	⊙
WS	WHEEL STOP	WS
⊙	SIGN	⊙
⊙	BOLLARD	⊙
	ASPHALT	
	CONCRETE	
	GRAVEL	
	PROPOSED BUILDING	



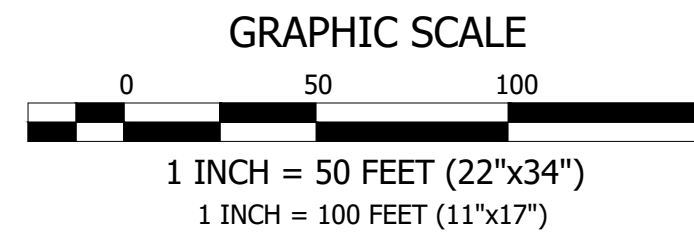
CALL 811 AT LEAST 48 HOURS BEFORE YOU DIG

REVISION	DESCRIPTION	DATE	BY

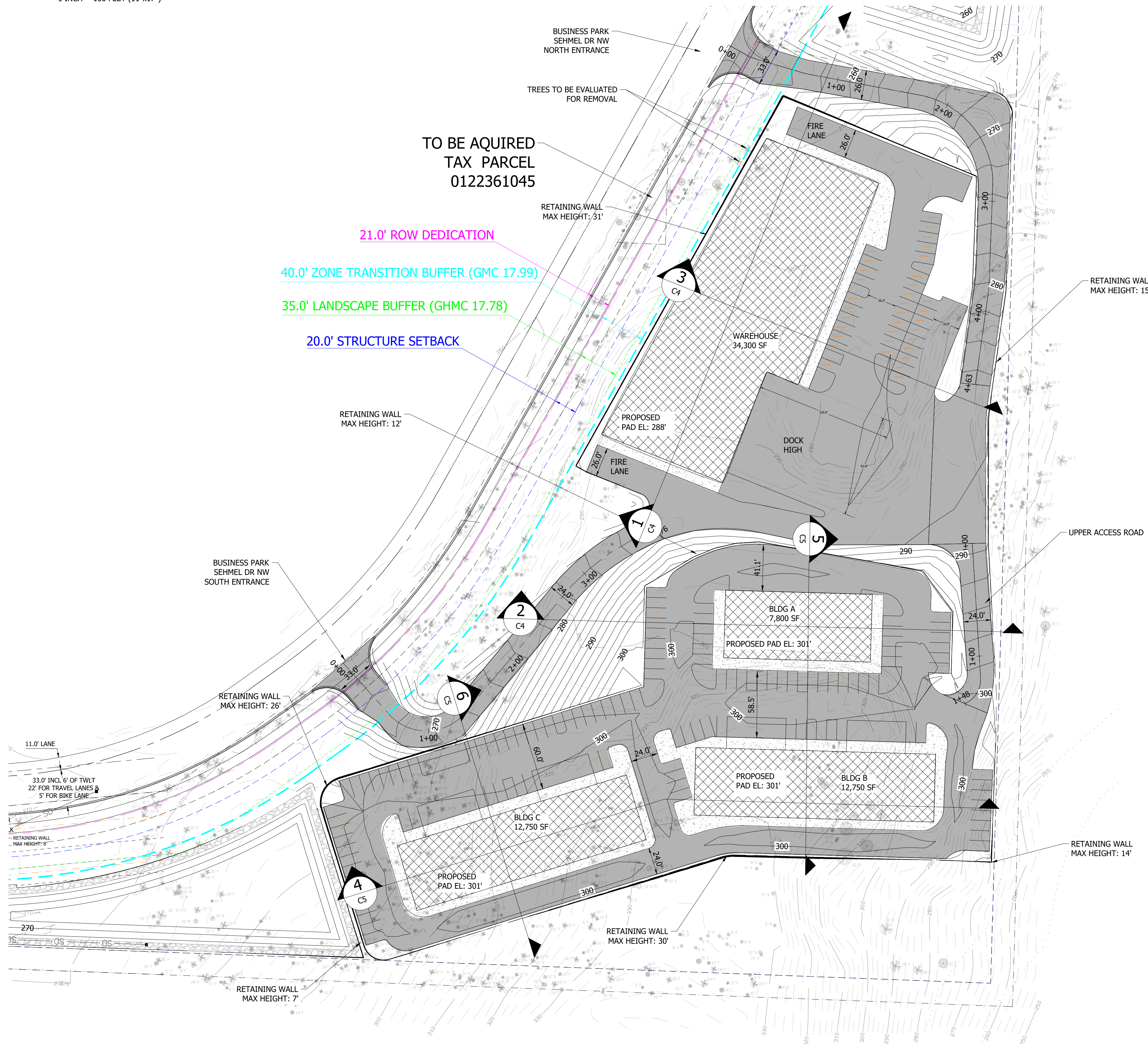
CONTOUR

ENGINEERING • LLC
CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS
Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourllc.com
Mailing Address: P.O. Box 949, Gig Harbor, WA 98335
Physical Address: 4706 97th Street NW, Suite 100, Gig Harbor, WA 98332

<p>SHEET TITLE: PRELIMINARY SITE PLAN</p>	<p>CLIENT: SEHMEL DR BUSINESS PARK, LLC 12520 BURHAM DR NW GIG HARBOR, WA 98332</p> <p>CONTACT: MICHAEL CANNON PHONE: (XXX) XXX-XXX</p>
<p>DESIGNER: P. ROEDER ENGINEER: B. ALLEN DRAWN: P. ROEDER S36 T22N R01E WM DATE: 2023-09-15 REVISED:</p>	
<p>PROJECT: 19-051 DWG NAME: 19-051-C</p>	
SHEET	REV.
C1	△
1 OF 9	



SEHMEL DRIVE BUSINESS PARK
 A PORTION OF SECTION 36, TOWNSHIP 22 N, RANGE 1 E, W.M.,
 CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON



LEGEND

SURVEY		PROPOSED
	CONTOURS	
	ASPHALT	
	CONCRETE	
	GRAVEL	
	PROPOSED BUILDING	

GRADING NOTES
 BUSINESS PARK EARTHWORK
 QUANTITIES TO FINISH GRADE
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 EXCESS CUT: 6,322 CY
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BUILDING HEIGHTS SHOWN IN SITE
 SECTIONS ARE ASSUMED AND FOR
 REFERENCE PURPOSES ONLY

**CALL 811 AT LEAST 48
 HOURS BEFORE YOU DIG**

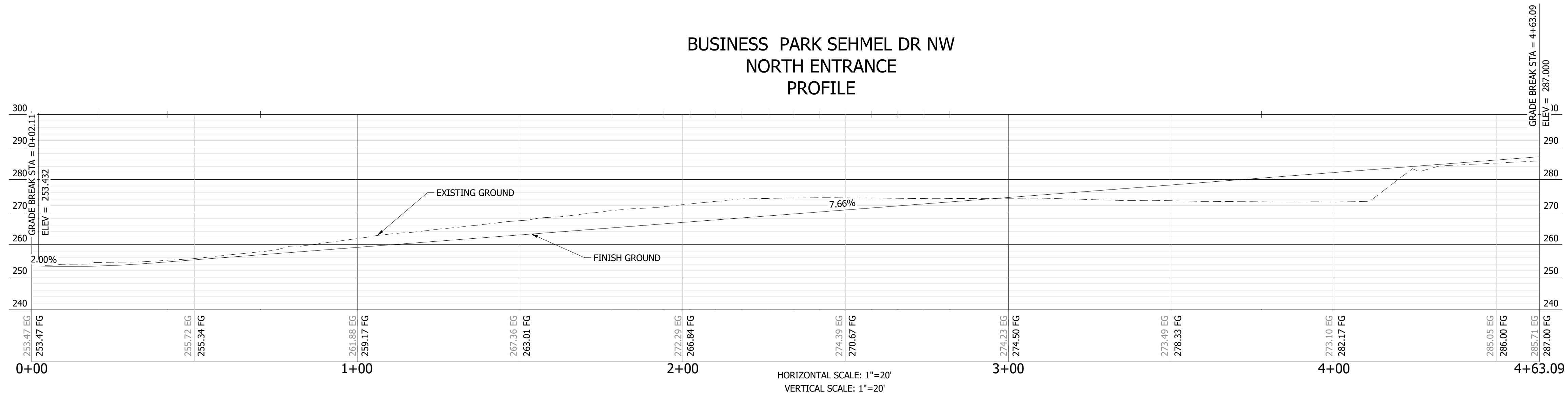
REVISION	DESCRIPTION	DATE	BY

PRELIMINARY SITE PLAN	
BUSINESS PARK SITE PLAN	
DESIGNER: P. ROEDER	ENGINEER: B. ALLEN
DRAWN: P. ROEDER	DATE: 2023-09-15
PROJECT: 19-051	DWG NAME: 19-051-C
SHEET: C2	REV:
2 OF 9	

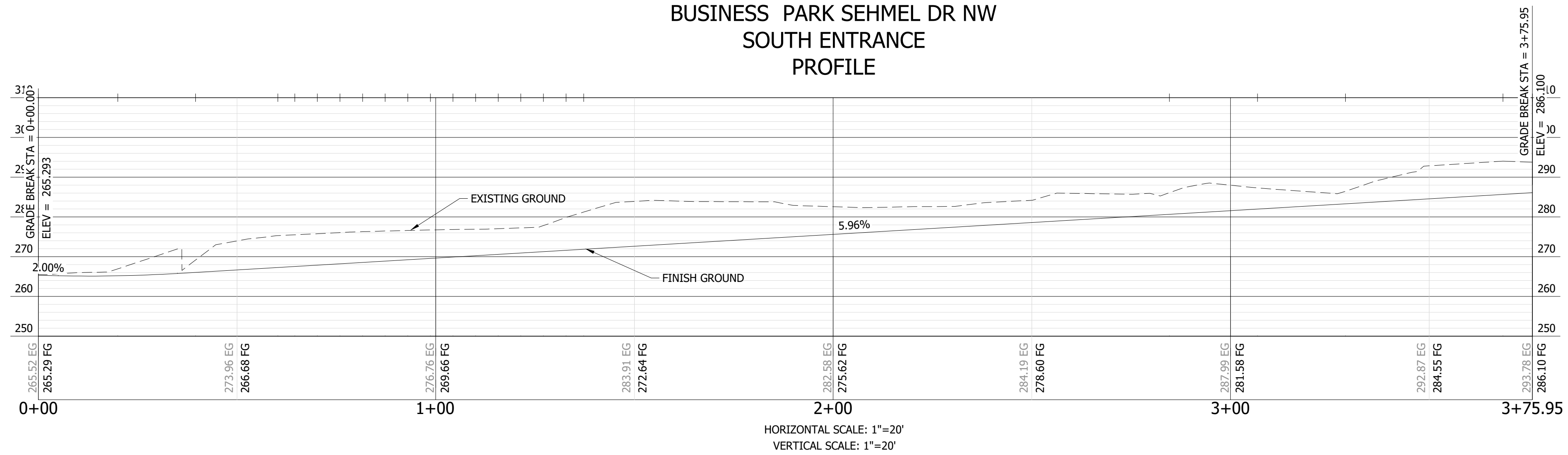
CONTOUR ENGINEERING • LLC CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS Phone: 253-857-5454 ~ Fax: 253-505-0044 ~ info@contourllc.com Mailing Address: P.O. Box 949, Gig Harbor, WA 98335 Physical Address: 4706 97th Street NW, Suite 100, Gig Harbor, WA 98332	SHEET TITLE: PRELIMINARY SITE PLAN BUSINESS PARK SITE PLAN CLIENT: SEHMEL DR BUSINESS PARK, LLC 12520 BURHAM DR NW GIG HARBOR, WA 98332 CONTACT: MICHAEL CANNON PHONE: (XXX) XXX-XXX
--	--

