



**COMMUNITY DEVELOPMENT DEPARTMENT
PLANNING DIVISION
STAFF REPORT**

TO: Historic Preservation Commission
FROM: Planning Staff
DATE: September 19, 2023

RE: Certificate of Appropriateness-HR-23-0001
3207 Harborview Dr.- Skansie Net Shed Structural repairs
Public Meeting Date: September 26, 2023

I. GENERAL INFORMATION

A. Applicant: City of Gig Harbor; c/o Marcos McGraw, 3510 Grandview Street, Gig Harbor, WA 98335

B. Owner: Same as above

C. Agent: N/A

II. PROJECT DESCRIPTION

The applicant has requested a Certificate of Appropriateness pursuant to Gig Harbor Municipal Code (GHMC) Section 17.97.050 for the Skansie Net Shed. The structure, originally constructed in 1910, is listed on the Gig Harbor Register of Historic Places pursuant to City of Gig Harbor Resolution No. 859. See Exhibit "B" to the staff report.

The proposal involves repairs, maintenance, and stabilization work for the existing Netshed.

The proposed work consists of; replacement of failed siding and trim boards, plywood sheathing added to the roof, interior stabilization measures to preserve the structure, and paint to match existing.

The Certificate of Appropriateness application, including work description, site plan and exterior building elevations is marked as Exhibit "A" to the staff report.

III. SITE DESCRIPTION

- A. Location:** 3207 Harborview Drive
Assessor's Parcel # 0221082232
- B. Site Area/Acreage:** 3.15 acres
- C. Existing Site Characteristics:**
1. **Topography:** The site's uplands slope down gradually from Harborview Drive on the west to Gig Harbor Bay on the northeast.
 2. **Vegetation:** Landscaping consists of grasses, weeds, shrubs, coniferous and deciduous trees.
 3. **Wetlands and Critical Areas:** The parcel is located within the City Waterfront Shoreline designation.
- D. Zoning:**
1. **Subject parcel:** "WC" Waterfront Commercial District and Historic District Overlay
 2. **Adjacent zoning and current use:**
 - a. **North:** Gig Harbor Bay
 - b. **East:** "WC" Gig Harbor Marina
 - c. **South:** "DB" –single family residences
 - d. **West:** "WM"-Pleasurecraft Marina
- E. Road Access:** The site is accessed from Harborview Drive abutting on the southwest.

IV. PERTINENT HISTORIC PRESERVATION POLICIES AND REGULATIONS:

- A. Comprehensive Plan:** Harbor Element– pages 3-5 through 3-7 and Community Design Element-pages 4-11 through 4-14.

- B. Gig Harbor Municipal Code:** The Certificate of Appropriateness process is outlined in GHMC Chapter 17.97. Section 17.97.050 outlines the process for the HPC's review of permits to allow projects on a property listed on the city's Register of Historic Places. This section states that after a public meeting is conducted, the HPC will issue a written decision containing Findings of Fact and Conclusions of Law within 30-days of its consideration of the request.

The HPC reviews the request for consistency with the criteria set forth in GHMC Subsection 17.97.050.C.4. In this instance, staff has determined that the request must be found consistent with the criteria for "Rehabilitation" set forth in subsection 17.97.050.C.4.a.i-x. WAC 254-20-030(10) defines "Rehabilitation" as follows:

"Rehabilitation" is the process of returning a property to a state of utility through repair or alteration, which makes possible an efficient contemporary use while preserving those portions and features of the property which are significant to its architectural and cultural values."

Staff will analyze the request for consistency with the applicable criteria in Section VI of this report.

V. BACKGROUND INFORMATION

The Netshed is located at Skansie Brothers Park. By Resolution No. 859, on April 11, 2011 the City Council approved the designation of the site on the city's Register of Historic Places. The designation encompasses the entire Skansie Brothers Park parcel (House and Netshed) See Exhibit "B" to the staff report.

VI. REQUESTED HPC REVIEW AND STAFF ANALYSIS:

As previously noted, the applicant's request must be found consistent with the criteria necessary to be met for the approval of "rehabilitation" as that term is defined by WAC 254-20-030(10). The following is staff's analysis of the request for consistency with the applicable criteria:

a. Rehabilitation.

- i. Every reasonable effort shall be made to provide a compatible use for an historic property which requires minimal alteration of the

building, structure, or site and its environment, or to use an historic property for its originally intended purpose.

Analysis: The project proposes no change of use to the historic structure. The work consists of repairs and maintenance and structural stabilization that will help to preserve the historic structure.

ii. The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

Analysis: The intent of the proposed work is to preserve the original character and qualities of the building. Alterations will be limited to replacing failed siding and trim boards, new plywood sheathing, and interior steel angles

iii. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.

Analysis: The proposed alterations are consistent in terms of design with the character of the existing structure.

iv. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.

Analysis: No changes to the Skansie Netshed or site are proposed that would negatively impact the history of the building or site.

v. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be treated with sensitivity.

Analysis: The proposed design will treat with sensitivity the stylistic features that represent the craftsmanship of the era in which the net shed was constructed. The proposed interior improvements that consist of beams, columns, angles, and ancillary parts to stabilize the structure are planned as steel to differentiate these recent developments from those of the past. These new steel features will be coated black to not distract from the architectural character of the interior.

vi. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.

Analysis: Deteriorated architectural features as part of this application consist of failed siding and trim boards. New Boards, shingles, and paint materials for the proposed repair will match the composition, design, color, texture, and other visual qualities of existing materials.

vii. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.

Analysis: Surface cleaning of the exterior siding and trim will be necessary prior to repainting the building. However, the cleaning process will be limited to removing loose paint only.

viii. Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.

Analysis: The proposed changes will not affect any archeologic resources on or adjacent to the site.

ix. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical architectural or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment, and when such design is consistent with all other applicable design and development regulations.

Analysis: The proposed alteration is consistent with the size, scale, color, material, and character of the property and neighborhood.

x. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.

Analysis: Not applicable.

Conclusion: Based upon the previous analysis, staff concludes that the requested Certificate of Appropriateness is consistent with the applicable criteria necessary to be met for approval.

VII. PUBLIC NOTICE:

The HPC's processing of a Certificate of Appropriateness application is exempt from the project permit processing requirements of GHMC Title 19.

Project Planner: Jeremy Hammar, Senior Planner

Jeremy Hammar

Date:

9-19-23

The following documents pertinent to your review are enclosed:

Exhibit A - Application Materials

Exhibit B - Resolution #859



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City of Gig Harbor
Certificate of Appropriateness

☒ Request for Review ☐ Request for Waiver GMAC Chapter 17.97.050 – Historic Preservation	CITY USE ONLY Case Number <u>PL-HR-23-0001</u> Date Received <u>05.04.2023</u> By <u>MT</u>
NAME OF PROJECT Skansie Net Shed Structural Repairs	

APPLICANT Name <u>Marcos (City of Gig Harbor)</u> Address <u>3510 Grandview Street</u> City <u>Gig Harbor</u> State <u>WA</u> Zip <u>98335</u> Phone <u>(253) 853-2647</u> Email <u>mmcgraw@gigharborwa.gov</u>	PROPERTY LOCATION Property Address <u>3207 Harborview Drive</u> <u>Gig Harbor, WA</u> Assessor's Parcel Number <u>0221082232</u>
Name _____ Address <u>3510 Grandview Street</u> City <u>Gig Harbor</u> State <u>WA</u> Zip <u>98335</u> Phone <u>()</u>	COMMENTS _____ _____ _____ _____
I (WE) Name <u>Marcos McGraw</u> Signature <u>Marcos McGraw</u> Do hereby affirm and certify, under penalty of perjury, that I am one (or more) of the owners or owner under contract of the herein described property and that the foregoing statements and answers are in all respects true and correct on my information and belief as to those matter, I believe to be true.	

Planning Division | 3510 Grandview Street | Gig Harbor, WA 98335
253.851.6170 | www.cityofgigharbor.net

Project Classification (check all boxes that apply to your project)

- ☐ **Conceptual Review (Pre-application meeting):** Discuss with the Design Review Board preliminary design ideas for a project. The Board will address the appropriateness of the proposal and provide design guidance.
- ☐ **New Construction:** Construction of a new building, additions, garages, sheds, fences, gazebos or other structures on a designated property.
- ☐ **Exterior Building Alteration:** Includes all exterior changes to an existing building excluding ordinary repair and maintenance.
- ☐ **Site Alterations:** Removing, adding or changing site features that will alter the appearance of the property. Site features include, but are not limited to, roads, fencing, retaining walls, walks, patios, and in the case of cemeteries, grave markers and plot demarcations. Site alteration includes tree removal, land clearing, landscaping, grading and filling.
- ☐ **Signs or Graphics:** Installation of a sign or graphic on a building, or on the land parcel of record.
- ☐ **Demolition:** Removal of any building structure or portion of a structure on the parcel of record. For all demolitions, the applicant must include a written reason for the demolition, proposed plans for the site, and a time frame for project initiation and completion.
- ☐ **Special Valuation Project:** An owner of a Gig Harbor Registered property can apply for a 10-year property tax reduction based on the amount spent on an approved project. The minimum amount for the qualifying project rehabilitation is 25% of the building's value before work was begun. Once approval is granted, the property continues to be assessed on the normal schedule, but the amount spent on the rehabilitation is subtracted for a period of 10 years. This special valuation is available on current work, or projects completed within the last 2 years.
- ☐ **Other:** _____
- ☐ **Other:** _____

Work Description (please type or print legibly)

The information you provide to the DRB is all they will have of your design. It must accurately illustrate what you have in mind. Consult **The Secretary of the Interiors Standards and Guidelines for Preservation, Rehabilitation, Restoration, and Reconstruction for Historic Properties** (www.cr.nps.gov/hps/tps/standguide/) for more detailed information.

Describe the proposed project in detail below, including all changes to the building, site, or lot. Include all features to be removed, altered, and/or added. Indicate all materials to be used and the manufacturer. Attach additional sheets as needed.

Materials to Submit with Application

Color Photos: 35mm or digital only. Polaroids will not be accepted. Include photos of each side of the structures to be altered and close-ups of the specific areas on site to be changed.

Drawings for conceptual review, new construction or graphics/signage:

One complete set must be submitted.

Plans shall include:

- Name of property owner
- Address of project including lot and block
- Tax parcel number
- **Elevations:** drawings of front, back, and both sides; elevations must be labeled as to orientation with all materials and colors labeled
- **Site plan:** A site plan must be included for new construction, additions, signs/graphics, demolition, fencing and site alterations. The site plan shall show all existing structures and or/features, and their relationship to proposed work, property lines, a North arrow; fencing; retaining walls, utilities, and landscaping features.

Material Samples/Manufacturers' Brochures: Material samples and brochures that show and describe the materials to be used (i.e. paint chips, brochures on doors, outdoor equipment, windows, etc.)

Application Accepted / Rejected:

	CITY USE ONLY
	Case Number _____
	DRB Meeting Date _____
NAME OF PROJECT	

☐

Certificate of Appropriateness issued by Gig Harbor Design Review Board

☐

Certificate of Appropriateness rejected by Gig Harbor Design Review Board

DRB Representative Signature

Date

Findings of Fact of Gig Harbor Design Review Board: (attached)

CERTIFICATE OF APPROPRIATENESS for Historic Preservation

The Gig Harbor Municipal Code (GHMC) Chapter [17.97](#) – Historic Preservation:

- establishes procedures for the voluntary designation of properties to the City's Register of Historic Properties;
- explains the effect of such designation, including the property's eligibility for special tax valuation;
- describes the process for maintenance and monitoring of such properties;
- and delegates the authority for implementation to the Design Review Board.

What is a Designated Historic Property?

A designated historic property is one that is voluntarily listed on the Gig Harbor Register of Historic Properties as defined by GMAC Chapter 17.97.040. The property may be a building, structure, site, or object of architectural, historical, or cultural significance.

All owners of designated historic properties are required to obtain a **Certificate of Appropriateness** before making any exterior changes to their property. The Gig Harbor Community Development Department must receive a completed Certificate of Appropriateness Application for consideration by the Design Review Board. The Board reviews the project and certifies the changes as not adversely affecting the historic characteristics of the property which contribute to its designation.

Work Requiring a Design Review Board (DRB) Review

All modifications that result in a significant change in the external appearance of a site, structure, or object require DRB review, including:

- Alterations
- New construction
- Reconstruction
- Restoration
- Remodeling
- Demolition
- Alterations to any historically significant outbuildings, staircases, signs, fences, or auxiliary structures on the designated property

Work Exempted from a Review by the DRB

- Ordinary maintenance
- Repainting with same color
- Re-roofing with the same material and same color
- Emergency repairs

Failure to Apply for a Certificate of Appropriateness

Property owners of designated sites who fail to apply for a Certificate of Appropriateness may be:

- Denied building permit for proposed work until plans are reviewed by the DRB and Certificate of Appropriateness is issued.
- Denied demolition permit for proposed demolition until plans are reviewed by the DRB.
- Subject to removal from the Gig Harbor Register of Historic Properties.

Modification Criteria for Property Owners

Property owners seeking to alter designated structures or sites may find guidance in **The Secretary of Interior Standards and Guidelines for Preservation, Rehabilitation, Restoration, and Reconstruction for Historic Properties** (www.cr.nps.gov/hps/tps/standguide/). Property owners shall apply the following elements to ensure sites are appropriately modified:

- Evaluate historic, architectural, and cultural value of the structure/site
- Consider texture and material of the structure or its fixtures
- Review relationship of features on surrounding structures/sites
- Review position of each structure/site in relation to the street or alley
- Evaluate position of each structure/site in terms of other structures
- Preserve historic integrity of structure, site, or object
- Ensure compatibility of new work with existing site/object
- Within the existing setting, review consistency of:
 - Materials
 - Scale
 - Size
 - Height
 - Design
 - Placement

Certificate of Appropriateness Application Process

1. Property owner must file a completed Certificate of Appropriateness Application with Community Development Department to be scheduled for the next available DRB meeting.
2. **Set of plans** must be submitted with the Application.
Plans shall include:
 - Name of property owner
 - Address of project including lot and block
 - **Four elevations:** Drawings of front, back, and both sides; elevations must be labeled as to orientation with all materials and colors identified; and must show proposed work and/or changes to existing property
 - **Color Photos:** 35mm or digital only. Polaroids will not be accepted. Include photos of each side of the building, site, or object to be altered and close-ups of the specific areas to be changed
 - **Site plan** showing all existing and proposed structures, property lines, a North arrow, fencing, retaining walls, utilities, and landscaping
3. The DRB shall conduct a Certificate of Appropriateness review at a regular Design Review Board meeting. The Board shall evaluate the work proposed and make recommendations and suggestions regarding the project.

Certificate of Appropriateness

The DRB shall complete its review and make its recommendation. If the Board is unable to process the application, it may ask for an extension of time. The Board shall issue its recommendation in writing, and any conditions agreed to by the applicant shall become conditions of approval required for site development. If the property owner agrees to the Board's recommendations, a Certificate of Appropriateness shall be issued with the signatures of the owner and of the chairman of the Gig Harbor Design Review Board. The Certificate is **not** a permit for work. The Certificate and application packet must be taken to the City of Gig Harbor Community Development Department for issuance of appropriate site development permits.

Waivers of Certificate of Appropriateness

A waiver of Certificate of Appropriateness may be issued by the Design Review Board for a proposed whole or partial demolition of a local register property. Failing to find alternatives to demolition, the waiver allows the Building Official to issue a permit for demolition.

**Certificate of Appropriateness
Site Project Checklist (See GHMC Chapter [17.97.050](#))**

PROJECT	DRB REVIEW REQUIRED	DISCRETIONARY ITEMS **
Primary & Accessory Building Changes: (Accessory = outbuildings, i.e., garages, sheds, docks, net sheds, wash houses, smoke houses, chicken coops, barns, and greenhouses)		
Building exterior new construction	X	
Building demolition	X	
Alterations in exterior materials	X	
Building interior alterations ¹		X
GENERAL IMPROVEMENTS		
Change Roofing or Siding material or color	X	
Change Chimneys, windows, shutters, awnings, doors, exterior staircases, porches material or color	X	
LOT IMPROVEMENTS		
Driveway alterations	X	
Sidewalk alterations	X	
Patio or deck changes	X	
Exterior staircase changes in style or materials	X	
Retaining wall alterations or addition	X	
Fence changes in style or materials	X	
Landscape ponds, fountains, Bar-B-Ques, dog-houses, trellises		X
Hot tub, swimming pool	X	
LANDSCAPING		
Yard lighting		X
Planting or removal of shrubs, ground cover, or hedges		X
Removal of healthy trees	X	

**** Discretionary Items** represent those alterations that do not directly impact the historic characteristics of the property but contribute to its designation.

¹ A review of alterations to building interior is mandatory for projects seeking Special Tax Valuation for interior work. For property owners not seeking Special Tax Valuation, interior alterations are not subject to DRB review.

RECEIVED

By C. ANDREWS at 1:56 pm, May 09, 2023



FLIRT ALERT

P150-7

LRV 14 **R** 190 **G** 60 **B** 55

Red color family

Save to My Colors

Visualize this Color

Buy Samples or Gallons

RECEIVED*By C. ANDREWS at 1:56 pm, May 09, 2023*

VIRGINIA BLUE

 610C-3**LRV** 54 **R** 183 **G** 195 **B** 215**Purple color family** Remove From My Colors Visualize this Color Buy Samples or Gallons

benjamin moore tricycle red - X

Tricycle Red 2000-20 | Benjamin X

Williamsburg Wythe Blue CW-5 X

CW-590 Williamsburg Wythe Bl X

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https://www.benjaminmoore.com/en-us/paint-colors/color/2000-20/tricycle-red

90%

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🌐 Outlook Web Access (...)

🔥 Getting Started

📧 Box

📧 Sendio Spam Filter

📧 Office 365

📌 Gig Harbor, WA | Offic...

📁 WSDOT

📁 COGH

📍 2018 Washington Stat...

📁 Pierce County

📧 Nuwber-contact info...

🌐 MUTCD

🔧 Home | MissionSquare...

📄 ECY Stormwater manu...

📺 GH Weather

🌐 Training-NWCEL WAQ...

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English - United States

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Tricycle Red

2000-20

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By C. ANDREWS at 1:56 pm, May 09, 2023

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Cookie Settings

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✕

Williamsburg Wythe Blue

CW-590

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By C. ANDREWS at 1:55 pm, May 09, 2023



1.8 EXTRA MATERIALS

- A. Furnish under provisions of Section 01 77 00.
- B. Maintenance Materials: Leave 1/2 gallon of each type and color of paint and other coating products for maintenance purposes.
 - 1. Label for positive identification.
 - 2. Store where directed.
 - 3. Turn over to Owner at jobsite and obtain signed receipt.

1.9 WARRANTY

- A. Furnish one (1) year warranty in accordance with referenced services "Manual" on full value of work included in this Section.
 - 1. Warrant work to be in accordance with Specifications, standards and requirements incorporated in referenced manual.
 - 2. Warranty not applicable to defective items through faulty work by other trades, or for failure of substrates.
 - 3. Warranty does not assume any liability for claim other than repairing painting and finishing defects, as determined by Manual.

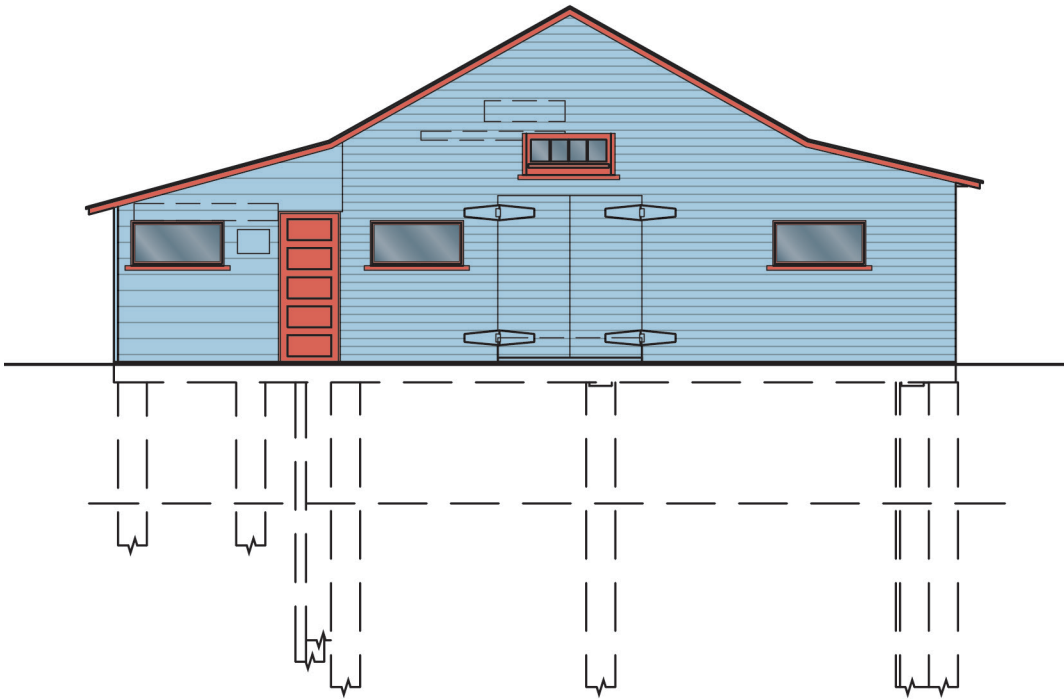
PART 2 - PRODUCTS**2.1 COLOR SCHEDULE:**

- A. Final Color selection must be approved by owner and architect prior to purchase.
- B. Wall:
The paint color shall be Williamsburg Blue by Sherwin-Williams; Virginia Blue by Behr Paints; Williamsburg Wythe Blue by Benjamin Moore; or approved equal.
- C. Trim:
The paint color shall be Real Red by Sherwin Williams; Flirt Alert by Behr Paints; Tricycle Red by Benjamin Moore; or approved equal.

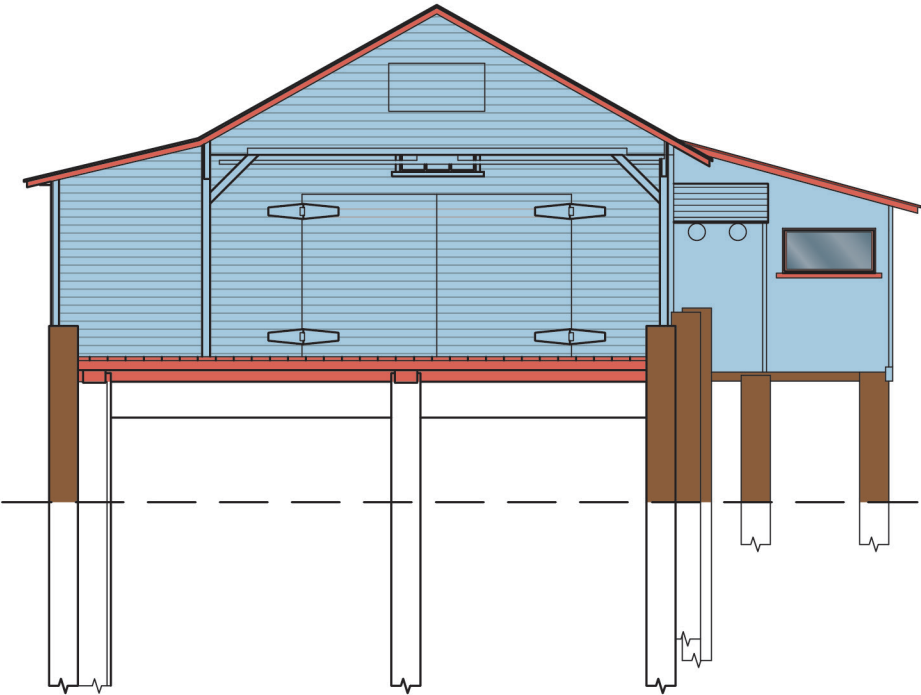
2.2 MATERIALS

- A. Manufacturer: Basis of Design Sherwin-Williams, primer and finish coat.
- B. Materials shall be in accordance with the MPI Architectural Painting Specification Manual "Approved Product" listing and shall be from a single manufacturer for

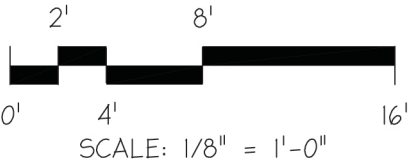
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By MThomas City of Gig Harbor at 8:09 am, May 04, 2023

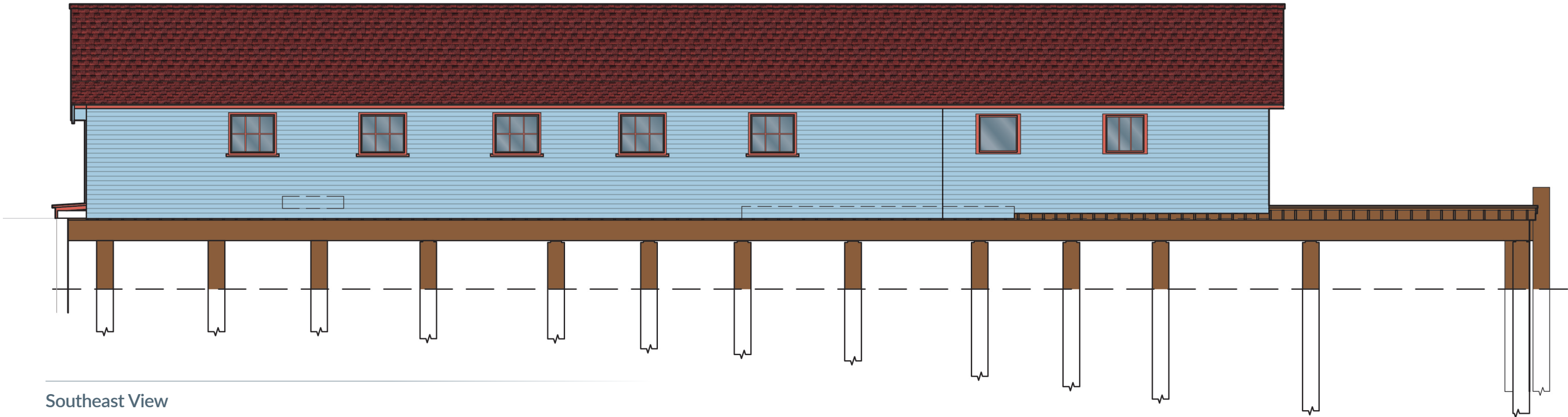


Southwest View

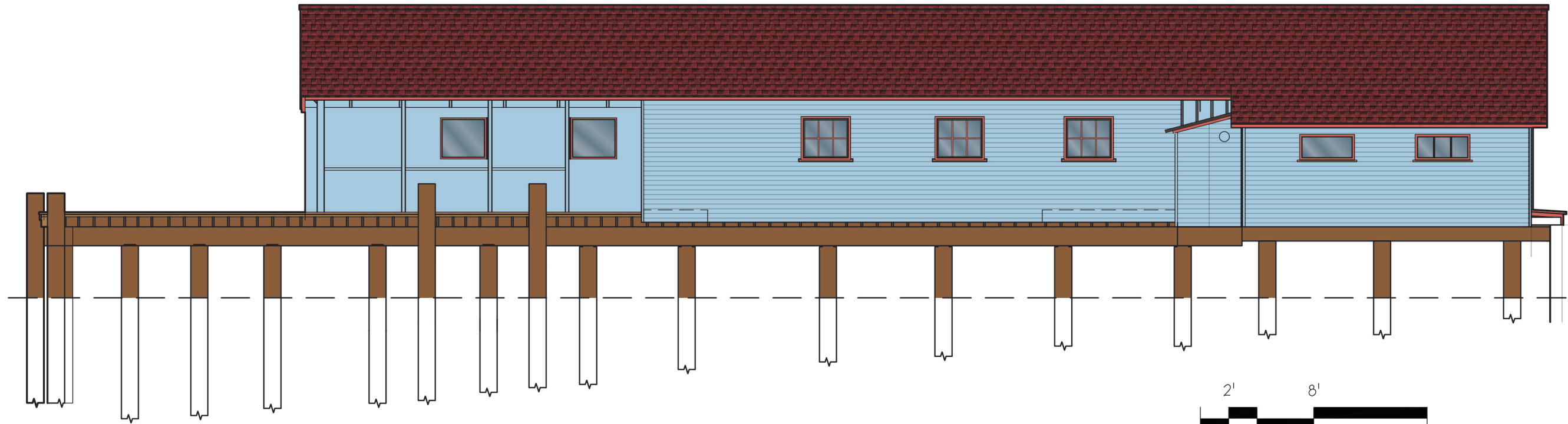


Northeast View

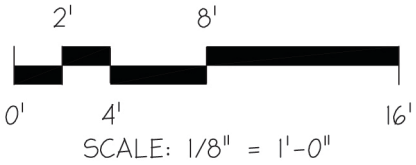




Southeast View



Northwest View



Colored Elevations

GAF Timberline Ultra HD 25-sq ft Patriot Red Laminated Architectural Roof Shingles

Item #656671 Model #0550544

Shop GAF      449

This item is unavailable. Here are some similar items ...



GAF Timberline HDZ 33.33-sq ft Charcoal Laminated...
     16352

\$37.78

+ Add to Cart

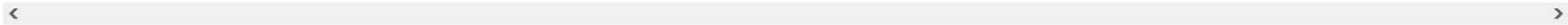


Owens Corning TruDefinition Duration...
     16167

\$35.55

\$57.93 **SAVE 38%**

+ Add to Cart



\$33.50 ~~\$42.11~~
Save \$8.61

 [Calculate your required quantity.](#)



\$31.82 when you choose 5% savings on eligible purchases every day.
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THIS ITEM IS OUT OF STOCK
We'll notify you once this item is back in stock.

 Enter Email Address

Notify Me

- Timberline shingles are the #1-selling shingles in North America
- Lifetime ltd transferable warranty with smart choice protection (non-prorated material and installation labor coverage) for the first ten years (See GAF shingle...)
- Designed with advanced protection shingle technology, which reduces the use of natural resources while providing excellent protection

Manufacturer Color/Finish: PATRIOT RED



+ [Show More](#)

In use/lifestyle images - accessories not included



PUBLIC WORKS DEPARTMENT

M E M O R A N D U M

TO: Design Review Board

THRU: Robin Bolster-Grant, Principal Planner

FROM: Marcos McGraw, Project Engineer *mm*

DATE: May 1, 2023

SUBJECT: Skansie Netshed Rehabilitation - Certificate of Appropriateness

The information within this memorandum relates specifically to the rehabilitation work consisting of repainting, reroofing, and structural stabilization of the net shed. Although this work is defined as ordinary repair and maintenance as defined in **Section 17.97.020.P GH MC** it is not exempt from the requirement for a Certificate of Appropriateness due to the obligation to acquire a building permit for reroofing the structure.

This memorandum will describe the circumstances of the change and describe how they will be rectified by responding to the ten criteria listed **Section 17.97.050.4a. GH MC**.