SEHMEI DRIVE BUSINESS PARK
 A PORTION OF SECTION 36, TOWNSHIP 22 N, RANGE 1 E, W.M.,
 CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON

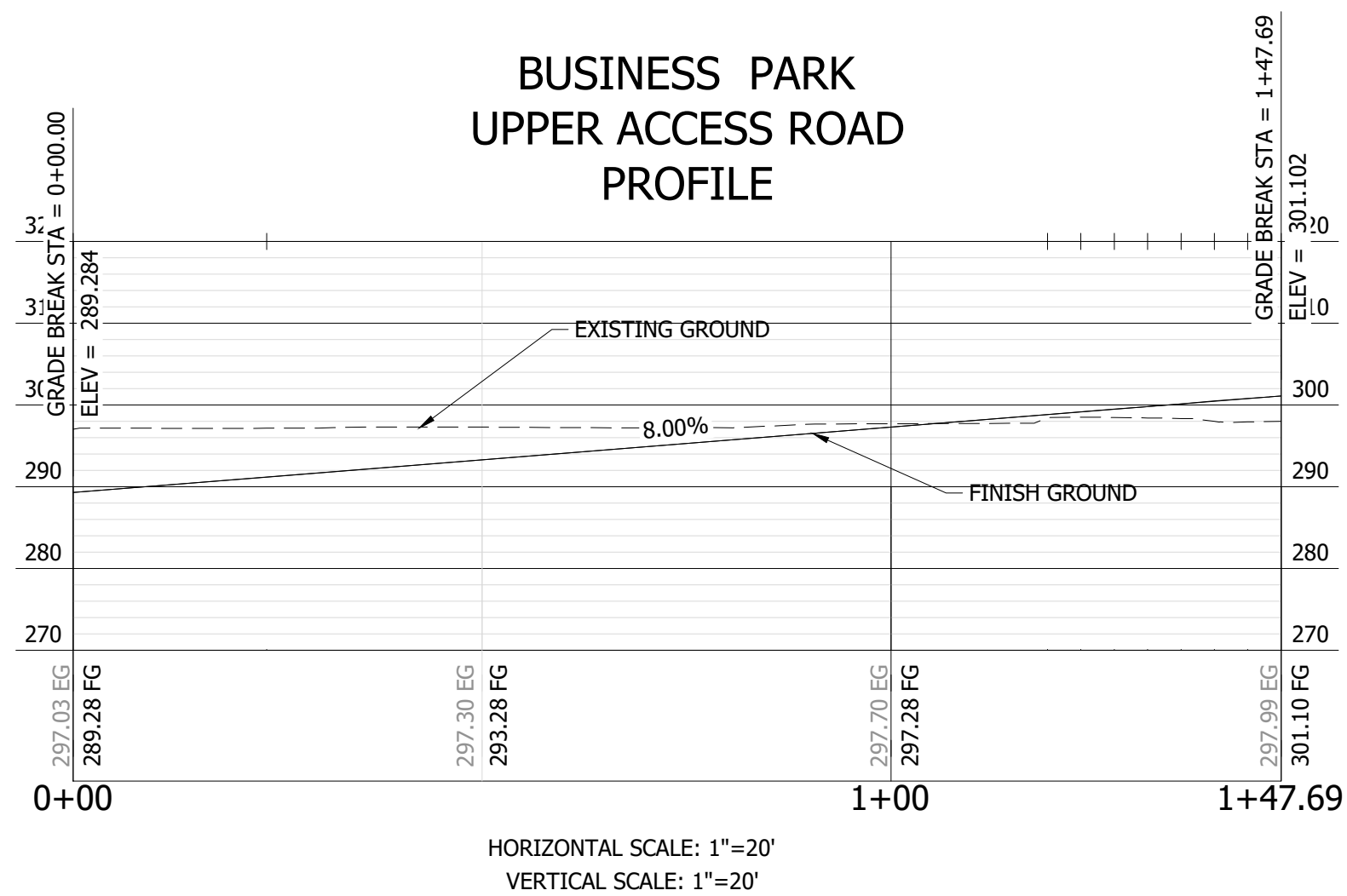
**BUSINESS PARK SEHMEI DR NW
 NORTH ENTRANCE
 PROFILE**



**BUSINESS PARK SEHMEI DR NW
 SOUTH ENTRANCE
 PROFILE**



**BUSINESS PARK
 UPPER ACCESS ROAD
 PROFILE**



VERIFICATION NOTE

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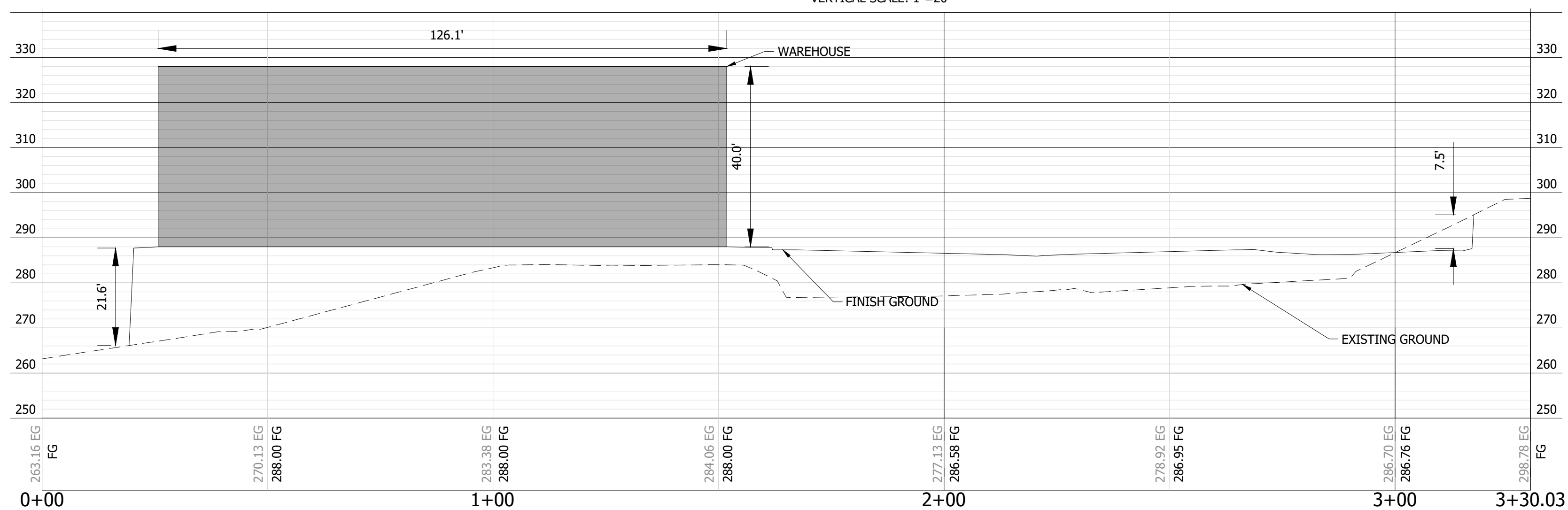
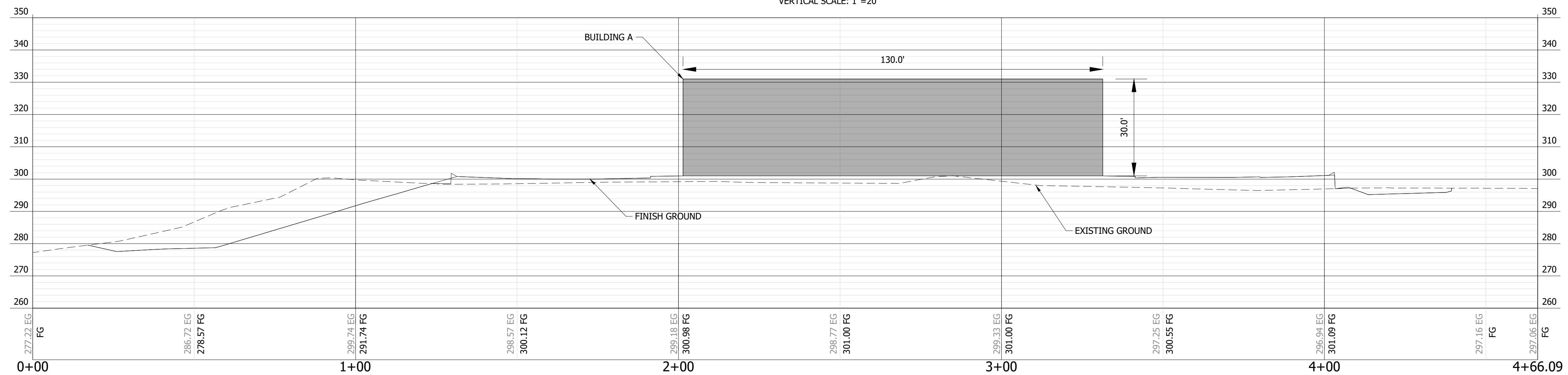
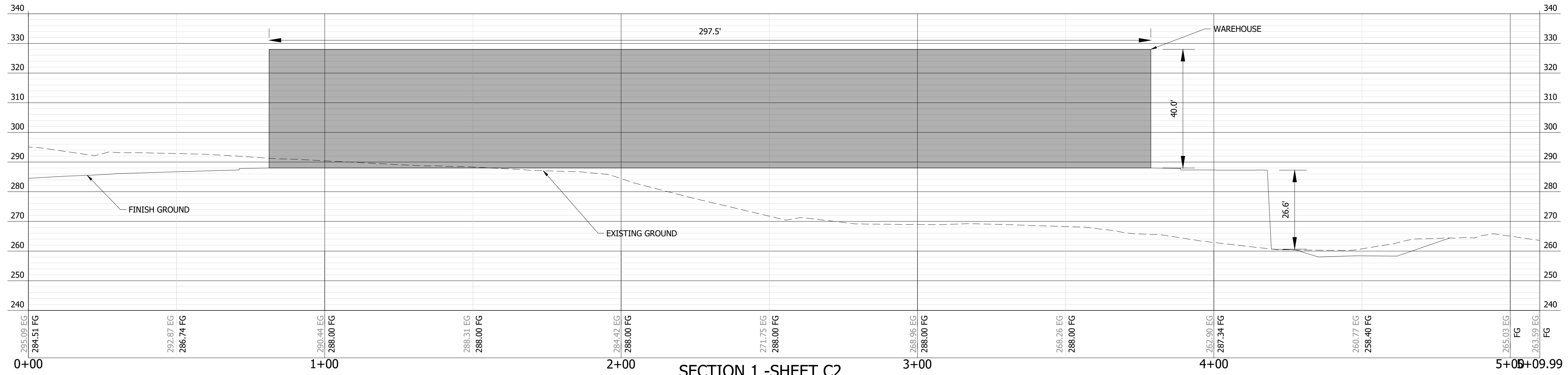
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REVISION	DESCRIPTION	DATE	BY

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	CLIENT: SEHMEI DR BUSINESS PARK, LLC 12520 BURHAM DR NW GIG HARBOR, WA 98332 CONTACT: MICHAEL CANNON PHONE: (XXX) XXX-XXX
DESIGNER: P. ROEDER ENGINEER: B. ALLEN DRAWN: P. ROEDER S36 T22 N R01 E WM DATE: 2023-09-15 REVISED:	PROJECT: 19-051 DWG NAME: 19-051-C
SHEET C3 3 OF 9	REV.