BRIEF HISTORY

This historic structure was original built by Peter Skansie, whose name is attributed to the net shed and the associated public park. It is located at 3207 Harborview Drive in Gig Harbor, Washington. The Skansie net shed underwent numerous alterations and expansions through the years. It was expanded to the north with a small wood and machine shop. Then it was built out into the harbor to the south and east in four successive additions. The Skansie family used this net shed as a home base for their own fishing as well as a small shipyard for building and maintaining fishing boats. Peter and his wife Bertha had two sons who managed the property until the City of Gig Harbor (City) purchased it in 2002. The City has developed and managed the property as a public park and historic attraction.

NETSHED REPAIR & MAINTENANCE

Ten Criteria and Responses:

- i. “Every reasonable effort shall be made to provide a compatible use for an historic property which requires minimal alteration of the building, structure, or site and its environment, or to use an historic property for its originally intended purpose.”

This project proposes no change to the use of this historic structure. This project proposes no alteration of the building, structure, the site, or the environment. The work consists of repairs and maintenance and structural stabilization that will preserve the historic structure for decades into the future.

- ii. “The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.”

The intent and goal of the proposed work is to preserve the distinguishing original qualities and character of the building, structure, site, and environment. All effort will be made to avoid removal or alteration of any historic material or distinctive architectural features. Alterations will be limited to certain siding and trim boards, new plywood sheathing, and interior steel angles. Certain existing siding and trim boards are in poor or failing condition. Those boards that have deteriorated to the point of failure will be replaced with matching lumber.

- iii. “All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.”

No alterations proposed under this application will destroy existing buildings, structures, or the site. The intent of all proposed alterations is to preserve the historic appearance. The existing roof sheathing consists of deck boards running perpendicular to the rafters. Plywood sheathing that is 3/8-inch thick will be added to the roof to provide a secure nailing substrate that a future contractor can warranty. After completion of the work this added plywood sheathing will not be hidden from view by underlayment, metal flashing, and shingles.

- iv. “Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.”

The proposed work protects the significant historic changes completed to date.

- v. “Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure or site shall be treated with sensitivity.”

The proposed design will treat with sensitivity the stylistic features the represent the craftsmanship of the era in which the net shed was constructed. Many revisions have transpired at the Skansie Park site during recent years. These changes demonstrate the transitional history from a privately owned residence and functional net shed to a public park. The proposed interior improvements that consist of beams, columns, angles, and ancillary parts to stabilize the structure are planned as steel to differentiate these recent developments from those of the past. The new steel members will be coated black to not distract from the architectural character of the interior.

- vi. “Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from other buildings or structures.”

The subject deteriorated architectural feature consists of the failed siding and trim boards. The new boards, shingles, and paint materials for the proposed repair will match the composition, design, color, texture, and other visual qualities of existing materials.

- vii. “The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.”
Surface cleaning of the exterior siding and trim will be required as part of the preparations for repainting the building. However, this cleaning process will be limited to removing loose paint only.

- viii. “Every reasonable effort shall be made to protect and preserve archaeological resources affected by, or adjacent to, any project.”

The action that is the subject of this presentation to the Board will not affect any archeologic resources on or adjacent to the site.

- ix. “Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical architectural or cultural

material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood, or environment, and when such design is consistent with all other applicable design and development regulations.”

This site lies within the Historic District, Waterfront/Commercial zone, the listed land use is Waterfront, and it is listed on the city’s historic register. The adjacent zones consist of Downtown Business to the south and southwest, Waterfront Millville to the west, and the harbor. The proposed alteration is compatible with the size, scale, color, material, and character of the property, neighborhood, and environment.

- x. “Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations were to be removed in the future, the essential form and integrity of the structure would be unimpaired.”

If at any future time the proposed alteration, meaning new roofing materials and interior steel bents, were to be removed then the structure would deteriorate at an accelerated rate due to exposure to the elements and increased instability. However, that action would restore or return the net shed essential form and integrity.

Recommended Action: This proposed maintenance and repair work for this historic structure is needful to preserve it for generations to come. The applicant will hire a contractor to perform the improvements compliant with current construction standards matching the historic appearance of the net shed. This alteration will recognize and demonstrate the transition of historic use of the building. The construction activities will be completed in accordance in a manner to preserve, respect, and preserve the historic appearance of the net shed.

REQUESTED ACTION

Request: The applicant requests that the members of the Design Review Board issue a Certificate of Appropriateness for the repair, maintenance, and stabilization work for the Skansie Netshed as described.

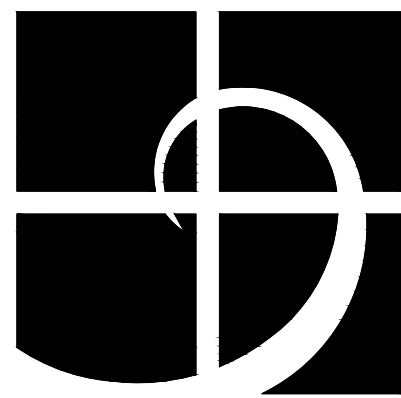
SKANSIE NETSHED STRUCTURAL IMPROVEMENTS, PAINTING & REROOFING

3207 HARBORVIEW DRIVE
GIG HARBOR WASHINGTON, 98335

DESIGN REVIEW SET
PROJECT NO. A22-028

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By MThomas City of Gig Harbor at 8:10 am, May 04, 2023



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HELIX DESIGN GROUP, INC.

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PROJECT ENGINEER
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HELIX DESIGN GROUP, INC.
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TACOMA, WASHINGTON 98424
CONTACT: JEFF RYAN
PROJECT MANAGER
PHONE: (253) 922-9037

STRUCTURAL

KPFF
2407 N. 31ST STREET
TACOMA, WASHINGTON 98407
CONTRACT: DILLION FELTON
PHONE: (253) 396 0150

SYMBOLS

DETAIL

DETAIL NUMBER
SHEET NUMBER

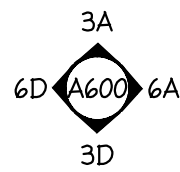
EXTERIOR ELEVATION

ELEVATION NUMBER
SHEET NUMBER

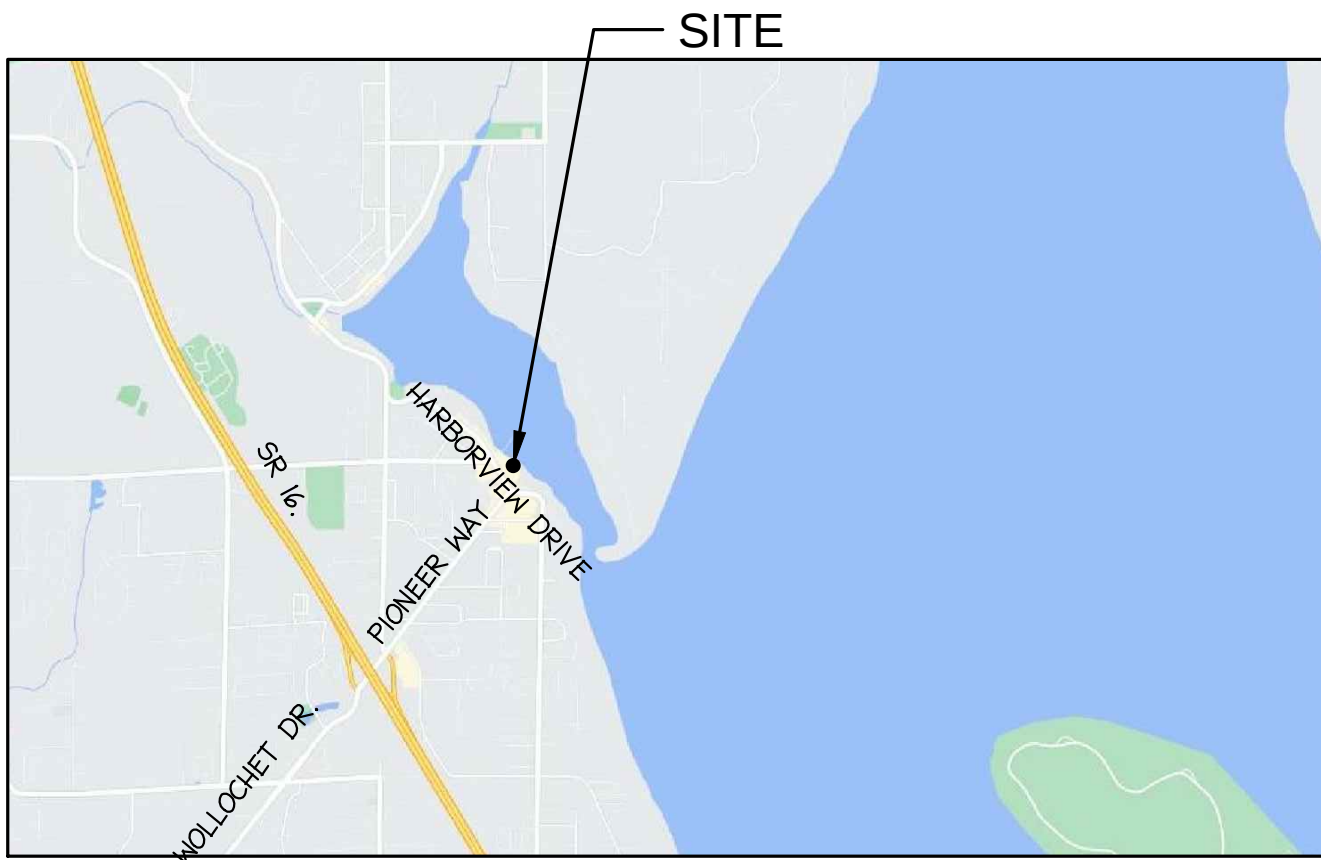
REVISION

REVISION

NORTH ARROW



VICINITY MAP



GENERAL NOTES

- ALL WORK SHALL CONFORM TO APPLICABLE BUILDING CODES AND ORDINANCES. WHERE MORE THAN ONE CODE OR ORDINANCE CONFLICT WITH EACH OTHER, THE MORE RESTRICTIVE CODE SHALL GOVERN.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AT THE SITE AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY UNCERTAINTIES OR DISCREPANCIES WITH DRAWINGS.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL UTILITIES AT THE SITE, PROTECT THEM FROM DAMAGE AND REPORT ANY DISCREPANCIES WITH DRAWINGS.
- THE CONTRACTOR SHALL INSURE THE HEALTH AND SAFETY OF THE PUBLIC AND ALL WHO ENTER THE BUILDING DURING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY AND COORDINATE THE WORK OF SUBCONTRACTORS AND ALL DRAWINGS PRIOR TO PROCEEDING WITH ANY WORK OR FABRICATION.
- DRAWINGS SHALL NOT BE SCALED. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY CONFLICTS.
- DIMENSIONS ON PLANS ARE TO FACE OF GENERAL REFERENCE, DIMENSION SHOWN WERE TAKEN FOR ORIGINAL CONSTRUCTION DOCUMENTS. CONTRACTOR TO FIELD VERIFY AS NEEDED PRIOR TO BID.

SHEET INDEX

G01 COVER SHEET
G2 SITE PLAN

ARCHITECTURAL

A1 EXISTING NETSHED IMAGES
A2 EXISTING NETSHED IMAGES
A3 EXISTING NETSHED IMAGES
A4 BUILDING ELEVATIONS

STRUCTURAL

S1 GENERAL NOTES AND ABBREVIATIONS
D1 EXISTING PLAN
S2 EXISTING SECTIONS
S2 ROOF FRAMING PLAN
S3 MOMENT AND BRACED FRAME PLAN
S4 SECTIONS
S5 SECTIONS
S6 SECTIONS
S7 SECTIONS

STANDARD ABBREVIATIONS

ACT	ACOUSTICAL CEILING TILE	D.S.	DOWNSPOUT	GB	GRAB BAR	MB	MARKERBOARD	SC	SOLID CORE
ADA	AMERICANS WITH DISABILITIES ACT	DW	DISHWASHER	GC	GENERAL CONTRACTOR	MCJ	MASONRY CONTROL JOINT	SCHED	SCHEDULE
ADJ	ADJUSTABLE	DWG	DRAWING	GFCI	GROUND FAULT CIRCUIT INTERRUPTER	MECH	MECHANICAL	SF	SQUARE FEET
AFF	ABOVE FINISH FLOOR	(E)	EXISTING	GFRG	GLASS FIBER REINFORCED GYPSUM	MDF	MEDIUM DENSITY FIBERBOARD	SG	SAFETY GLASS
ALT	ALTERNATE	EA	EACH	GL	GLASS	MIN	MINIMUM	SIM	SIMILAR
ALUM	ALUMINUM	EF	EXHAUST FAN	GLB	GLUE LAMINATED BEAM	MTL	METAL	SLR	SEALER
AVG	AVERAGE	EJ	EXPANSION JOINT	GM	GAS METER	N/A	NOT APPLICABLE	SPEC.	SPECIFICATION(S)
BD	BOARD	EP	ELECTRICAL PANEL	GWB	GYPSUM WALLBOARD	N.I.C.	NOT IN CONTRACT	SS	STAINLESS STEEL
BLDG	BUILDING	EQ	EXPANDED POLYSTYRENE	GYP	GYPSUM	NO.	NUMBER	STL	STEEL
BLKG	BLOCKING	EQS	EQUAL	H	HEIGHT	N.T.S.	NOT TO SCALE	STD.	STANDARD
BM	BEAM	EQUIP	EQUIPMENT	HB	HORIZONTAL BLIND	O.C.	ON CENTER	STRUC	STRUCTURAL
B.O.	BOTTOM OF	EIFS	EXTERIOR INSULATED FINISHING SYSTEM	H.B.	HOSE BIB	OD	OUTSIDE DIAMETER	SUSP	SUSPENDED
BV1	BRICK VENEER MASONRY	ENCL.	ENCLOSURE	HC	HOLLOW CORE	O.D.	OVERFLOW DRAIN	SV	SHEET VINYL
CAB	CABINET	EXT	EXTERIOR	H.C.	HANDICAPPED	O.S.	OVERFLOW DRAIN SPOUT	TBB	TILE BACKERBOARD
CL	CENTER LINE	(F)	FUTURE	HDR	HEADER	O.H.	OVERHEAD	THK	THICK
C.I.	CONTINUOUS INSULATION	FF	FACTORY FINISH	HM	HOLLOW METAL	OPNG	OPENING	T.I.	TENANT IMPROVEMENT
CJ	CONTROL JOINT	FIN	FINISH	HOR	HORIZONTAL	OPP	OPPOSITE	T.O	TOP OF
CLR	CLEAR	F.I.C.	FURNISHED AND INSTALLED BY CONTRACTOR	HR	HOSE BIB	PLAM	PLASTIC LAMINATE	T.O.B.	TOP OF BEARING
CER	CERAMIC	F.I.O.	FURNISHED AND INSTALLED BY OWNER	HT	HEIGHT	PLYWD	PLYWOOD	T.O.F.	TOP OF FLOOR
CLG	CEILING	FRP	FIBERGLASS REINFORCED PANEL	HVAC	HEATING, VENTILATION & AIR CONDITIONING	PR	PAIR	TRTD	TREATED
CMU	CONCRETE MASONRY UNIT	FLR	FLOOR	INSUL.	INSULATED	PSF	POUNDS PER SQUARE FOOT	T.S.	TUBE STEEL
CONC	CONCRETE	FND	FOUNDATION	INT	INTERIOR	PSI	POUNDS PER SQUARE INCH	TYP	TYPICAL
CONST.	CONSTRUCTION	F.O.I.C.	FURNISHED BY OWNER INSTALLED BY CONTRACTOR	JAN	JANITOR	PT	PAINT	U.N.O.	UNLESS NOTED OTHERWISE
COORD	COORDINATE	F.O.M.	FACE OF MASONRY	JT	JOINT	PVC	POLYVINYL CHLORIDE	UNFIN	UNFINISHED
C.O.S.	CENTER OF STRUCTURE	F.O.S.	FACE OF STRUCTURE	LAM	LAMINATED	QT	QUARRY TILE	VCT	VINYL COMPOSITION TILE
CPT	CARPET	FP	FIREPROOFING	LAV	LAVATORY	QTY	QUANTITY	VIF	VERIFY IN FIELD
CT	CERAMIC TILE	F.D.	FLOOR DRAIN	LBS	POUNDS (WEIGHT)	R	RADIUS	VP	VENEER PLASTER
CWS	CEMENTITIOUS WALL SYSTEM (FIBER CEMENT LAP SIDING)	F.E.	FIRE EXTINGUISHER	LG	LAMINATED GLASS	RB	RUBBER BASE	W	WIDTH
D	DEPTH	F.H.	FIRE HYDRANT	MANUF.	MANUFACTURER	RCP	REFLECTED CEILING PLAN	W/	WITH
(D)	DEMOLISH	FT	FEET / FOOT	MATL	MATERIAL	RD	ROOF DRAIN	WAIN	WAINSCOT
DBL	DOUBLE	FRP	FIBERGLASS REINFORCED PANEL	MAX	MAXIMUM	REF	REFRIGERATOR	WB	WHITEBOARD
D.F.	DRINKING FOUNTAIN	GA.	GAUGE			REQD	REQUIRED	WD	WOOD
DIM	DIMENSION	GALV	GALVANIZED			RL	RAIN LEADER	WH	WATER HEATER
DIA	DIAMETER					REV	REVISION	W/O	WITHOUT
DN	DOWN					R1	ROOM	WOM	WALK OFF MAT
						R.O.	ROUGH OPENING	WP	WORK POINT
								WRB	WATER RESISTANT BARRIER
								WNF	WELDED WIRE FABRIC

CITY OF GIG HARBOR

CITY OF GIG HARBOR ADMINISTRATION:

TRACIE MARKLEY MAYOR:
KATRINA KANUTSON CITY ADMINISTRATOR
JEFF LANGHELM, PE PUBLIC WORKS DIRECTOR

GIG HARBOR CITY COUNCIL

JENI WOOK
ROGER HENDERSON
BRENDA LYKINS
MARY BARBER
ROBIN DENSON
LE RODENBERG
SETH STORSET



ISSUED FOR CONSTRUCTION

DATE

SKANSIE NETSHED
STRUCTURAL
IMPROVEMENTS,
PAINTING & REROOFING
GIG HARBOR, WASHINGTON

REVISION DATE

DATE MAY 1, 2023 JOB NO. a22-028

DESIGN REVIEW SET

G1

SHEET NO. 1 OF 15

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GENERAL NOTES	
1	NOTE
2	1. BIDDERS TO VISIT SITE, PRIOR TO BIDS, TO VERIFY REQUIREMENTS FOR REPAINTING THE EXTERIOR OF STRUCTURE
3	2. FIELD VERIFY ALL DIMENSIONS, DIMENSIONS SHOWN ARE APPROXIMATE. FOR GENERAL REFERENCE AND MAY VARY.
4	3. ALL PAINTED FINISHES ON THE EXTERIOR OF STRUCTURE SHALL BE PREPPED AND REPAINTED UNLESS OTHERWISE NOTED.
5	4. PROTECT MARINE ENVIRONMENT DURING WORK, FOLLOW ALL STATE LOCAL REQUIREMENTS FOR WORK OVER WATER AND BEACH.
6	5. PROTECT PUBLIC FROM WORK, ADJACENT PROPERTY WILL BE OPEN TO THE PUBLIC DURING THIS PROJECT. WHILE THE NETSHED WILL BE CLOSED DURING WORK, THE PUBLIC WALKWAYS AND PARK WILL BE OPEN.
7	6. PROTECT ADJACENT STRUCTURES, EQUIPMENT, BOATS AND CARS FROM DUST, FUMES AND OVERSPRAY.
8	7. PROTECT ADJACENT PLANTINGS FROM DAMAGE (LAWN)
9	8. PROTECT ALL NON-PAINTED SURFACES FROM PAINT AND PREPARATION WORK.
10	9. PREP AND REPAINT OUTSIDE OF EXTERIOR DOORS AND FRAMES, TYP.
	10. REPAINT EACH FEATURE IN A COLOR MATCHING THE CURRENT PALETTE (AS ORIGINALLY PAINTED). PROVIDE COLOR MATCH SAMPLES FOR EACH COLOR PRIOR TO REPAINT FOR APPROVAL.
	11. REPAIR AND/OR REPLACE DAMAGED WOOD TRIM PRIOR TO PAINTING, TYP.
	12. REMOVE BANNERS AND SIGNS PRIOR TO PAINTING, REINSTALL AFTERWARD.
	13. REMOVE AND REPLACE EXISTING ROOFING MEMBRANE AND UNDERLAYMENT. REPLACE ALL FLASHING WITH PAINTED STAINLESS MATERIAL.
	14. INSTALL PLYWOOD SHEATHING OVER (E) WOOD PLANK ROOF DECKING. DUE TO HISTORIC EXPOSED CEILINGS WITHIN STRUCTURE, NO NAILS SHALL BE VISIBLE BELOW (E) DECKING AFTER INSTALLATION. ALIGN SHEATHING NAILS WITH (E) RAFTERS WHERE POSSIBLE. REFER TO STRUCTURAL DRAWINGS FOR NAILING PATTERN REQUIREMENTS.
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PLAN NOTES	
SYMBOL	NOTE
01	PREP AND REPAINT WOOD FINISHES, TYP. SCRAPE LOOSE PAINT FINISH, PRIME ALL EXPOSED WOOD SURFACE AND REPAINT. FOLLOW PROCEDURE NOTED IN SPECIFICATION SECTION 09 91 00, PROJECT MANUAL.
02	REPLACE WOOD ROOF EDGE FASCIA, MOST OF WHICH IS CURRENTLY MISSING. INSTALL NEW EDGE FLASHING WITH DRIP EDGE.
03	REPLACE DAMAGED SIDING, MATCH (E) PROFILES AND SIZES. FOR BIDDING PURPOSES, CONSIDER 240 SF OF THE SIDING AS DAMAGED AND PROVIDE UNIT PRICE FOR REPLACEMENT BY SF. COORDINATE WITH CITY DURING WORK TO DETERMINE EXTENT OF SIDING TO BE REPLACED.



5B SOUTHWEST ELEVATION
 SCALE: N.T.S.

Image 1



5G SOUTHEAST ELEVATION
 SCALE: N.T.S.

Image 1



9B CEILING FINISH PERP. DECK
 SCALE: N.T.S.

Image 1

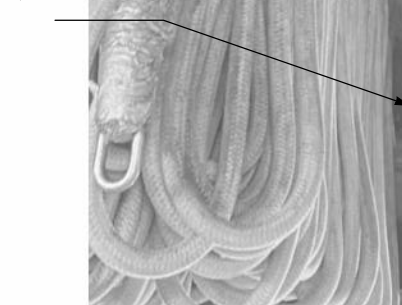


9D CEILING FINISH LONG. DECK
 SCALE: N.T.S.

Image 1



EXAMPLE OF EXISTING WATER STAINS



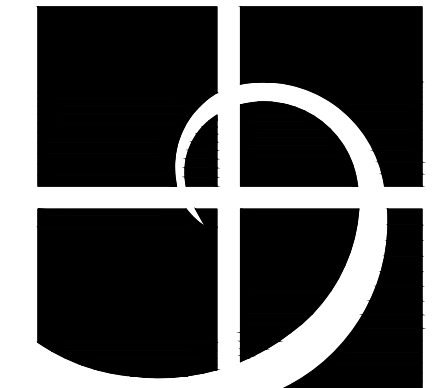
9G CEILING FINISH DETAIL
 SCALE: N.T.S.

Image 1



9J CEILING RIDGE DETAIL
 SCALE: N.T.S.

Image 1



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EXISTING NETSHED IMAGES

SKANSIE NETSHED STRUCTURAL IMPROVEMENTS, PAINTING & REROOFING
GIG HARBOR, WASHINGTON

REVISION DATE

DATE JOB NO.
MAY 1, 2023 a22-028

DESIGN REVIEW SET

A1

SHEET NO. 3 OF 15

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GENERAL NOTES	
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5B CLOSE UP VIEW OF SOUTHWEST CORNER OF BUILDING AT ENTRY
 SCALE: N.T.S.
Image 1



9B DETAIL VIEW NW ELEVATION AT WINDOW
 SCALE: N.T.S.
Image 1

IMAGES OF THE EXISTING FACILITY HAVE BEEN PROVIDED TO SHOW GENERAL CONDITION OF EXTERIOR OF BUILDING AND INTERIOR FINISHES AND FEATURES. CONTRACTOR TO VERIFY CONDITIONS PRIOR TO BID.



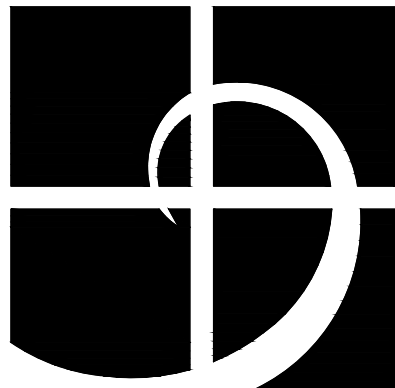
5G CLOSE UP VIEW OF SOUTHEAST CORNER OF BUILDING
 SCALE: N.T.S.
Image 1



9E DETAILED VIEW SE ELEVATION
 SCALE: N.T.S.
Image 1



9H DETAILED VIEW SE ELEVATION AT E CORNER
 SCALE: N.T.S.
Image 1



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EXISTING NETSHED IMAGES

SKANSIE NETSHED STRUCTURAL IMPROVEMENTS, PAINTING & REROOFING
GIG HARBOR, WASHINGTON

REVISION	DATE

DATE: MAY 1, 2023

JOB NO.: a22-028

DESIGN REVIEW SET

A3

SHEET NO. 5 OF 15

DRAWING NO.

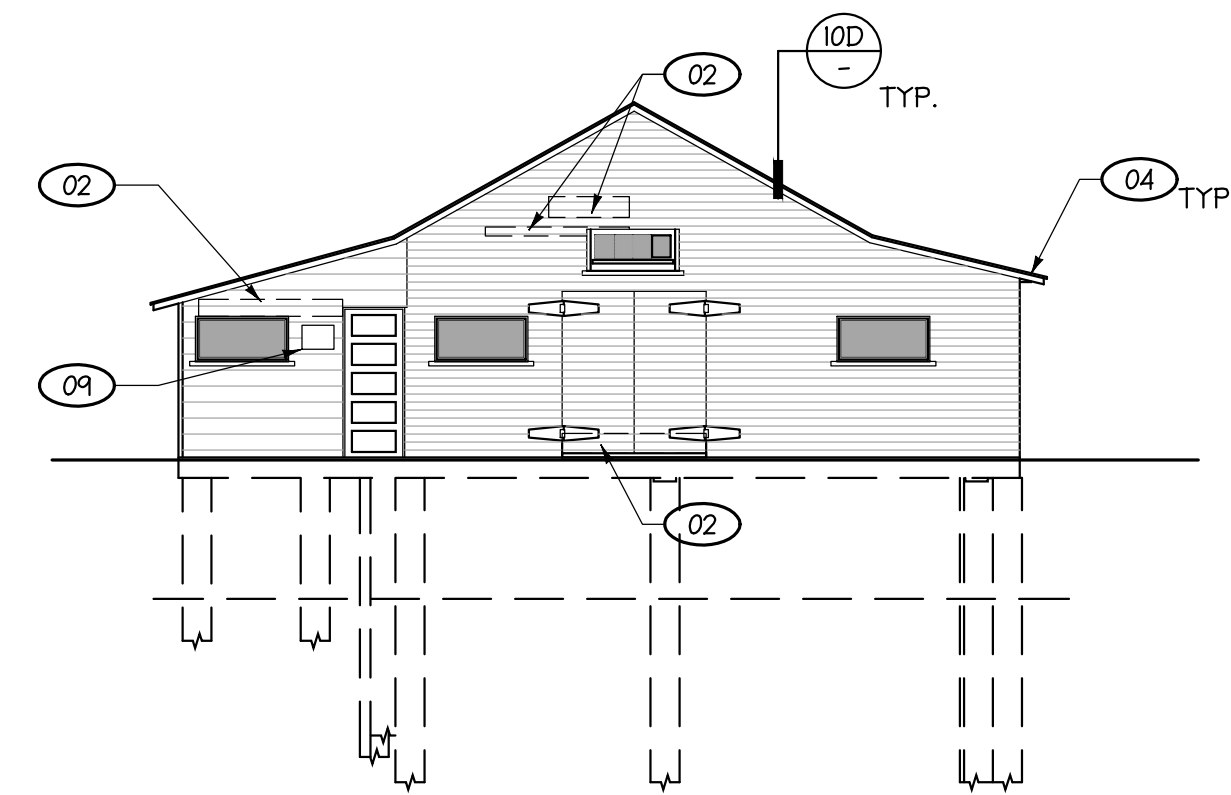
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GENERAL NOTES

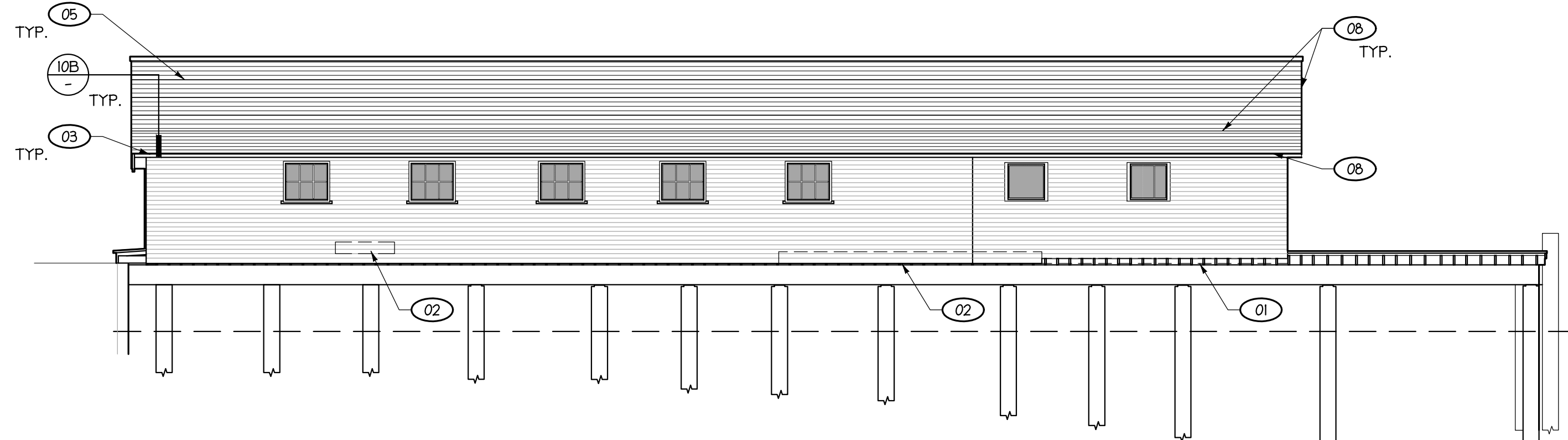
- NOTE
1. THESE DRAWINGS DELINEATE THE BASIC SCOPE OF WORK. THESE DRAWINGS HAVE BEEN PROVIDED BY THE OWNER TO REPRESENT THE BUILDINGS FORT AND ARE NOT TO BE CONSIDERED AS-BUILTS AND MAY VARY FROM ACTUAL FIELD CONDITIONS. ALL SLOPES NOTED ARE APPROX. ALL BIDDERS ARE ENCOURAGED TO "WALK THROUGH" PRIOR TO BIDDING.
 2. COORDINATION OF THESE DRAWINGS WITH THE REQUIREMENTS FOR CONTRACT WORK IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. DISCREPANCIES BETWEEN OR WITHIN CONTRACT DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY, IN ACCORDANCE WITH SPEC SECTION 00 21 13 OR ARTICLES II.
 3. CONTRACTOR SHALL PROVIDE PROTECTION OF MATERIALS, EQUIPMENT AND FINISHES WHICH ARE TO REMAIN OR NOTED TO BE SALVAGED AND/OR RE-USED. DAMAGES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURELY STORING ALL ITEMS IDENTIFIED TO BE CAREFULLY REMOVED, SALVAGED AND REINSTALLED.
 5. CONTRACTOR TO BE RESPONSIBLE FOR CUT AND PATCH AS REQUIRED TO ACCOMMODATE CONSTRUCTION
 6. STABILITY OF THE STRUCTURE DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE CONTRACTOR. ALL TEMPORARY SHORING SUPPORT IS PART OF THIS CONTRACT.
 7. SELECTIVE DEMOLITION OF MATERIALS REQUIRED DURING THIS WORK AND THE REMOVAL OF MATERIALS FROM THE SITE IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 8. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL PERMITTING AND WORK REQUIREMENTS BY ALL AGENCIES HAVING JURISDICTION FOR WORK OVER A SALTWATER MARINE ENVIRONMENT.
 9. REPLACEMENT SIDING SHALL MATCH THE SIZE AND PROFILE OF THE ADJACENT MATERIAL, WHEN SIZE AND PROFILE ARE IN QUESTION REVIEW WITH OWNER FOR PRIOR APPROVAL BEFORE INSTALLING THE SIDING.
 10. RE-NAIL LOOSE SIDING TO STUDS.
 - II. REMOVE REMNANTS OF DOWNSPOUTS FOUND ON BUILDING.