SEHMEL DRIVE BUSINESS PARK
 A PORTION OF SECTION 36, TOWNSHIP 22 N, RANGE 1 E, W.M.,
 CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON



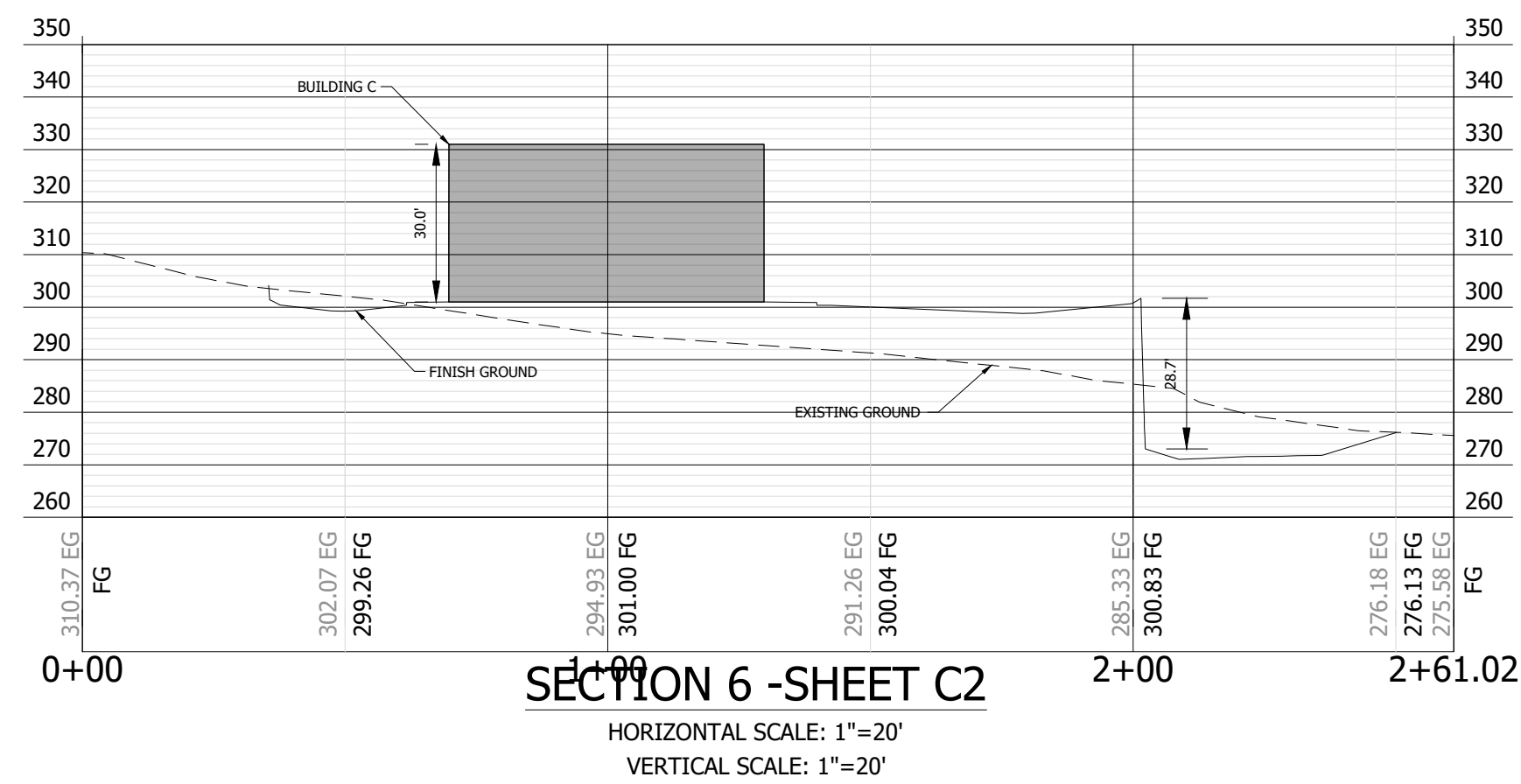
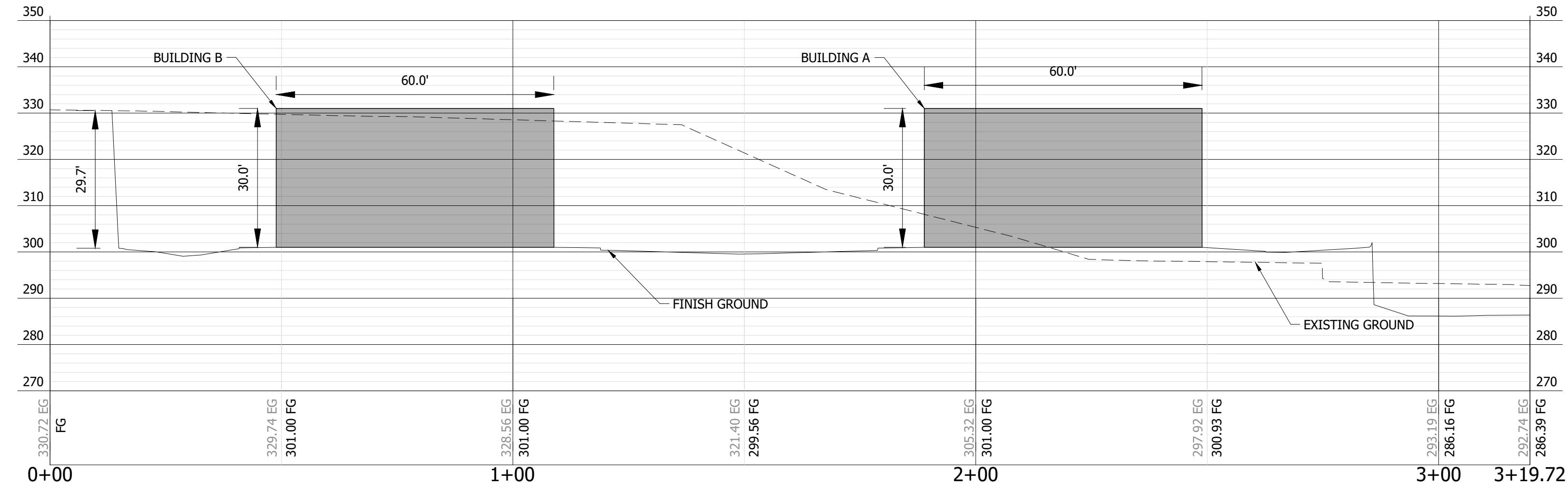
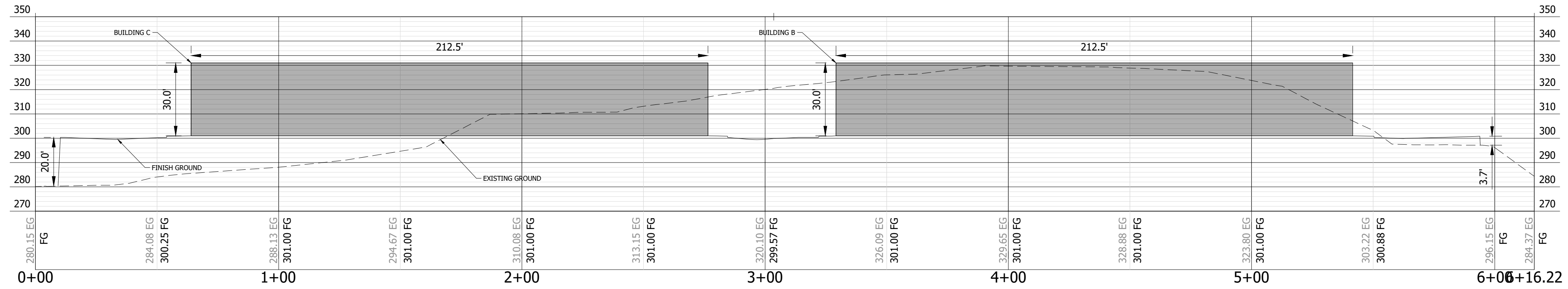
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	SHEET TITLE: PRELIMINARY SITE PLAN BUSINESS PARK SITE SECTIONS CLIENT: SEHMEL DR BUSINESS PARK, LLC 12520 BURNHAM DR NW GIG HARBOR, WA 98332 CONTACT: MICHAEL CANNON PHONE: (XXX) XXX-XXX

DESIGNER: P. ROEDER ENGINEER: B. ALLEN DRAWN: P. ROEDER DATE: 2023-09-15 REVISED:	PROJECT: 19-051 DWG NAME: 19-051-C
SHEET C4	REV.
4 OF 9	

SEHMEI DRIVE BUSINESS PARK
 A PORTION OF SECTION 36, TOWNSHIP 22 N, RANGE 1 E, W.M.,
 CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON



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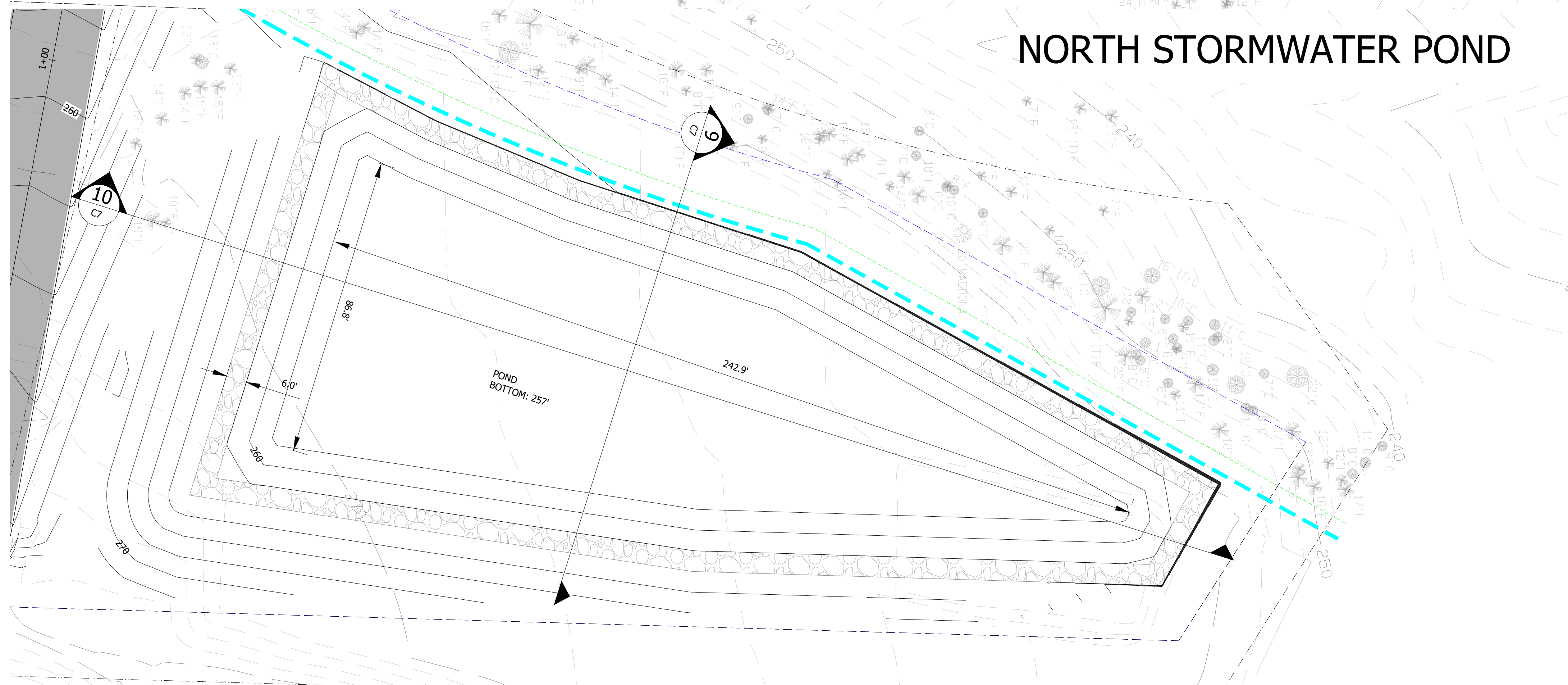
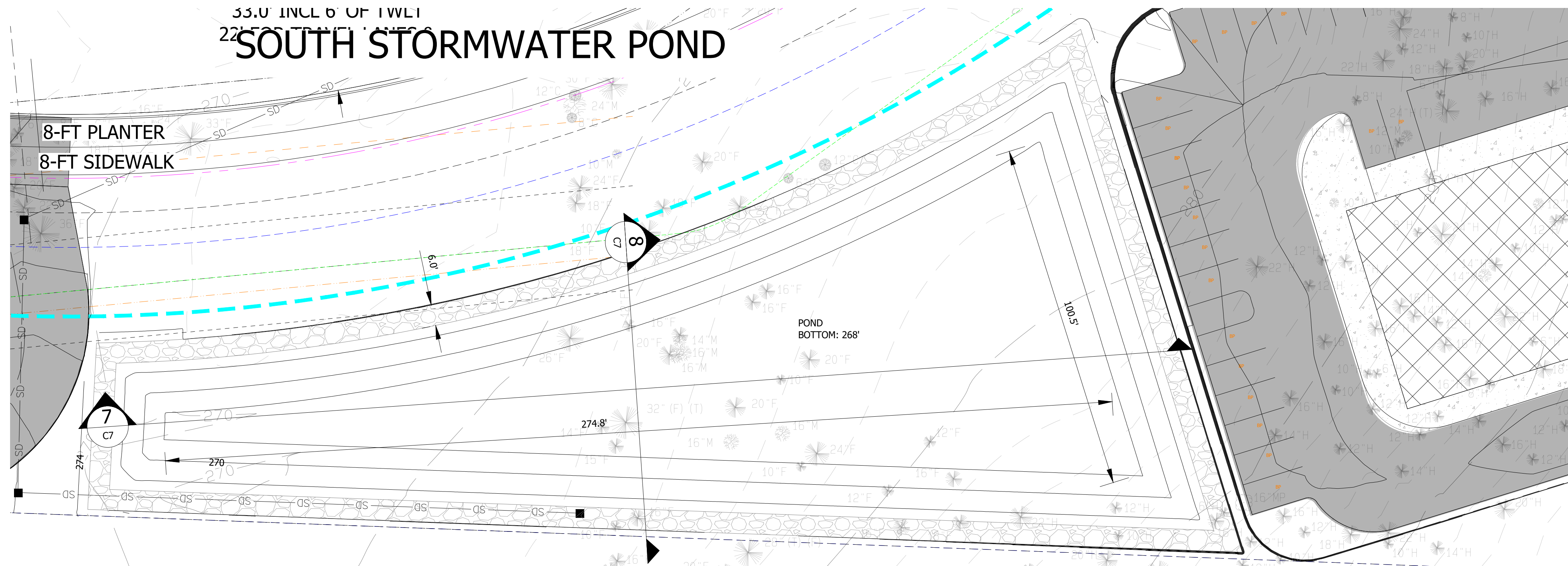
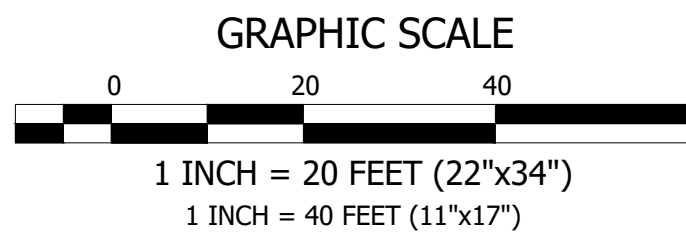
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 ENGINEERING • LLC
 CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS
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 Mailing Address: P.O. Box 949, Gig Harbor, WA 98335
 Physical Address: 4706 97th Street NW, Suite 100, Gig Harbor, WA 98332

SHEET TITLE: **PRELIMINARY SITE PLAN
 BUSINESS PARK SITE SECTIONS**

CLIENT: SEHMEI DR BUSINESS PARK, LLC
 12520 BURHAM DR NW
 GIG HARBOR, WA 98332
 CONTACT: MICHAEL CANNON PHONE: (XXX) XXX-XXX

DESIGNER: P. ROEDER	ENGINEER: B. ALLEN
DRAWN: P. ROEDER	DATE: 2023-09-15
PROJECT: 19-051	DWG NAME: 19-051-C
SHEET	REV.
C5	△
5 OF 9	

SEHMEL DRIVE BUSINESS PARK
 A PORTION OF SECTION 36, TOWNSHIP 22 N, RANGE 1 E, W.M.,
 CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON



LEGEND

SURVEY	CONTOURS	PROPOSED

GRADING NOTES
 SOUTH POND EARTHWORK
 QUANTITIES TO FINISH GRADE
 CUT: 4,051 CY
 FILL: 593 CY
 EXCESS CUT: 3,458 CY

NORTH POND EARTHWORK
 QUANTITIES TO FINISH GRADE
 CUT: 5,995 CY
 FILL: 1,558 CY
 EXCESS CUT: 4,437 CY

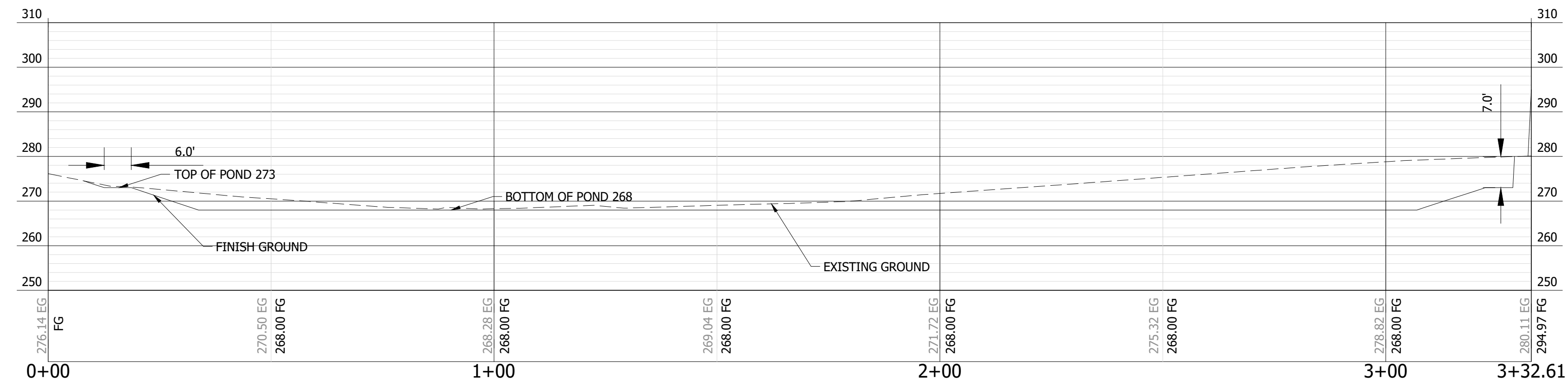
GRADING SLOPES
 MAX CUT/FILL SLOPE 3:1

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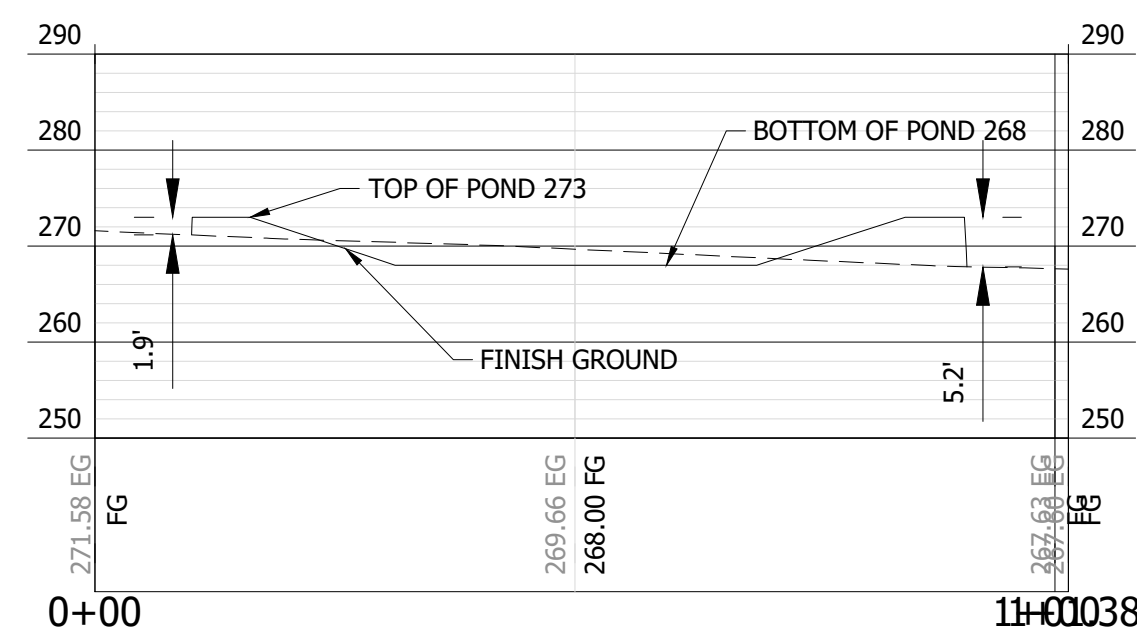
REVISION	DESCRIPTION	DATE	BY

CONTOUR ENGINEERING • LLC CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS Phone: 253-857-5454 ~ Fax: 253-505-0044 ~ info@contourllc.com Mailing Address: P.O. Box 949, Gig Harbor, WA 98335 Physical Address: 4706 97th Street NW, Suite 100, Gig Harbor, WA 98332	SHEET TITLE: PRELIMINARY SITE PLAN PROPOSED STORMWATER PONDS
	CLIENT: SEHMEL DR BUSINESS PARK, LLC 12520 BURHAM DR NW GIG HARBOR, WA 98332 CONTACT: MICHAEL CANNON PHONE: (XXX) XXX-XXX
DESIGNER: P. ROEDER ENGINEER: B. ALLEN DRAWN: P. ROEDER S36 T22 N R01 E WM DATE: 2023-09-15 REVISED:	PROJECT: 19-051 DWG NAME: 19-051-C
SHEET C6 6 OF 9	REV.