ELEVATION NOTES

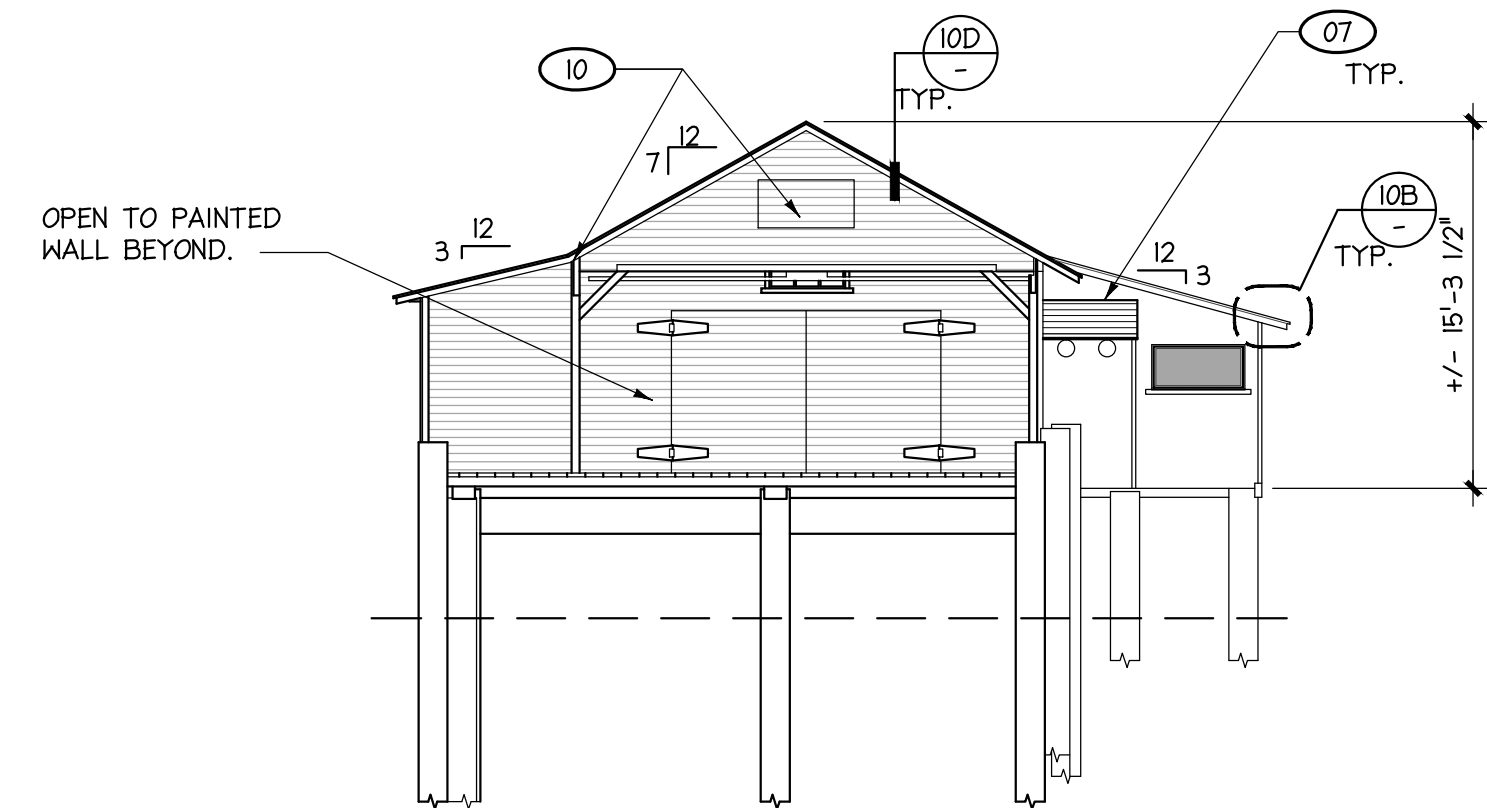
SYMBOL	NOTE
01	REPLACE MISSING SIDING OR TRIM, MATCH ADJACENT PROFILES AND SIZES
02	REPLACE DAMAGED SIDING OR TRIM, MATCH ADJACENT PROFILES AND SIZES
03	REPLACE WOOD TRIM AT DRIP EDGE AND INSTALL NEW METAL FLASHING. TYPICAL ALL DRIP EDGES.
04	REPLACE METAL FLASHING ALONG GABLE ROOF EDGES, TYPICAL.
05	REMOVE (E) ROOFING AND FLASHING, REPAIR DAMAGED ROOF SHEATHING MATCHING EXISTING BOARD PROFILE, INSTALL 3/8" CDX PLYWOOD UNDERLAYMENT. INSTALL COMPOSITION ROOFING OVER MOISTURE BARRIER, TYP. CARE SHALL BE TAKEN TO INSURE NO FASTENERS ARE VISIBLE FROM BELOW FROM SHEATHING OR ROOFING INSTALLATION, (E) EXPOSED WOOD PLANK CEILING.
06	REPLACE DAMAGED BOARD AND BATTEN SIDING AND INSTALL NEW SIDEWALL METAL FLASHING.
07	REPLACE ALL SIDEWALL METAL FLASHING AND STEP FLASHING
08	36" WIDE ICE AND WATER SHIELD SELF ADHERING MEMBRANE FLASHING AT ALL ROOF EDGES AND TRANSITIONS IN ROOF SURFACE
09	PROTECT NAT. REG PLAQUE IN PLACE DURING WORK.
10	TEMPORARILY REMOVE SIGN AND NETTING DURING CONSTRUCTION, REINSTALL AFTER PAINTING.



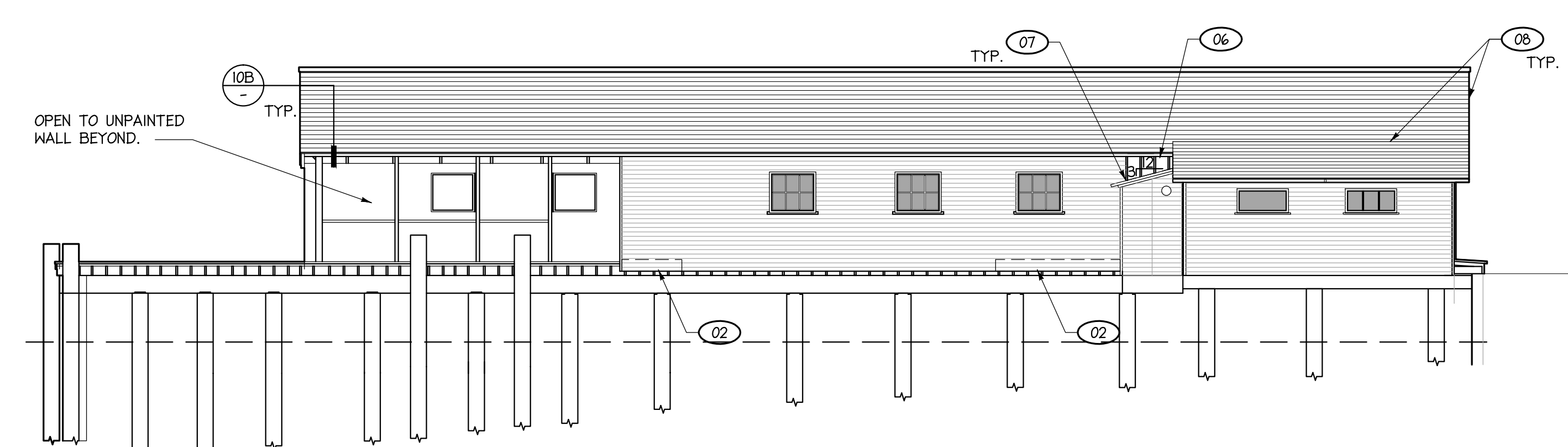
4B SOUTHWEST ELEVATION
SCALE: 1/8" = 1'-0"



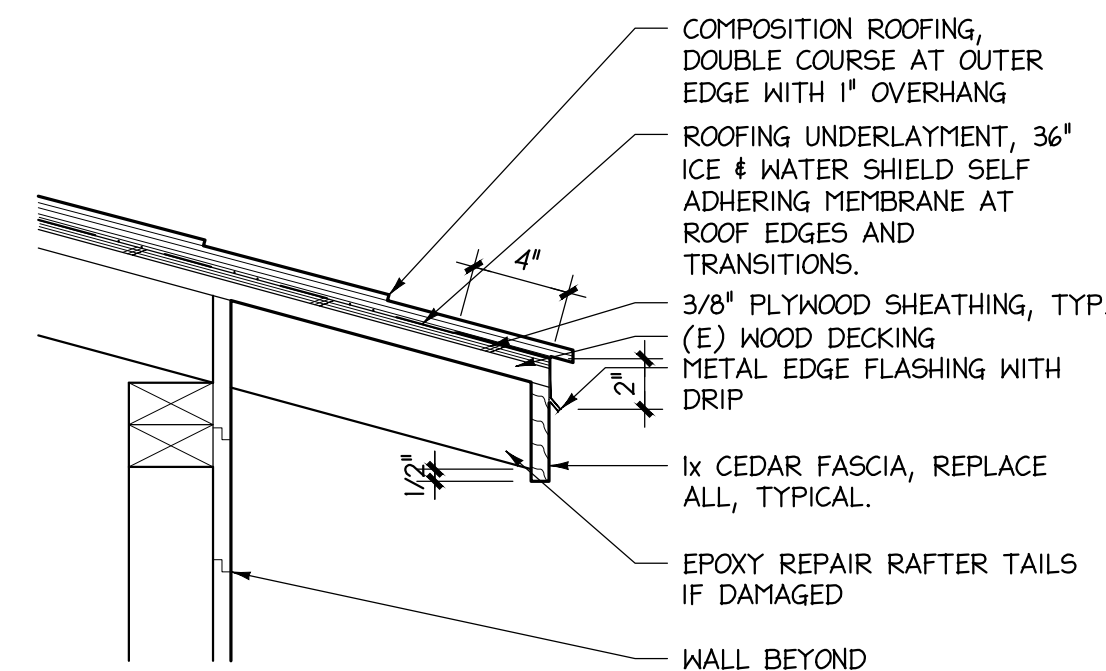
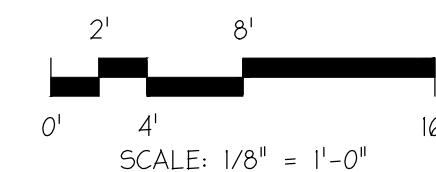
4E SOUTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



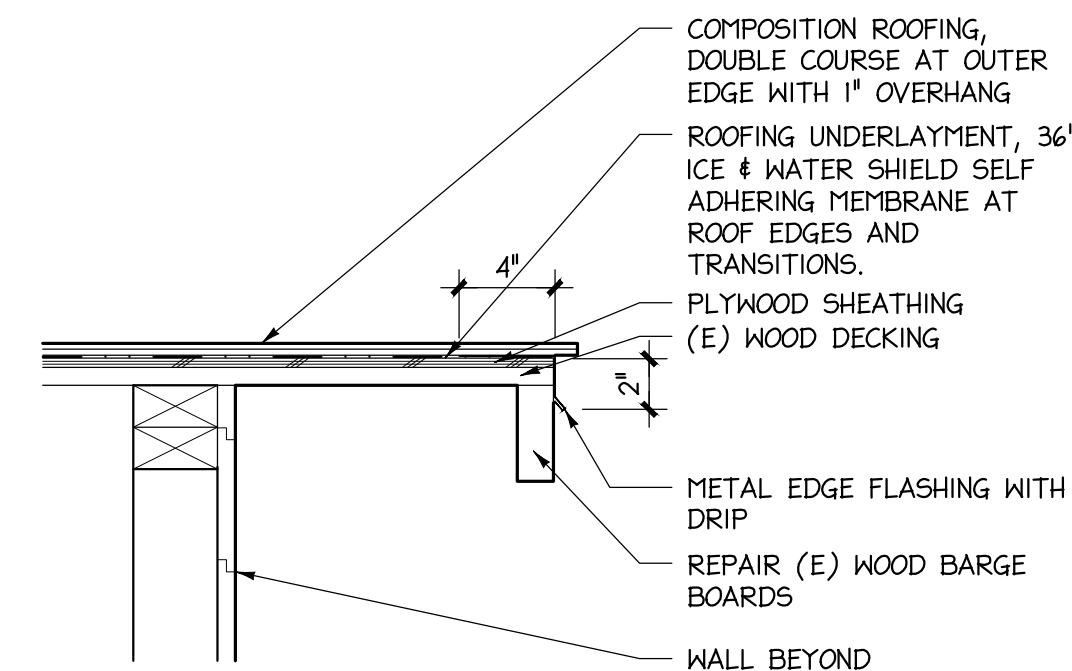
7B NORTHEAST ELEVATION
SCALE: 1/8" = 1'-0"



7E NORTHWEST ELEVATION
SCALE: 1/8" = 1'-0"

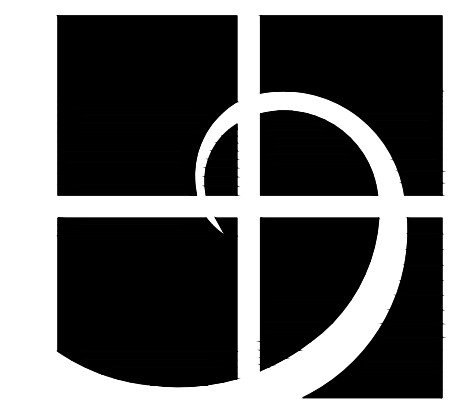


10B EDGE DETAIL
SCALE: 1 1/2" = 1'-0"



10D GABLE EDGE DETAIL
SCALE: 1 1/2" = 1'-0"

FINISH SCHEDULE	
MATERIAL	FINISH
WOOD SIDING	PAINT
WOOD WINDOWS	PAINT
WOOD DOORS AND FRAMES	PAINT
WOOD, DOORS AND WINDOW TRIM	PAINT
METAL FLASHING AND TRIM	MARINE GRADE STAINLESS STEEL, (PAINT)
STRUCTURAL STEEL	GALVANIZED STEEL, (PAINT)



Helix
design group



AMERICAN INSTITUTE OF ARCHITECTS

HELIX DESIGN GROUP, INC.

EXTERIOR
ELEVATIONS

SKANSIE NETSHED
STRUCTURAL
IMPROVEMENTS,
PAINTING & REROOFING
GIG HARBOR, WASHINGTON

REVISION	DATE

DATE MAY 1, 2023	JOB NO. a22-028
DESIGN REVIEW SET	

A4

SHEET NO. 6 OF 15

DRAWING NO.

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Plotted: Apr 28, 2023 - 3:35pm
N:\2022\2200052\Skansie Net Shed Repairs\KPPF Design Drawings\Current\01_S1-GEN NOTES.dwg
Layout: 01_S1-GEN NOTES
dfelton

GENERAL

- CONTRACTOR SHALL VERIFY ALL LEVELS, DIMENSIONS, AND EXISTING CONDITIONS IN THE FIELD BEFORE PROCEEDING. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR FIELD CHANGES PRIOR TO INSTALLATION OR FABRICATION. IN CASE OF DISCREPANCIES BETWEEN THE EXISTING CONDITIONS AND THE DRAWINGS, THE CONTRACTOR SHALL OBTAIN DIRECTION FROM THE ENGINEER BEFORE PROCEEDING. DIMENSIONS NOTED AS PLUS OR MINUS (±) OR REF INDICATE UNVERIFIED DIMENSIONS AND ARE APPROXIMATE. NOTIFY ENGINEER IMMEDIATELY OF CONFLICTS OR EXCESSIVE VARIATIONS FROM INDICATED DIMENSIONS. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS—DO NOT SCALE DRAWINGS. DIMENSIONS OF EXISTING CONDITIONS ARE BASED ON RECORD DRAWINGS AND ARE TO BE FIELD-VERIFIED BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING OF ALL STRUCTURAL MEMBERS, EXISTING CONSTRUCTION AND SOIL EXCAVATIONS, AS REQUIRED, AND IN A MANNER SUITABLE TO THE WORK SEQUENCE. TEMPORARY SHORING AND BRACING SHALL NOT BE REMOVED UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE DRAWINGS AND MATERIALS HAVE ACHIEVED DESIGN STRENGTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES REQUIRED TO PERFORM THE WORK.
- ALL MATERIALS SHALL BE NEW, UNO.
- ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH THE DRAWINGS, NOTES, SPECIFICATIONS AND MANUFACTURER RECOMMENDATIONS. IF THERE ARE ANY CONFLICTS BETWEEN THESE DOCUMENTS, THE ENGINEER SHALL BE CONTACTED FOR DIRECTION.
- THE CONTRACTOR SHALL CAREFULLY DECONSTRUCT EXISTING ELEMENTS AS NECESSARY TO ACCESS THE WORK AREAS. ALL DECONSTRUCTED ELEMENTS SHALL BE RECONSTRUCTED TO MATCH THE ORIGINAL APPEARANCE AND MEET THE REQUIREMENTS OF THE INTERNATIONAL BUILDING CODE.

CODES AND STANDARDS

- ALL DESIGN, METHODS AND MATERIALS SHALL CONFORM TO THE INTERNATIONAL BUILDING CODE 2018 AS AMENDED BY THE CITY OF GIG HARBOR.
- AMERICAN SOCIETY OF CIVIL ENGINEERS (ASCE) STANDARTD 7–16 MINIMUM DESIGN LOADS FOR BUILDING AND OTHER STRUCTURES.
- ALL MATERIALS SHALL CONFORM TO APPLICABLE ASTM STANDARDS, CURRENT EDITION.
- WOOD WORK SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION (NDS) 2015 EDITION.
- STRUCTURAL AND MISCELLANEOUS STEEL FABRICATION AND ERECTION SHALL CONFORM TO THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES" 2016.

DESIGN CRITERIA

WIND DESIGN: WIND LOAD IS BASED ON ASCE 7 CHAPTER 29 WITH THE FOLLOWING FACTORS

EXPOSURE CATEGORY = D RISK CATEGORY = II
V₃₅ = 97 MPH WIND IMPORTANCE FACTOR, I_w = 1.0

SEISMIC LOAD: LATERAL FORCE RESISTING SYSTEM IN EAST–WEST DIRECTION:
MOMENT FRAME: R = 3.5
LATERAL FORCE RESISTING SYSTEM IN NORTH–SOUTH DIRECTION:
BRACED FRAME: R = 3.25

SEISMIC IMPORTANCE = 1.0
S_{DS} = 1.18

GRAVITY LOADS: THE WEIGHT OF ALL MATERIALS IS CONSIDERED FOR DEAD LOAD
LIVE LOAD = 20 PSF
SNOW LOAD = 25 PSF

WOOD

- SHEATHING SHALL BE GRADED "STRUCTURAL I" AND CONFORM TO MOST CURRENT VERSION OF PS1–95 OR PS2–92. ALL PANELS SHALL BEAR THE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION. MAXIMUM SPAN ALLOWED FOR PANELS IS 24"O.C. (32/16). ALL ROOF SHEATHING SHALL BE INSTALLED FACE GRAIN PERPENDICULAR TO SUPPORTS, UNO. ALL NAILS SHALL BE DRIVEN FLUSH, BUT SHALL NOT FRACTURE THE SURFACE OF THE SHEATHING.
- EACH PIECE OF LUMBER SHALL BEAR A STAMP INDICATING A GRADE MARK OF THE WEST COAST LUMBER INSPECTION BUREAU (WCLIB), WESTERN WOOD PRODUCTS ASSOCIATION (WWPA), OR OTHER AGENCY ACCREDITED BY THE AMERICAN STANDARD COMMITTEE (ALSC).
- DIMENSION LUMBER SHALL BE DOUG–FIR NO 2.

STRUCTURAL STEEL

- ALL MISCELLANEOUS STEEL SHAPES AND PLATES, EXCEPT AS NOTED BELOW, SHALL CONFORM TO ASTM 36.
- ALL BOLTS SHALL BE ASTM A307, UNO.
- ALL NUTS SHALL BE ASTM A563, UNO.
- ALL WASHERS SHALL BE ASTM F436, UNO.
- ALL STEEL MEMBERS AND FASTENERS THAT ARE NOT EPOXY COATED SHALL BE HOT DIPPED GALVANIZED AND COATED BLACK PER REQUEST AND IN ACCORDANCE WITH ASTM A153 AS APPLICABLE.

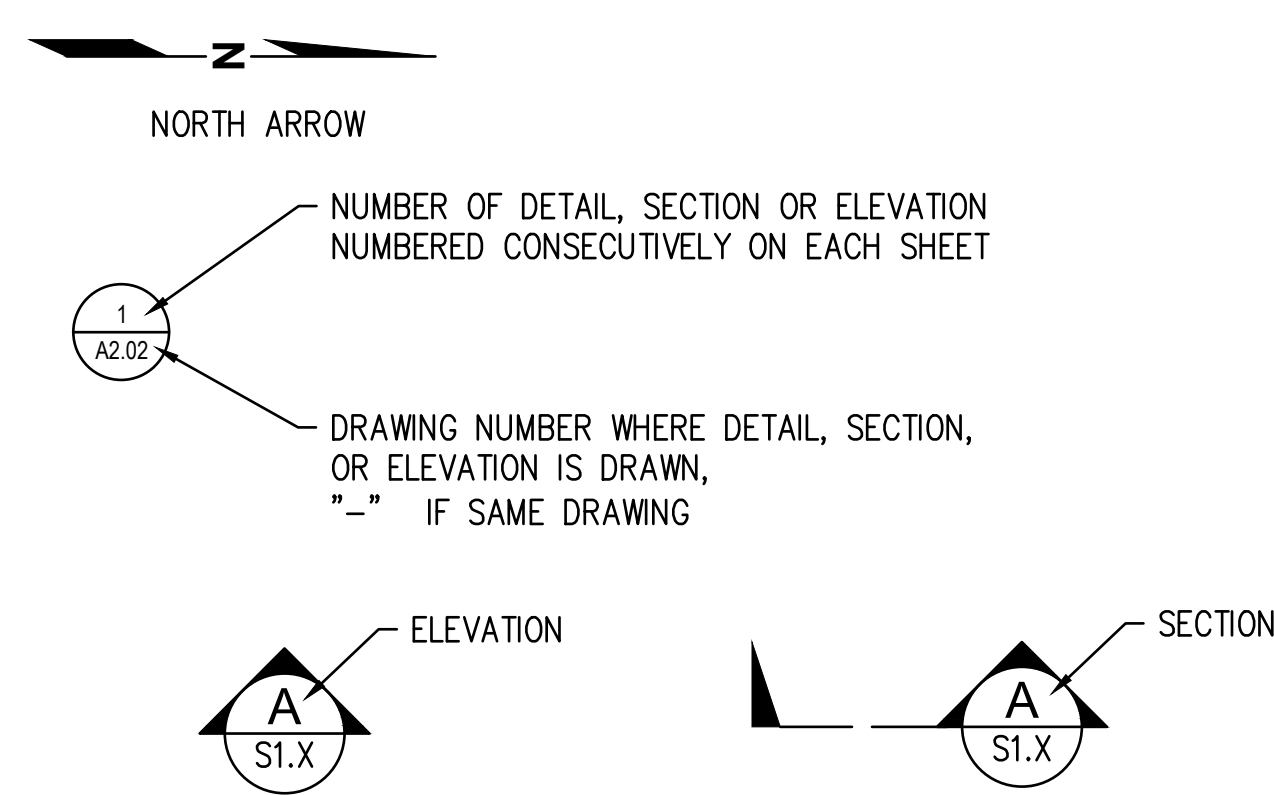
HARDWARE

- WOOD CONNECTOR HARDWARE SHALL HAVE ICC APPROVAL AND BE MANUFACTURED BY SIMPSON STRONG–TIE COMPANY, OR PRE–APPROVED EQUAL. PROVIDE MAXIMUM SIZE AND QUANTITY OF NAILS OR BOLTS PER MANUFACTURER, EXCEPT AS NOTED OTHERWISE. PROVIDE PRE–DRILLED HOLES TO PREVENT SPLITTING OF MEMBERS WHERE APPLICABLE.
- PROVIDE MINIMUM NAILING PER 2015 IBC TABLE 2304.9.1 UNLESS NOTED OTHERWISE. STAGGER ALL NAILING TO PREVENT SPLITTING OF WOOD MEMBERS.
- ALL NAILS SHALL BE COMMON WIRE NAILS OR EQUIVALENT PNEUMATICALLY DRIVEN NAILS WITH THE FOLLOWING PROPERTIES:

PENNYWEIGHT	DIAMETER (INCHES)	LENGTH (INCHES)
8d	0.131	1 1/2
16d	0.162	3 1/2

- SCREWS SHALL BE #9x1–1/2", #10x3–1/2", #10x1–1/2", #10x1/2", AND 1/4"Øx2" SDS HEAVY DUTY.

SYMBOLS



PLAN

SCALE: 1/4" = 1'–0"



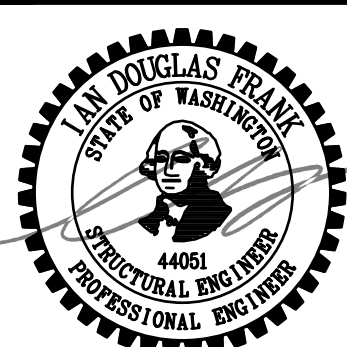
RAFTER	— xxx —
2X4 STUD	□
3 1/2 X 4 POST	△
4X4 POST	□
4"X6" POST	○
STEEL FRAME	— — — — —
BRACING	- - - - -
EXIST COLLAR TIE	— — — — —
PROP GALV STEEL ANGLE	- . - . - . -

ABBREVIATIONS

@	AT	MF	MOMENT FRAME
&	AND	MFR	MANUFACTURER
Ø	DIAMETER	MAT	MATERIAL
#	NUMBER	MAX	MAXIMUM
ADDL	ADDITIONAL	MLLW	MEAN LOWER LOW WATER
ADJ	ADJACENT	MJ	MECHANICAL JOINT
ADMIN	ADMINISTRATION	MIN	MINIMUM
AFF	ABOVE FINISHED FLOOR	MISC	MISCELLANEOUS
AGGR	AGGREGATE	NF	NEAR FACE
ALT	ALTERNATE	NS	NEAR SIDE
ACI	AMERICAN CONCRETE INSTITUTE	NO	NUMBER
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	NDT	NON–DESTRUCTIVE TESTING
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIAL	N	NORTH or NORTHING
AWS	AMERICAN WELDING SOCIETY	NE	NORTH–EAST
APP or APPVD	APPROVED	NW	NORTH–WEST
APPROX	APPROXIMATE	NIC	NOT IN CONTRACT
ARCH	ARCHITECT	NTS	NOT TO SCALE
AC	ASPHALT CONCRETE	OC	ON CENTER
ACP	ASPHALTIC CONCRETE PAVEMENT	OD	OUTSIDE DIAMETER
AVG	AVERAGE	OPP	OPPOSITE
BRG	BEARING	OVH	OVERHEAD
BM	BEAM	PVMT	PAVEMENT
BMP or BMP'S	BEST MANAGEMENT PRACTICES	PERF	PERFORATED
BTW or BTWN	BETWEEN	PERP	PERPENDICULAR
BOT	BOTTOM	PCT	PIERCE COUNTY TERMINAL
BF	BRACED FRAME	PL	PLATE
BLDG	BUILDING	POT	PORT OF TACOMA
CIP	CAST IN PLACE	PCC	PORTLAND CEMENT CONCRETE
CTR	CENTER	PVC	POLYVINYL CHLORIDE
CL	CENTER LINE or CLASS	PSF	POUNDS PER SQUARE FOOT
CC	CENTER TO CENTER	PSI	POUNDS PER SQUARE INCH
CLR	CLEAR or CLEARANCE	P/L	PROPERTY LINE
COL	COLUMN	PROP	PROPOSED
CONC	CONCRETE	RBC	ROOF BOUNDARY CLIP
CRSI	CONCRETE REINFORCING STEEL INSTITUTE	REF	REFERENCE
CPT	CONE PENETROMETER TEST	REINF	REINFORCE or REINFORCING
CONST	CONSTRUCT	REQ	REQUIRED
CONT	CONTINUE or CONTINUOUS	R	RIDGE or RADIUS
CONTR	CONTRACTOR	RT	RIGHT
COORD	COORDINATE	SCH	SCHEDULE
DEMO	DEMOLISH	SECT	SECTION
DET/DTL	DETAIL	SERV	SERVICE
DIAG	DIAGONAL	SHT	SHEET
DIA	DIAMETER	SIM	SIMILAR
DIM	DIMENSION	SIP	STRUCTURALLY INSULATED PANEL
DWG	DRAWING	S	SOUTH
E	EAST or EASTING	SE	SOUTH–EAST
(E) OR EXIST	EXISTING	SW	SOUTH–WEST
EA	EACH	SPEC	SPECIFICATIONS
ES	EACH SIDE	SQFT or SF	SQUARE FEET
EG	EXISTING GRADE	STD	STANDARD
EL or ELEV	ELEVATION	STA	STATION
ENGR	ENGINEER	STL	STEEL
EQ	EQUAL	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
ETC	ETCETERA	SYM	STMBOL
EXP. JT	EXPANSION JOINT	SYMM	SYMMETRIC
F/	FACE OF	T/	TOP OF
FRP	FIBER REINFORCED PLASTIC	T&G	TONGUE AND GROVE
FH	FINISH	TESC	TEMPORARY EROSION AND SEDIMENTATION CONTROL
FF	FINISH FLOOR	TOB	TOP OF BANK
FG	FINISH GRADE	TG	TOP OF GRATE
FS	FINISHED SURFACE	TOS	TOP OF STEEL
FLGD	FLANGED JOINT	TW	TOP OF WALL
FT	FOOT, FEET	TPG	TOPPING
FDN	FOUNDATION	TYP	TYPICAL
GALV	GALVANIZED	UNO	UNLESS NOTED OTHERWISE
GPR	GROUND PENETRATING RADAR	VAR	VARIABLE or VARIES
GPS	GLOBAL POSITIONING SYSTEM	VIF	VERIFY IN FIELD
GL	GRIDLINE	VERT	VERTICAL
HDR	HEADER	WSDOT	WASHINGTON STATE DEPARTMENT OF TRANSPORTATION
HT	HEIGHT	WHS	WELDED HEADED STUD
HDPE	HIGH DENSITY POLYETHYLENE	WWR	WELDED WIRE REINFORCEMENT
H or HORIZ	HORIZONTAL	WELD	WELDING
IN	INCH	W	WEST, WIDTH
ICL	INCLUDE	W/	WITH
INFO	INFORMATION	W/O	WITHOUT
ID	INSIDE DIAMETER	WP	WORK POINT
JT	JOINT		
KIP(S) or K	KILOPOUND(S)		
LAT	LATERAL		
LT	LEFT		
L	LENGTH		
LF	LINEAL FOOT		
LIN	LINEAL or LINEAR		