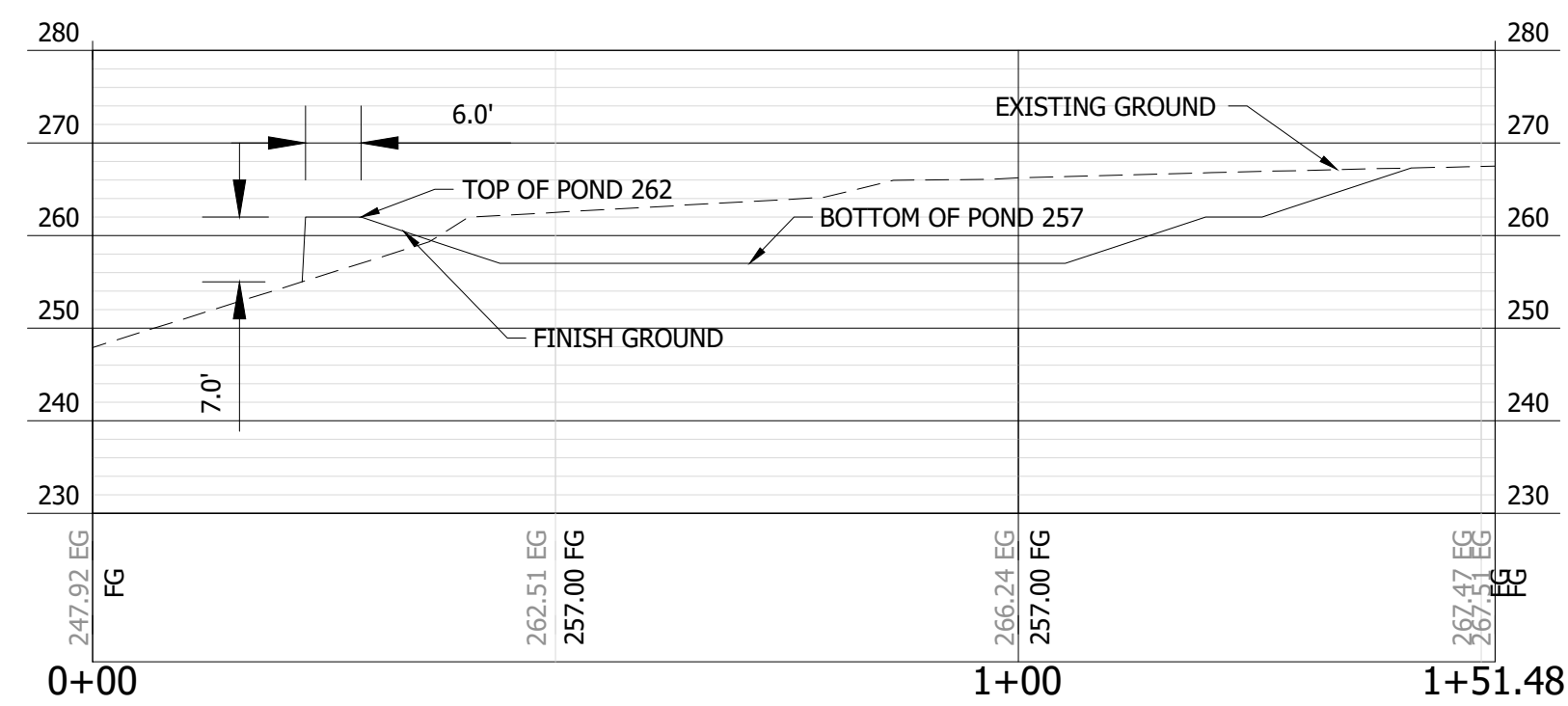
SEHMEL DRIVE BUSINESS PARK
 A PORTION OF SECTION 36, TOWNSHIP 22 N, RANGE 1 E, W.M.,
 CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON



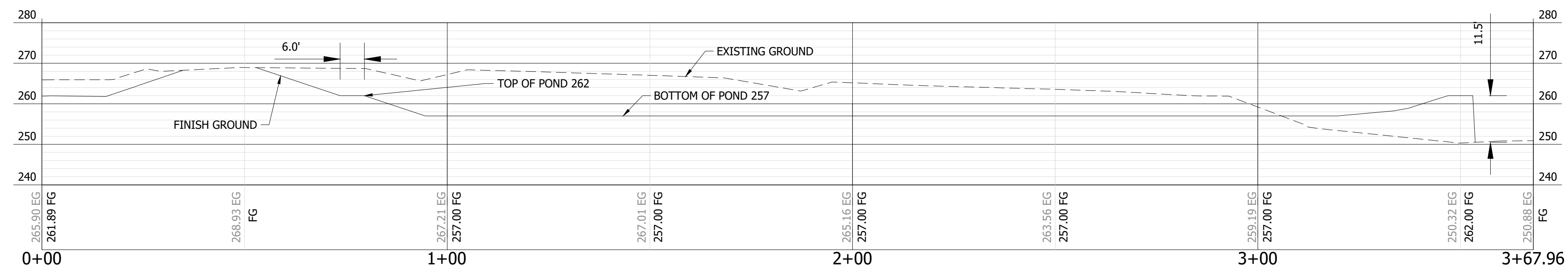
SECTION 7 - SHEET C6
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'



SECTION 8 - SHEET C6
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'



SECTION 9 - SHEET C6
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'



SECTION 10 - SHEET C6
 HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'

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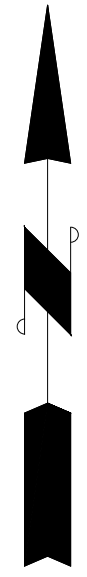
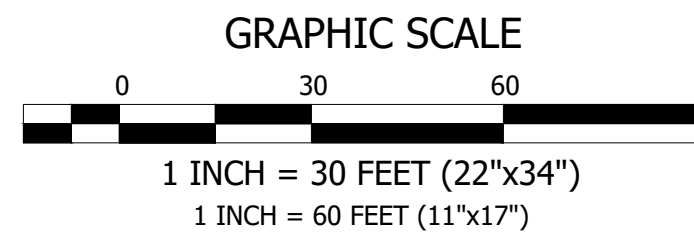
REVISION	DESCRIPTION	DATE	BY

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 ENGINEERING • LLC
 CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS
 Phone: 253-857-5454 ~ Fax: 253-509-0044 ~ info@contourllc.com
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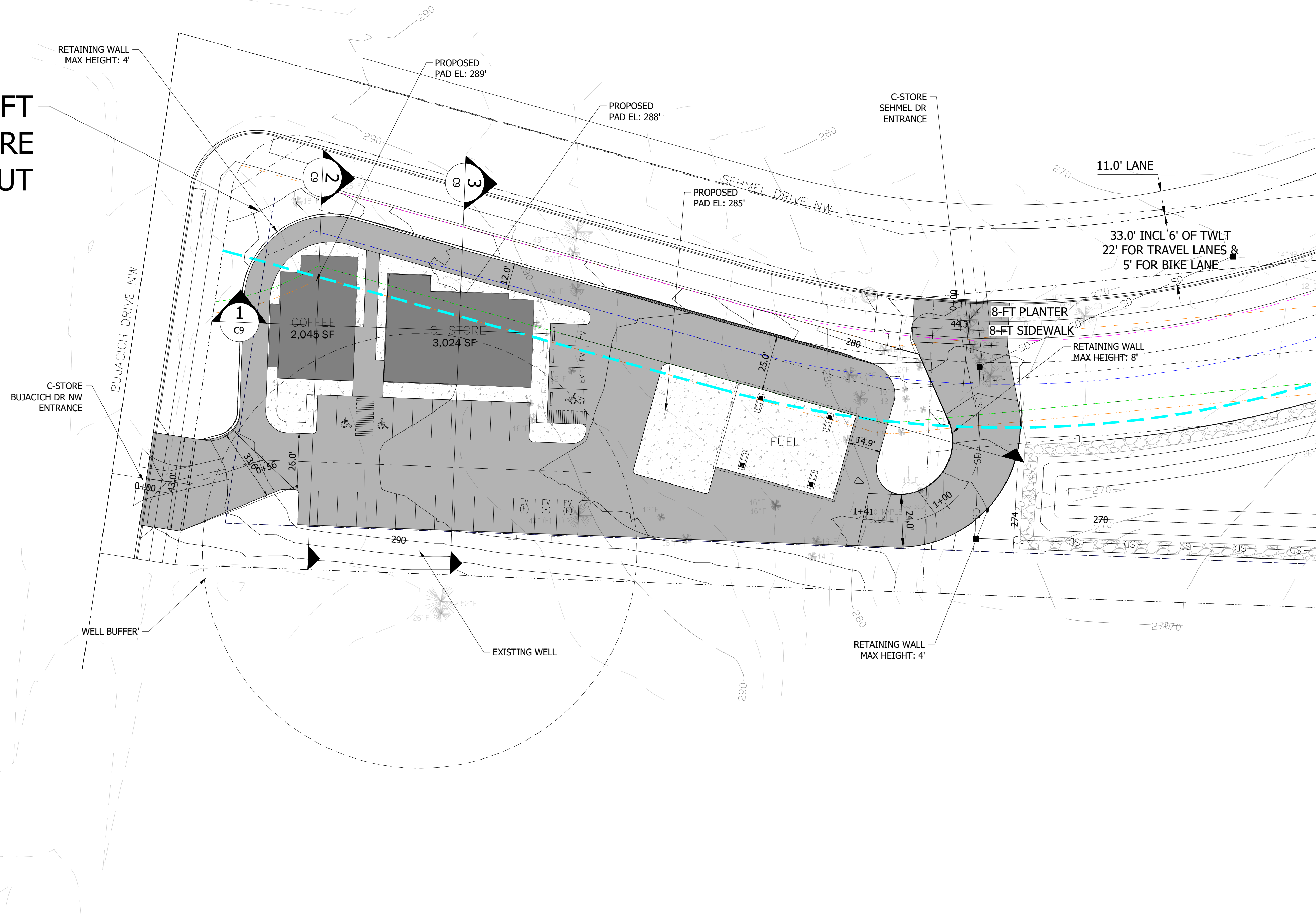
SHEET TITLE: **PRELIMINARY SITE PLAN
 BUSINESS PARK STORMWATER
 POND SECTIONS**
 CLIENT: SEHMEL DR BUSINESS PARK, LLC
 12520 BURNHAM DR NW
 GIG HARBOR, WA 98332
 CONTACT: MICHAEL CANNON PHONE: (XXX) XXX-XXX

DESIGNER: P. ROEDER
 ENGINEER: B. ALLEN
 DRAWN: P. ROEDER
 S36 T22 N R 01 E WM
 DATE: 2023-09-15
 REVISED:
 PROJECT: 19-051
 DWG NAME: 19-051-C
 SHEET: **C7** REV. **1**
 7 OF 9

SEHMEL DRIVE BUSINESS PARK
 A PORTION OF SECTION 36, TOWNSHIP 22 N, RANGE 1 E, W.M.,
 CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON



**ASSUMED 90-FT
 DIAMETER FOR FUTURE
 ROUNDABOUT**



LEGEND

SURVEY		PROPOSED
	CONTOURS	
	ASPHALT	
	CONCRETE	
	GRAVEL	
	PROPOSED BUILDING	

GRADING NOTES
 C-STORE EARTHWORK
 QUANTITIES TO FINISH GRADE
 CUT: 6,334 CY
 FILL: 456 CY
 EXCESS CUT: 5,877 CY
 GRADING SLOPES
 MAX ROAD GRADE: 10%
 MAX PARKING LOT GRADE: 5%
 MAX CUT/FILL SLOPE 3:1

BUILDING HEIGHTS SHOWN IN SITE
 SECTIONS ARE ASSUMED AND FOR
 REFERENCE PURPOSES ONLY

**CALL 811 AT LEAST 48
 HOURS BEFORE YOU DIG**

REVISION	DESCRIPTION	DATE	BY

CONTOUR ENGINEERING • LLC	
CIVIL ENGINEERS ~ SURVEYORS ~ LAND PLANNERS	
Phone: 253-857-5454 ~ Fax: 253-505-0044 ~ info@contourllc.com	
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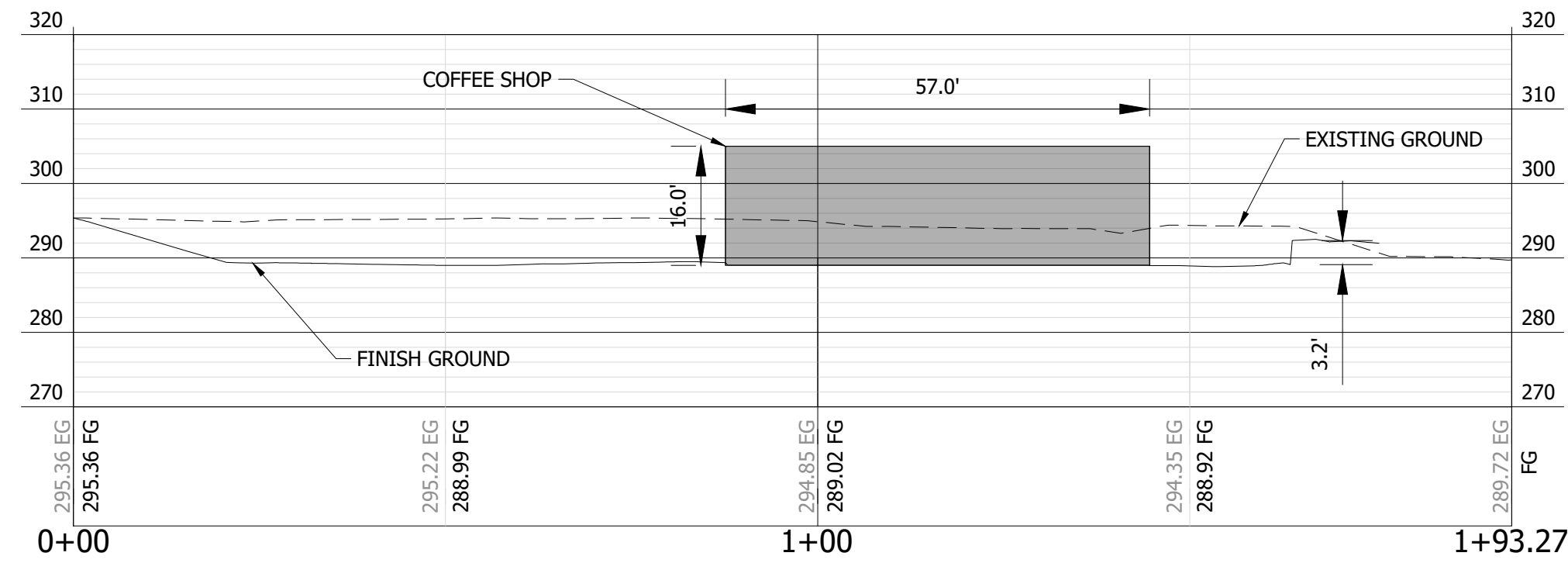
SHEET TITLE: PRELIMINARY SITE PLAN PROPOSED C-STORE GRADING	CLIENT: SEHMEL DR BUSINESS PARK, LLC 12520 BURHAM DR NW GIG HARBOR, WA 98332
DESIGNER: P. ROEDER	CONTACT: MICHAEL CANNON
ENGINEER: B. ALLEN	PHONE: (XXX) XXX-XXX
DRAWN: P. ROEDER	
S36 T22 N R01 E WM	
DATE: 2023-09-15	
REVISED:	
PROJECT: 19-051	
DWG NAME: 19-051-C	
SHEET	REV.
C8	△
8 OF 9	

SEHMEL DRIVE BUSINESS PARK
 A PORTION OF SECTION 36, TOWNSHIP 22 N, RANGE 1 E, W.M.,
 CITY OF GIG HARBOR, PIERCE COUNTY, WASHINGTON



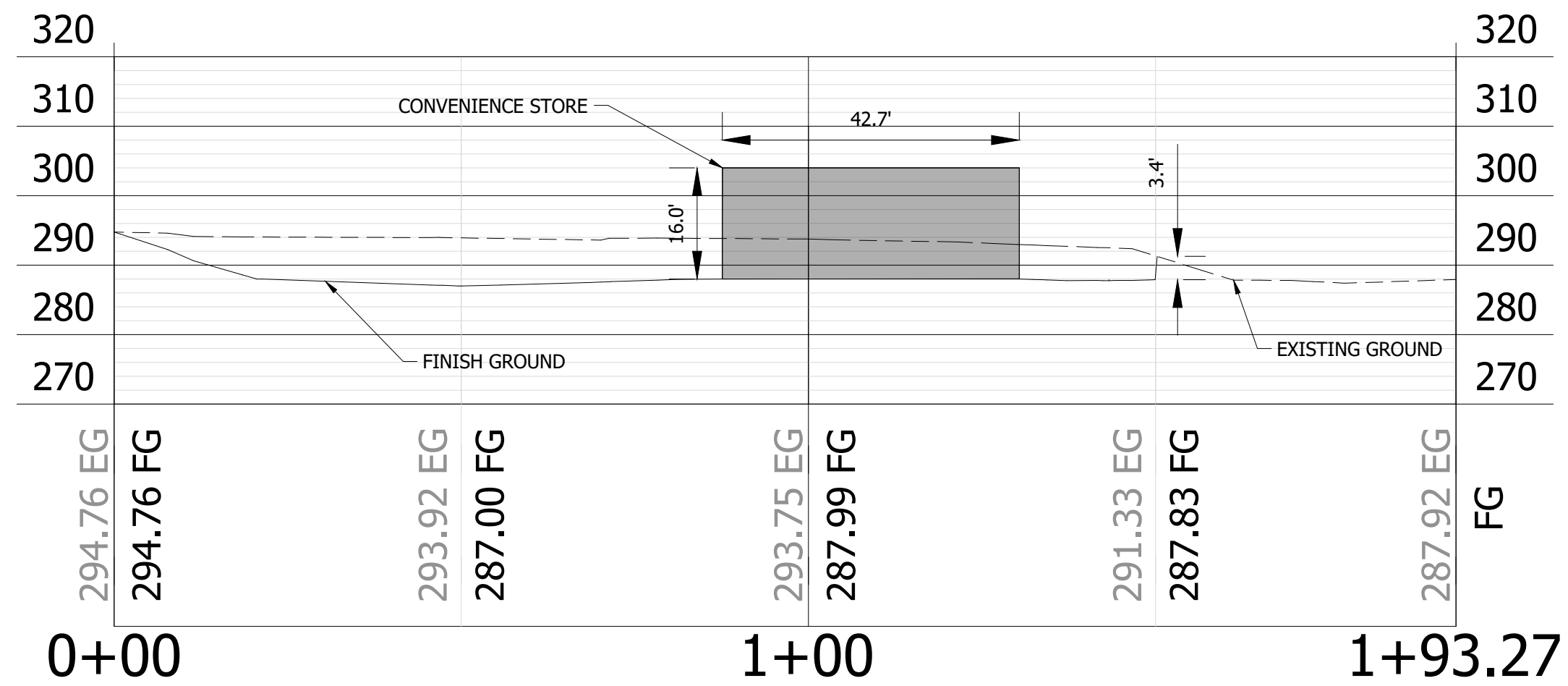
SECTION 1 - SHEET C8

HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'



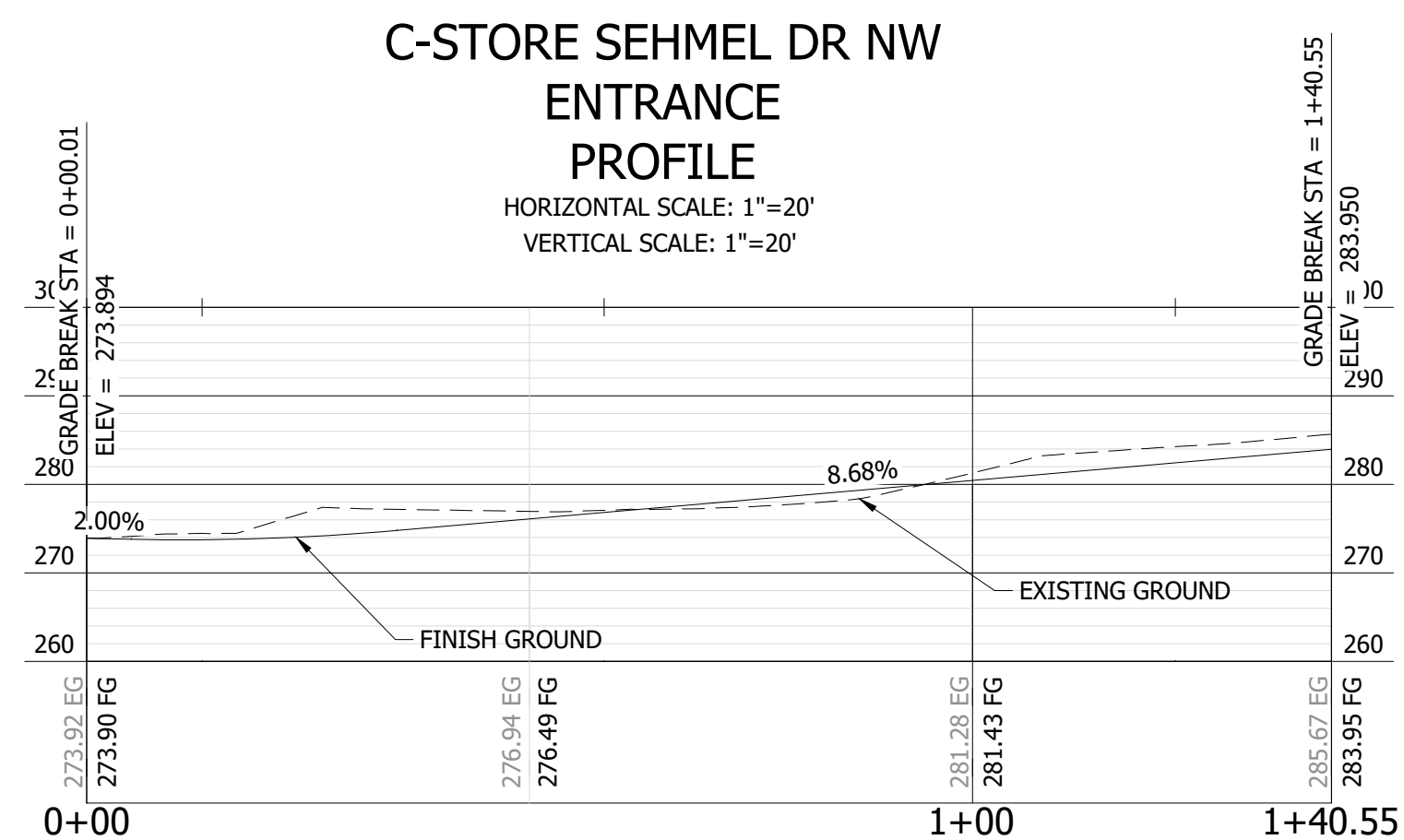
SECTION 2 - SHEET C8

HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'