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NO.	DATE	BY	REVISION

SKANSIE NET SHED GIG HARBOR, WA

GENERAL NOTES AND ABBREVIATIONS

DRAWN: TRL	PROJECT NO.: 2200052
DESIGN: DGF	SCALE: AS SHOWN
CHECKED: IDF	DATE: 04/28/2023
DRAWING NO.	S1
SHEET NO.	07 OF 15

SUBMITTAL

Plotted: Apr 28, 2023 - 3:35pm
N:\2022\2200052 Skansie Net Shed Repairs\Current\02_D1-EXIST PLAN.dwg

dfelton
Layout: 02_D1-EXIST PLAN

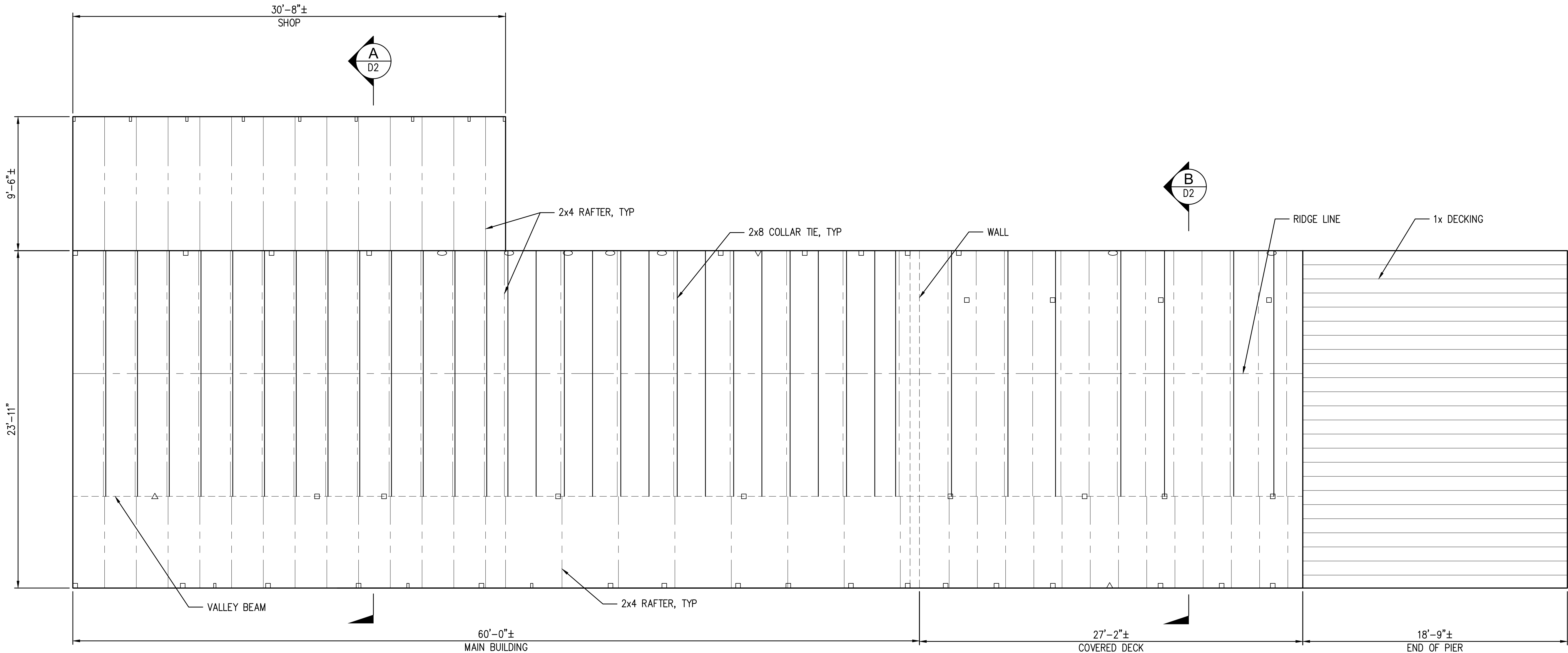
LEGEND:

-  2x4 STUD
-  3 1/2" x 4" POST
-  4" x 4" POST
-  4" x 6" POST
-  EXITS COLLAR TIE
-  RAFTER

EXISTING BUILDING

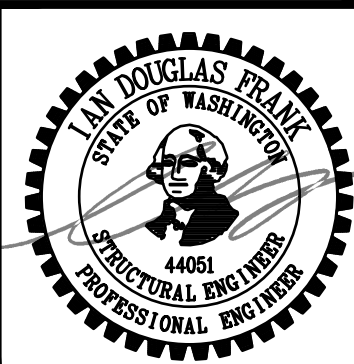
SCALE: 1/4" = 1'-0"

NOTE:
ALL DIMENSIONS TO BE FIELD VERIFIED



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NO.	DATE	BY	REVISION



SKANSIE NET SHED GIG HARBOR, WA	
EXISTING PLAN	

DRAWN: TRL	PROJECT NO.: 2200052
DESIGN: DGF	SCALE: AS SHOWN
CHECKED: IDF	DATE: 04/28/2023
DRAWING NO.	D1
SHEET NO.	08 OF 15

SUBMITTAL

Plotted: Apr 28, 2023 - 3:36pm
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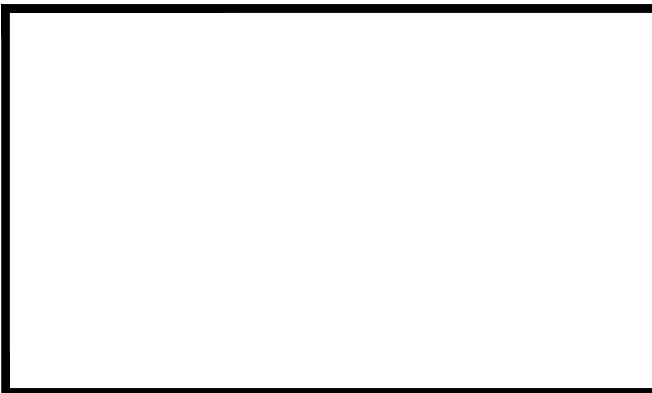
dfeleton - Layout: 02_D2-EXIST SEC

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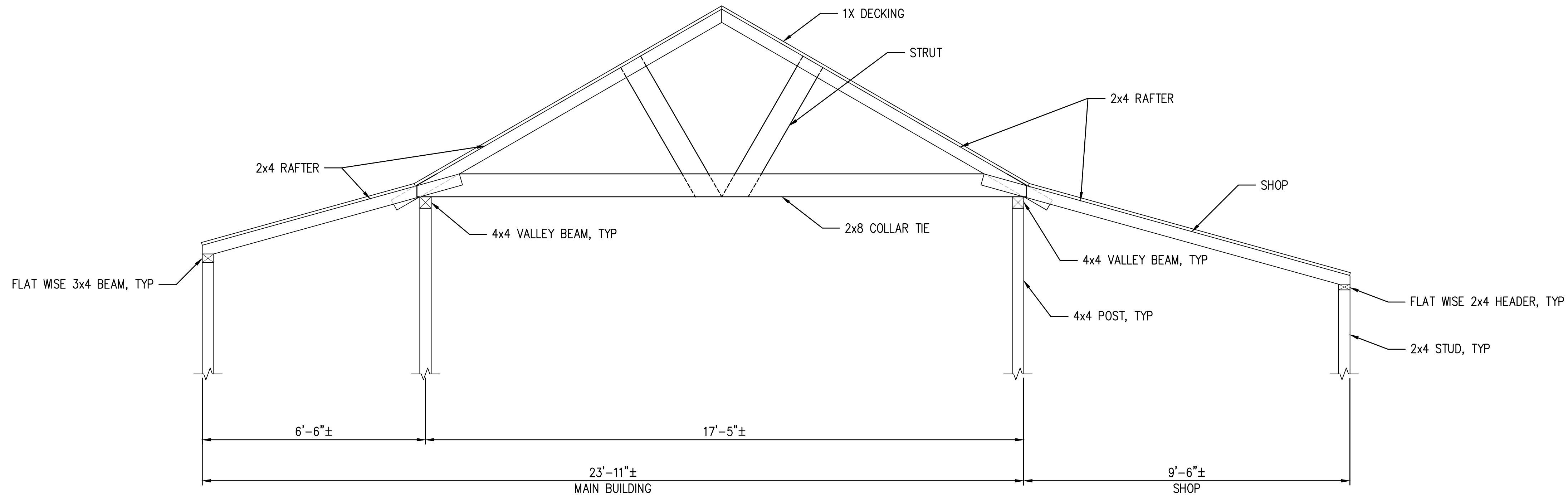
NO.	DATE	BY	REVISION



**SKANSIE NET SHED
GIG HARBOR, WA**

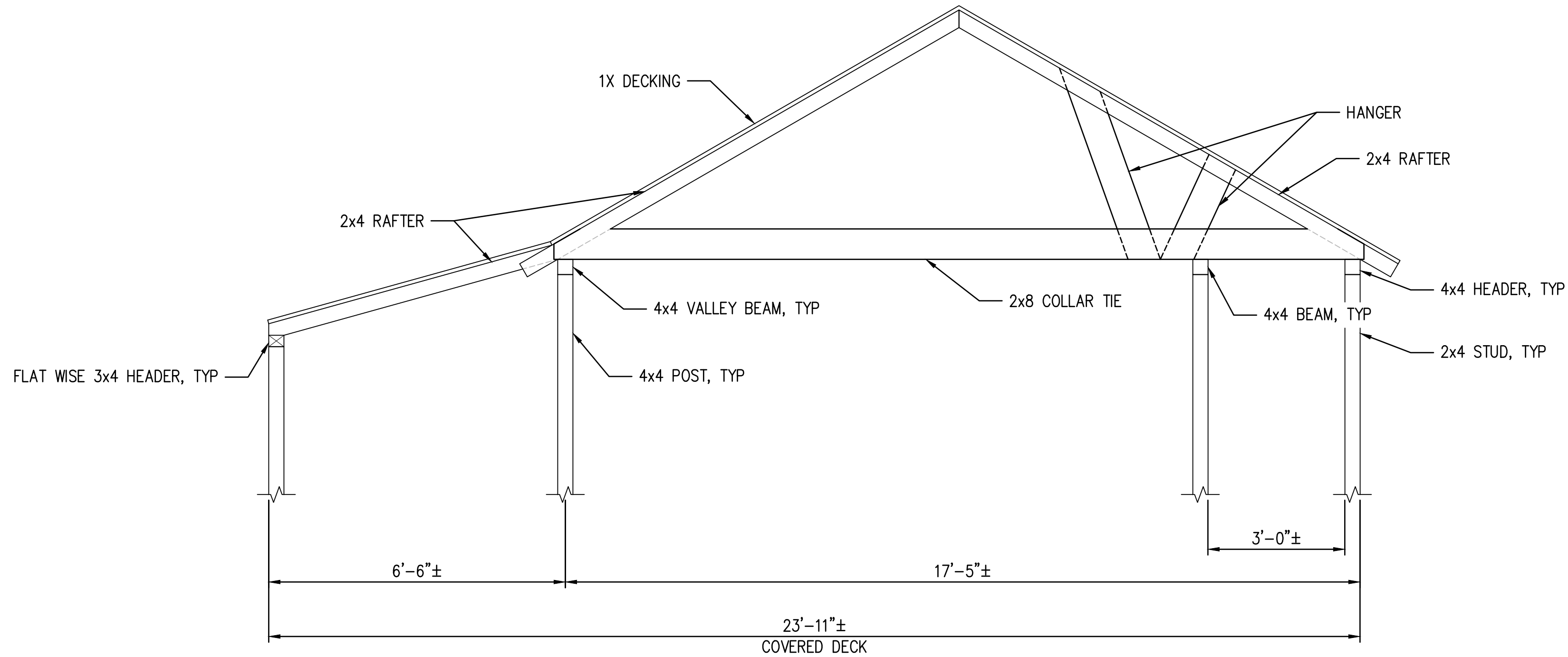
EXISTING SECTIONS

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DESIGN: DGF	SCALE: AS SHOWN
CHECKED: IDF	DATE: 04/28/2023
DRAWING NO.	D2
SHEET NO.	09 OF 15



A SECTION
D1 SCALE: 1/2" = 1'-0"