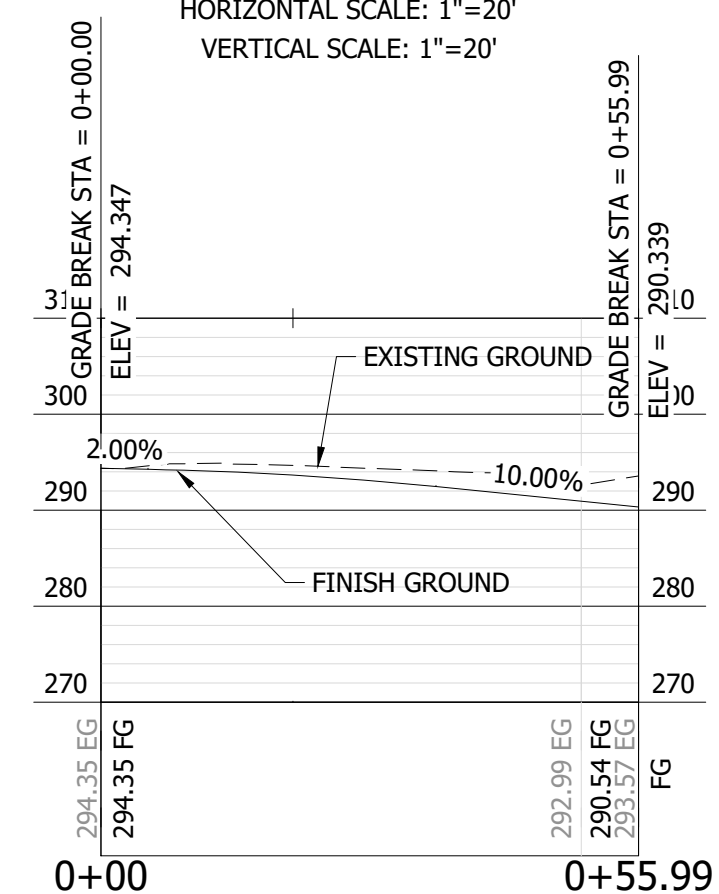
SECTION 3 - SHEET C8

HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'



C-STORE BUJACICH DR NW ENTRANCE PROFILE

HORIZONTAL SCALE: 1"=20'
 VERTICAL SCALE: 1"=20'



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	SHEET TITLE: PRELIMINARY SITE PLAN C-STORE SITE SECTIONS

DESIGNER: P. ROEDER ENGINEER: B. ALLEN DRAWN: P. ROEDER DATE: 2023-09-15 REVISED:	CLIENT: SEHMEL DR BUSINESS PARK, LLC 12520 BURHAM DR NW GIG HARBOR, WA 98332 CONTACT: MICHAEL CANNON PHONE: (XXX) XXX-XXX
PROJECT: 19-051 DWG NAME: 19-051-C	SHEET: C9 9 OF 9

RECEIVED

By C. ANDREWS at 2:18 pm, Oct 18, 2023

Helix
design group

October 16, 2023

Roxanne Robles
Senior Planner
Public Works Department
City of Gig Harbor
3510 Grandview Street
Gig Harbor, WA 98335

RE: Request for Design Review Board (DRB) Pre-Application Review of Sehmel Business Park Development; East Site Industrial Development, and West Site Review Commercial Development (Planned Conditional Use Application with Zone Transition Development Standards Alternative Design Approach on West Site)

Dear Ms. Robles;

In conjunction with the property Owners and Contour Engineering, LLC, and based on the previous Pre-Application submittal and review for the Sehmel Business Park Development, we are proceeding with providing the required documents for the Design Review Pre-Application submittal for this project.

This memo addresses both the east end of the site (fully industrial development) and the west end of the site (commercial development). Please refer to attached site plans for additional information concerning these areas of proposed improvements.

The proposed Sehmel Drive Business Park is located at 5926 Sehmel Dr. on a 13.5 acres site that includes tax parcels 0122361067, 0122361068, 0122361001, 0122361013, 0122361009, 0122361008, and 0122361006. The site has a land use designation of Employment Center and is zoned Employment District (ED). The intent of the Employment District zone *"is to enhance the city's economic base by providing suitable areas to support the employment needs of the community."* The current proposal is to redevelop the site in 2 phases with a Business Park as one phase (east site) and a Gas Station/Coffee Shop as another phase (west site). It is important to note that the Business Park is a use allowed by right and the Gas Station/Coffee Shop will require a conditional use permit submittal.

The Site is bound by Sehmel Drive, an arterial to the northwest and McCormick Forest Park to the east and south. Developing this site poses challenges due to the site's unique topography and shape. Therefore, as we work through site plan options, we have decided to engage the Design Review Board for a pre-application to review and discuss the challenges and the conceptual plan prior to formalizing the design. This also includes our approach to developing the west side of the site (commercial) and the Alternative Design Approach we propose to implement. We can then make formal application to the City for Major Site Plan Review, Design Review with any alternative designs proposed, and the conditional use application for the Gas Station/Coffee Shop to the City of Gig Harbor.

The overall site plan shows the proposed industrial development on the east side of the site to include buildings, site access points and retaining walls. The enlarged west side site plan indicates the new required 21'-0" right of way dedication for this project, as well as the required 40'-0" zone transition buffer from the new right of way. It is because of this zone transition buffer that cannot be met, that will be utilizing the zone transition development standards (GHMC 17.99.190) instead.

The following is a brief synopsis of planned applications of the Design Review requirements in GHMC 17.99:

ARTICLE 2

17.99.070 thru 17.99.160:

Not applicable to this project as project location is not in any of zones designated in these sections.

p:\cannon construction\23-010 sehmel bus. park\03 documentation\permitting\03 drb pre-app\sehmel business park drp pre-app west site 101223.docx

17.99.170/180:

Pertaining to the east side of the site, it is our understanding that as stormwater facilities can be associated with developments in all zones and the zone transition buffer would not apply to the portions of the development that include stormwater ponds. We would like to confirm this with staff and the DRB. If this understanding is incorrect, and in fact the zone transition buffer applies to the stormwater ponds, we would like to discuss the potential to reduce the width of the zone transition buffer adjacent to the storm ponds. As stormwater facilities are a requirement for most developments. It would seem that a storm pond does not have a significant impact on adjacent development or development across a primary arterial. Many of the criteria found in GHMC 17.99.200 applies to this as we evaluate the options to reduce the buffer which design elements should be focused when providing design alternative for the stormwater ponds.

Pertaining to the west side of the site, zone transition standards would require this site to have a 40' set back on Sehmel Drive NW because of residential zone across the street. With the new required 21'-0" right of way dedication, the additional 40' of zone transition would render this site almost undevelopable, and cannot be met.

17.99.190:

The east portion of the site, other than items mentioned in paragraph above, will be able to meet requirements of this section.

As the west portion of the site cannot meet the zone transition buffering standard of 40', we will be using the Zone transition development standards as follows (please see attached example imagery for exterior design intent):

- A. We will limit building footprints to average size of buildings footprints in opposite zones. Houses across Sehmel seem to be between 2,500 to 3,500 s.f. (approximately). New buildings would be 2,045 s.f. and 3,024 s.f. in size.
- B. Building height will be limited to average height of building on north side of Sehmel, with steps up as the building returns from the street for a taller height at the parking lot side.
- C. Buildings will avoid facing dissimilar structures along the street by;
 1. Incorporating residential detailing (see photos attached for similar ideas to be incorporated into this design),
 2. Conform to design standards of the most restrictive zone.
 3. Not applicable to this site.
- D. Will avoid the appearance of parking lots along residential streets as indicated in acceptable diagram in this section of the Code.

17.99.200:

While the west site is anticipated to be able to meet the transition standards in 17.99.190, we will also be employing the majority of the alternative zone transition standards listed in 17.99.200 for this portion of the site to include; Separation of structures, architectural modulation of building, rooflines that reflect adjacent zones, locating service zones away from street, locating windows away from residential zone view, lighting the site and building while avoiding negative impacts on abutting residential zones, orienting building entries on opposite side of building from residential zones, locating parking away from residential zones, and using siding materials similar to materials on abutting parcels.

17.99.210 thru 230:

Not applicable to this project.

ARTICLE 3

17.99.240:

Natural site conditions - A/B/C; site is currently partially developed with minimal trees and vegetation and the remainder of the site is fully forested. Majority of trees are along Sehmel Drive will be impacted by the required 21' ROW dedication and will require removal. However, landscape plans will follow all design requirements.

Pertaining to the east site; the existing grade of the site slopes up from Sehmel Drive into the site and ranging from approximately 10-30% with a total vertical relief of about 80-90 ft. There are multiple regulations and requirements that must be considered in the design of the on-site grading. In addition to that of GHMC 17.99.240.C and 17.99.250.A, this includes:

- The Access Ways into the site should be held to 8% maximum to facility truck traffic.
- Sehmel Drive is a Principal Arterial and a 21-ft dedication along the property frontage is required.
- The State Department of Ecology and the City of Gig Harbor have requirements for stormwater mitigation, and installation of appropriate facilities typically requires significant excavation.
- Parking needs to be designed to account for the variety of uses that could occupy the completed project.

The site plan provided for the preapplication shows one configuration of the 13.5-acre site that is built out with approximately 72,700 sq. ft. of building with 139 parking stalls and 2 stormwater facilities one is detention, and one is retention. As proposed, buildings A-C are typical flex space shell buildings and will include roll up doors with at grade loading areas. These buildings could provide space for a variety of permitted uses outlined in GHMC 17.14. Building D is a small warehouse/manufacturing space. The buildings in the northwest corner of the site will be a coffee shop and convenience store with a fuel station the site will also provide electric vehicle charging open to the public.

Grading:

Previously, city staff has indicated that a balanced site is one where the cut and fill quantities are within 10% of each other. The provided site plan includes the current estimated earth work quantities for the site. The quantities have been separated into 4 categories the business park, c-store, south pond, and north pond. The current grading plan has cut and fill quantities within about 16% when not including the earth work quantities for the storm ponds.

Walls:

To appropriately grade this site for employment uses walls will need to exceed the 6-ft limit. The current site plan includes four areas where walls current exceed the limit.

1. A wall behind buildings B and C that will have a maximum height of 30-feet. This wall will be screened from view offsite by the development.
2. A 27 ft wall between the 40-ft zone transition buffer and building D.
3. A wall at the Northwest corner of the parking lot for building C that is 26 ft at its tallest.
4. A 15-ft wall is located along the eastern property line adjacent to the accessway up from Sehmel Drive.

As we advance the grading design for this project, we will continue to look for ways to reduce overall wall heights, but we do anticipate that some walls will need to exceed the 6-foot maximum. Where walls need to be over 6-feet, we will propose an appropriate architectural design element at the time of Major Site Plan and Design Review submittal.

17.99.260:

Primary Walkway Standards – not applicable under IBE. Because of steep grading, no public connection from right-of-way to buildings anticipated, other than at west side of site for Gas Station/Coffee Shop.

17.99.270:

Secondary Walkway Standards – not applicable under IBE.

17.99.280:

Outdoor common area standards will be adhered to by;

- A. providing outdoor area equal to 1/10 of floor area.
- B. providing trash receptacles and outdoor seating in a small PLAZA configurations around buildings.
- C. no view corridors on site.
- D. direct access to common areas from building and parking areas will be provided with concrete sidewalks.

- E. outdoor seating will be provided.
- F. not applicable.
- G. this site (zone and anticipated use) will not be designed for activities within common areas.

17.99.290:

Residential setbacks not applicable to this project.

17.99.300:

Non-residential setbacks:

- A. will be met as required for ED zone.
- B. Locating structures near front setback line – not applicable under IBE.

17.99.310:

Historic district nonresidential setbacks not applicable to this project.

17.99.320:

Historic district residential setbacks not applicable to this project.

17.99.330:

Parking lot standards

- A. number of curb cuts is limited for this site.
- B. driveway widths will be limited to 24' for 2-lane, and 34' for 3-lane.
- C. lighting will conform to GHMC 17.99.350.
- D. pedestrian path from right of way to building connection walkway will be provided for Gas Station/Coffee Shop development only.
- E. no applicable under IBE.
- F. parking in front (back) of building cannot be avoided as it is required to keep majority of windows away from residential zone as well as out of the transition areas.
- G. no driveways run perpendicular to property lines so driveway encroachments are limited.
- H. parking lots are held back from corners.

17.99.340:

Fences are not anticipated to be installed on majority of project, but if needed for secure areas, material and height exemption under IBE allowed, but chain link will be utilized outside of nonvisible areas.

17.99.350:

Outdoor lighting standards will be met by;

- A. light sources will be hidden from view.
- B. downward directional lighting will only be used.
- C. lighting will be accomplished with numerous sources, not just one single source.
- D. lighting will avoid excessive light throw by using numerous fixtures to obtain desired light levels.
- E. outdoor light designs will follow requirements as listed.
- F. light fixtures will not have utilitarian design.
- G. light pole fixture heights will be limited to 20' in parking lots and 12' in pedestrian areas.

17.99.360:

Outdoor Furnishings will be met (benches, tables, etc.) but no umbrellas are anticipated at this time.

ARTICLE 4

17.99.370:

Site sensitive building design will be accomplished through;

- A. respecting natural topography and stepping the site grades in major areas in order to connect from one side of site to the other.

- B. design will incorporate building design elements into landscape areas with use of low walls, stairs (connection to right of way for Gas Station/Coffee Shop) to anchor the building to the site.
- C. cantilevered designs will not be used in this project.
- D. building height will not exceed the maximum height of the ED zone district.

17.99.380:

Massing and scale will be accomplished by;

- A. long low wall planes not applicable (IBE).
- B. substantial shifts in walls and roofs not applicable (IBE).
- C. False front facades will be avoided in design with parapet return walls.
- D. visual terminus will be provided at top of buildings with pitched roofs and/or projecting cornices.
- E. unusual or atypical roof forms will be avoided on all structures.

17.99.390:

Hierarchy in building design - not applicable under IBE.

17.99.400:

Prominent facades will;

- A. provide consistent architectural interest by avoiding blank walls and reflect same design of quality of front façade.
- B. apply all design criteria to prominent façade – not applicable (IBE).

17.99.410:

Windows and doors;

- A. will maintain balance in placement of windows.
- B. conformance to solid/void ratio – not applicable under (IBE).
- C. mirrored glass will not be used.

17.99.420:

Siding and trim will:

- A. use of materials that convey the same visual qualities as wood, brick, stone, stacked masonry or other – not applicable under (IBE).
- B. masonry façade option will not be used in these buildings.

17.99.430:

Roofing Materials will:

- A. roofing materials will be used on slopes less than 1/12 (membrane roofing), though parapet walls will be used around building to hide roof.
- B. bright colors will not be used on this project.

17.99.440:

Design Details will:

- A. avoid architectural gimmicks as listed in Code.
- B. maintain consistency in awning design.
- C. avoid awnings that dominate the design.
- D. orient service and delivery areas away from the building (though IBE allowed).
- E. link dissimilar buildings with common landscaping elements and light standards.

17.99.450:

Color will;

- A. field colors will be subdued.
- B. no bold or bright trim colors will be used.
- C. limit bright colors to finer architectural details.
- D. avoid painting factor colors of stone and brick.

17.99.460:

Lighting will;

- A. avoid back light panels and awnings.
- B. keep light sources hidden from public view.
- C. avoid bright lighting on outdoor surfaces (though IBE allowed).
- D. avoid colored lighting on buildings.
- E. avoid light fixture that have utilitarian appearance (though IBE allowed).
- F. use downward direct lighting.

17.99.470 through 17.99.580:

Not applicable to this project.

Thank you for taking the time to review our submittal information on this project. Once this Design Review pre-application review has been completed and any City comments are received, we will move forward with the complete Design Review application submittal package.

If there are any questions, please feel free to call and we can discuss.

Sincerely,

A handwritten signature in blue ink, appearing to read "Travis Ness".

Travis Ness
Project Manager
Helix Design Group, Inc.

PROJECT: 023-010 - SEHMEI BUSINESS PARK
 FILE PATH: C:\Users\Aronian\Desktop\Rent_2022\Projects\023-010 Sehmel Business Park-SITE_22-1\civil\FIN.rvt
 PLOTTED: 10/16/2023 3:25:50 PM

SITE PLAN LEGEND

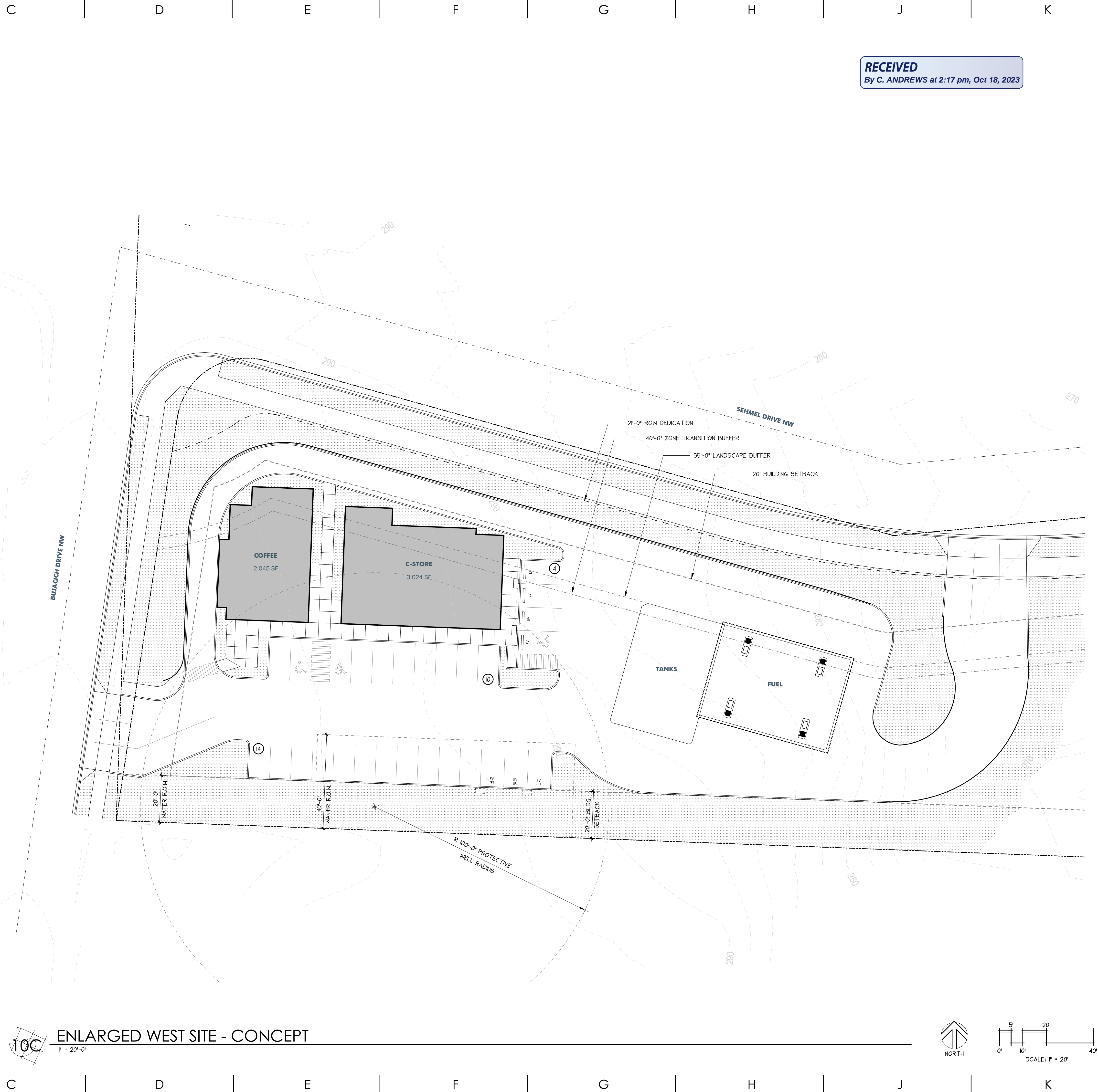
DESCRIPTION	SYMBOL AND TEXT
PROPERTY LINE length (ft) angle (survey)	100.00' N 90° 00' 00" W
ADJACENT PROPERTY LINE length (ft) angle (survey)	100.00' N 90° 00' 00" W
PROPERTY SETBACK LINE description and setback distance	10'-0"
EASEMENT description and dimension	10'-0"
FINISH GRADE ELEVATION (E) = existing	EL. 0.00'
WORK POINT building corner, starting building layout reference point	WP
BUILDING outline of building	BUILDING T.O.F. = 100.0'
FENCE height/description	6' CHAINLINK FENCE
PARKING STALL AND LANDSCAPE PLANTER row count, compact stall indicator (C), wheel stops where indicated, concrete curb	R=2' 18'-0"
ACCESSIBLE PARKING STALLS row count, accessible stall indicator (H.C.), concrete curb, curb cut, H.C. parking signs, 2% max slope all directions	26'-0"
LIGHT POLE (E) = existing	LP
FIRE HYDRANT (E) = existing	F.H.
CENTERLINE OF STREET street name	STREET NAME
EDGE OF ROAD description	EDGE OF PAVEMENT
BOLLARD fixed 6" diameter steel bollard, concrete apron removable 6" diameter steel bollard, concrete apron (E) = existing	B B(r)
CONCRETE PAVEMENT concrete pavement with troweled joint pattern as shown on site plan	CONCRETE PAVING
CONCRETE CURB TYPES extruded concrete curb	
LANDSCAPE BUFFER LINE (E) = existing	
LANDSCAPE AREA landscape area	LANDSCAPE AREA

GENERAL NOTES

- NOTE
- ABBREVIATIONS:
(D) - DEMOLITION
(R) - RELOCATE
(E) - EXISTING TO REMAIN
(S) - SALVAGE
 - REFER TO SHEET G020 FOR STANDARD ABBREVIATIONS LIST.
 - PROVIDE PAVEMENT MARKINGS (PAINTED LINES AND GRAPHICS) AT ALL PARKING STALLS AND ADA ACCESS AISLES AS SHOWN ON SITE PLAN.
 - PAINT CONCRETE CURBS AT FIRE LANES AND NO PARKING AREAS AS SHOWN ON SITE PLAN.
 - CONNECT ROOF DRAINS TO STORM SYSTEM. INSTALL CLEANOUTS AT EACH ROOF DRAIN CONNECTION.

SITE PLAN NOTES

SYMBOL	NOTE
501	



100 ENLARGED WEST SITE - CONCEPT
 1" = 20'-0"

RECEIVED
 By C. ANDREWS at 2:17 pm, Oct 18, 2023



NOT FOR CONSTRUCTION
 HELIX DESIGN GROUP, INC.

CONCEPT SITE PLAN

SEHMEI BUSINESS PARK

GIG HARBOR, WASHINGTON
 REVISION DATE

DATE 10.16.23 JOB NO. 023-010
 CONCEPT PHASE

G002
 WHITE

DRAWING NO.
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