NOTE:
ALL DIMENSIONS TO BE FIELD VERIFIED

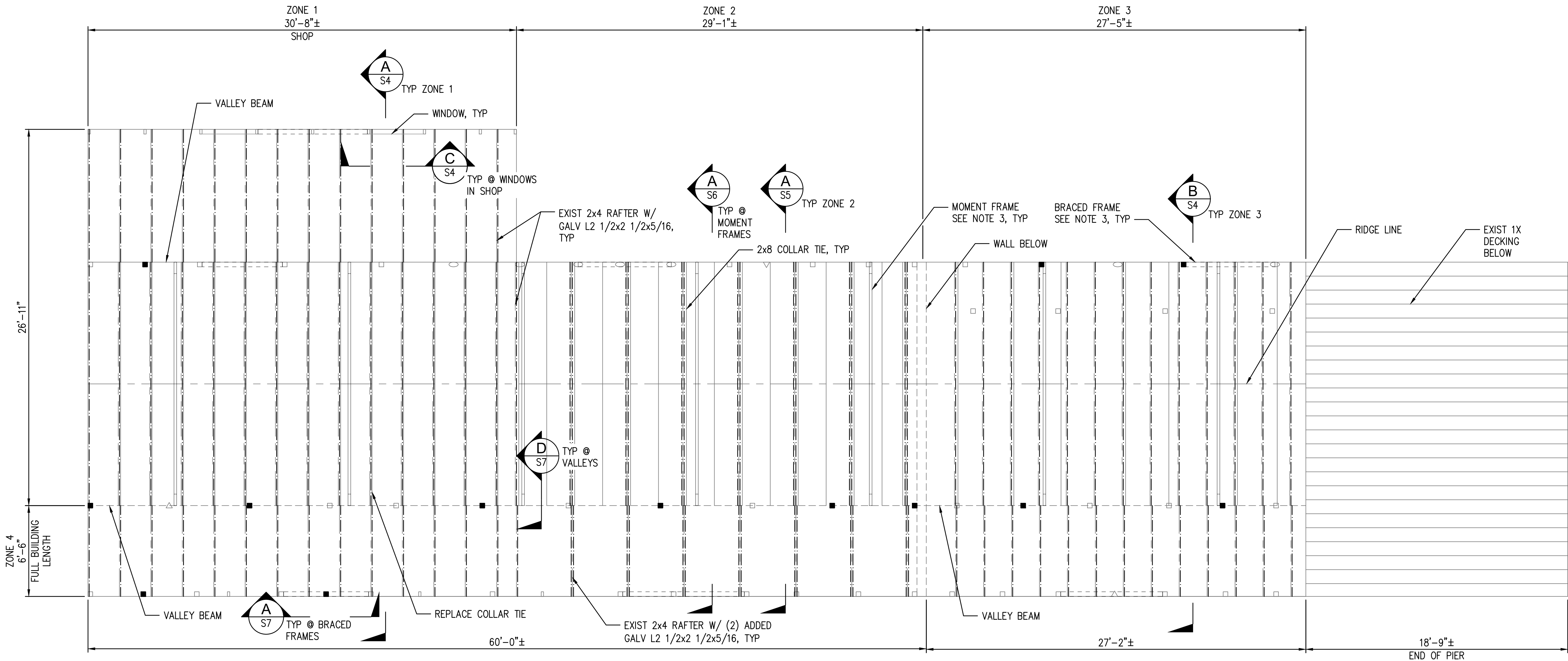


B SECTION
D1 SCALE: 1/2" = 1'-0"

NOTE:
ALL DIMENSIONS TO BE FIELD VERIFIED

SUBMITTAL

Plotted: May 01, 2023 - 10:42am
N:\2022\2200052 Skansie Net Shed Repairs\KPF Design\Drawings\Current\04_S2-PROPOSED PLAN.dwg



LEGEND:

- | | | | |
|-------|---------------------------|-----------|--------------|
| □ | EXIST 2x4 STUD | — xxx — | RAFTER |
| △ | EXIST 3 1/2"x4" POST | — — — | MOMENT FRAME |
| □ | EXIST 4"x4" POST | - - - - - | BRACED FRAME |
| ○ | EXIST 4"x6" POST | | |
| ■ | PROP 4x4 POST, SEE NOTE 2 | | |
| — | EXIST COLLAR TIE | | |
| · · · | PROP GALV STEEL ANGLE | | |

ROOF FRAMING PLAN

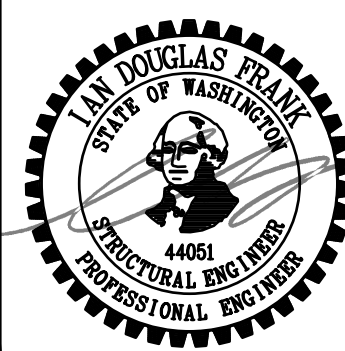
SCALE: 1/4" = 1'-0"

NOTES

- ALL DIMENSIONS TO BE FIELD VERIFIED.
- VIF POST LANDS ON BUILT UP FLOOR MEMBER BELOW. SEE PHOTO ON S1.03. 4x4 POSTS SHALL BE LOCATED MIDWAY BETWEEN ADJACENT EXIST POSTS, TYP.
- SEE SHEET S3 FOR PROPOSED KEY PLAN THAT PROVIDES DETAILS ON THE QUANTITY AND LOCATIONS OF MOMENT AND BRACED FRAMES WITHIN THE BUILDING.
- REPLACE COLLAR TIE IN KIND.

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NO.	DATE	BY	REVISION

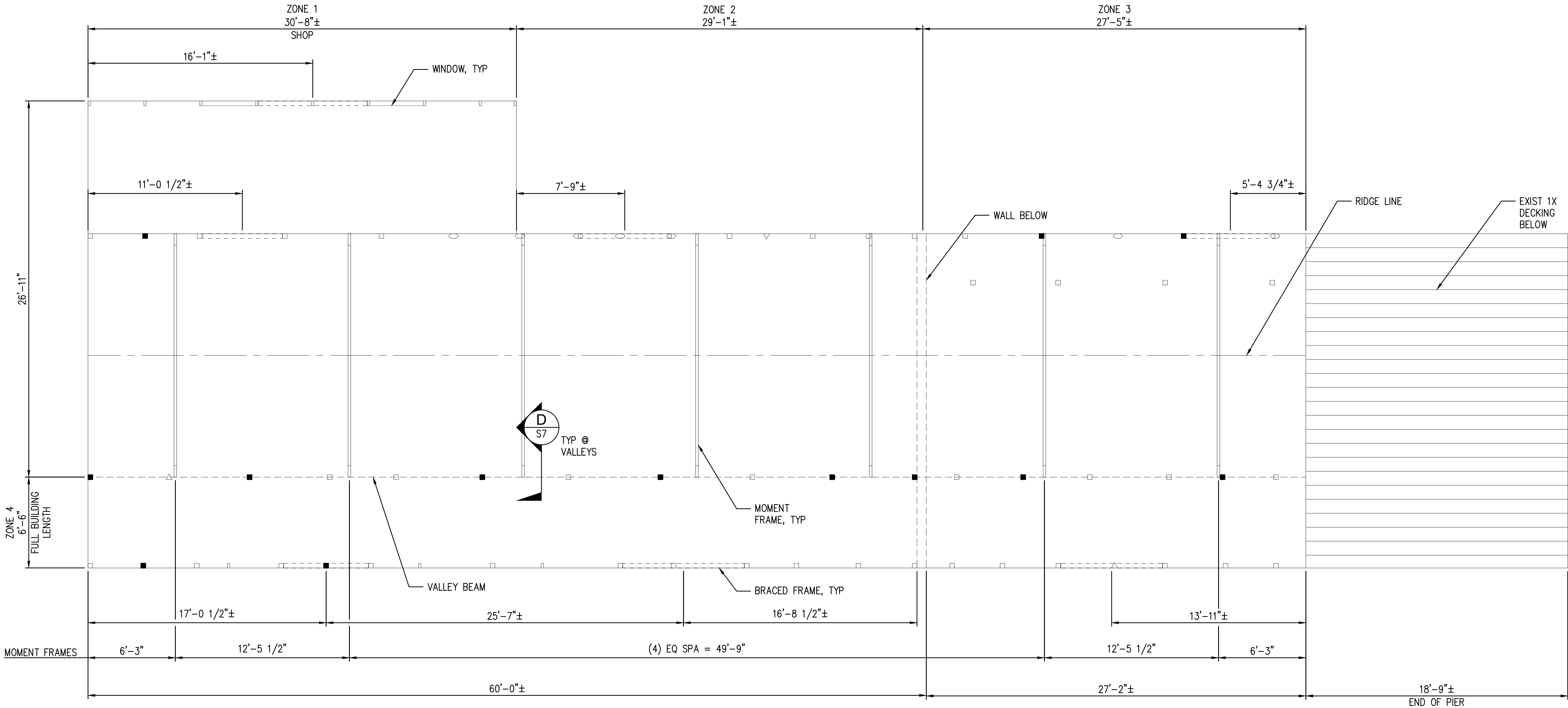
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GIG HARBOR, WA

ROOF FRAMING PLAN

DRAWN: TRL	PROJECT NO.: 2200052
DESIGN: DGF	SCALE: AS SHOWN
CHECKED: IDF	DATE: 04/28/2023
DRAWING NO.	S2
SHEET NO.	10 OF 15

SUBMITTAL

Plotted: May 01, 2023 - 10:44am dfeiton Layout: 04_S3-PROPOSED KEY PLAN
N:\2022\2200052 Skansie Net Shed Repairs\KPF Design\Drawings\Current\04_S3-PROPOSED KEY PLAN.dwg



MOMENT AND BRACED FRAME PLAN
SCALE: 1/4" = 1'-0"

LEGEND:

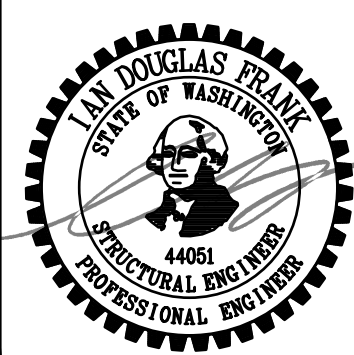
- EXIST 2x4 STUD
- EXIST 3 1/2"x4" POST
- EXIST 4"x4" POST
- EXIST 4"x6" POST
- PROP 4X4 POST, SEE NOTE 2
- MOMENT FRAME
- BRACED FRAME

NOTES

- ALL DIMENSIONS TO BE FIELD VERIFIED.
- KEY PLAN SHOWS THE QUANTITY OF MOMENT AND BRACED FRAMES AS WELL AS THE PROPOSED INSTALL LOCATION.

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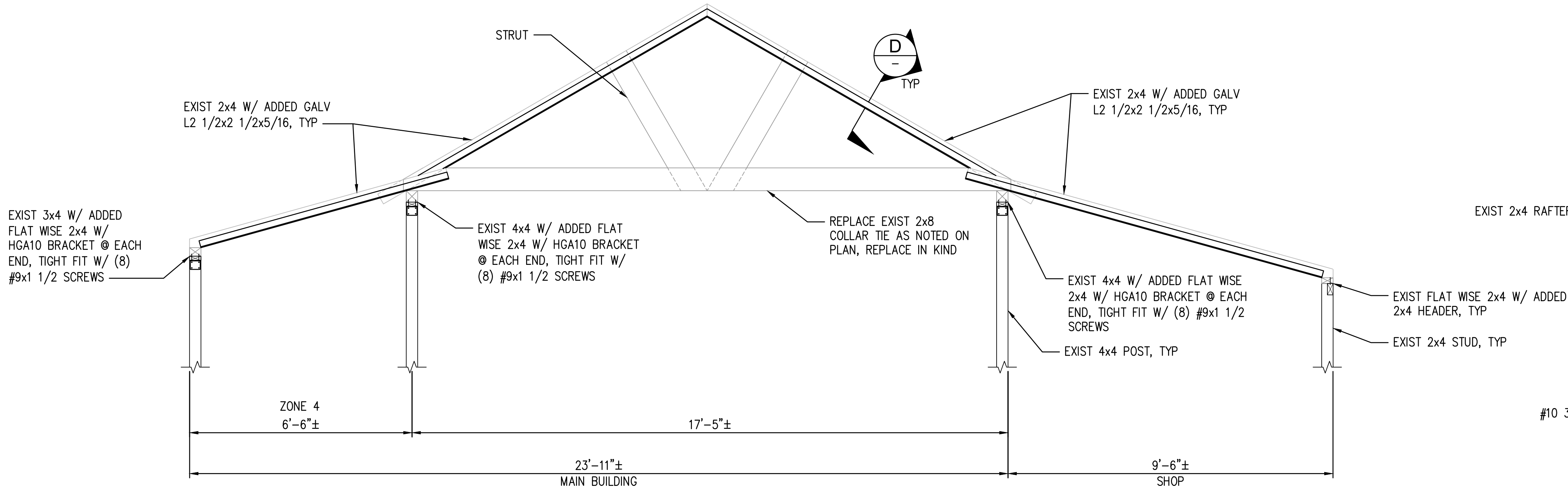
SKANSIE NET SHED
GIG HARBOR, WA

MOMENT AND BRACED FRAME PLAN

DRAWN: TRL	PROJECT NO.: 2200052
DESIGN: DGF	SCALE: AS SHOWN
CHECKED: IDF	DATE: 04/28/2023
DRAWING NO.	S3
SHEET NO.	11 OF 15

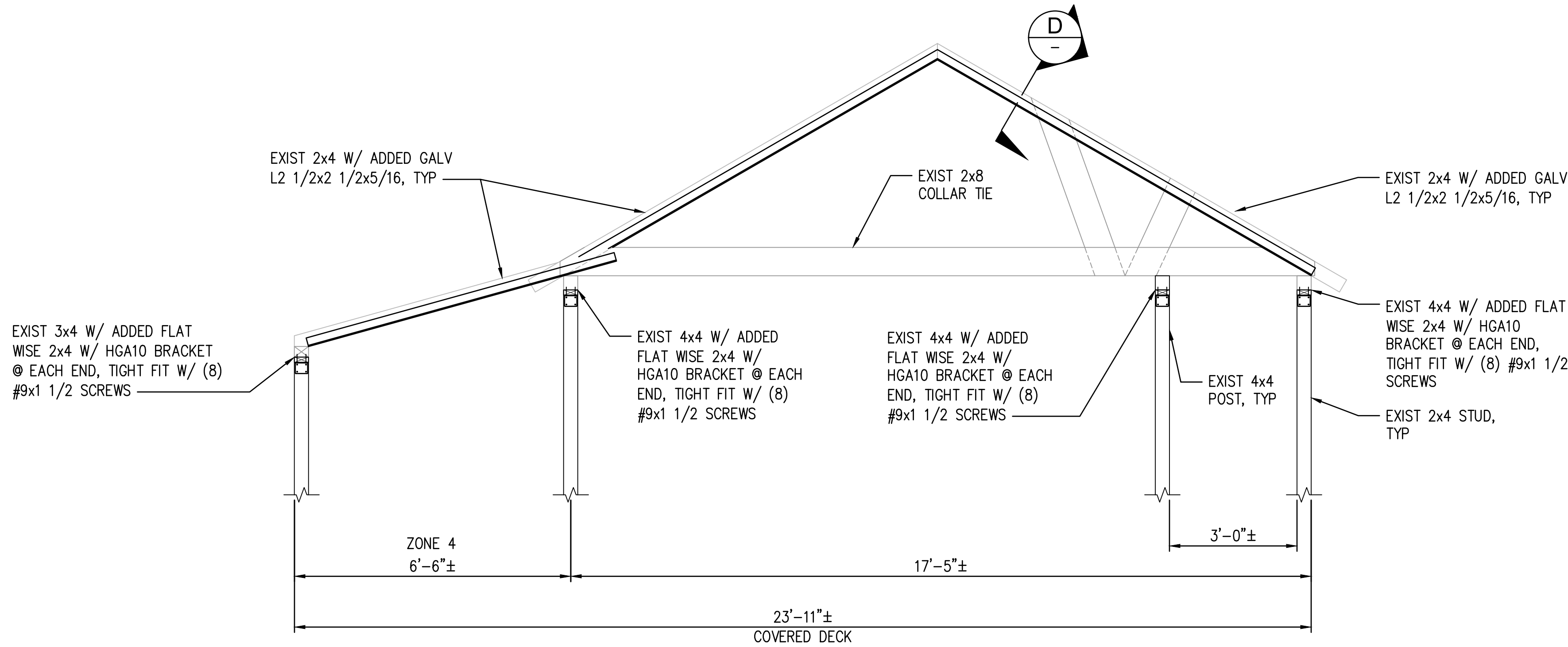
SUBMITTAL

Plotted: Apr 28, 2023 - 3:36pm
N: \\2022\\2200052 Skansie Net Shed Repairs\\Current\\04_S4-PROPOSED SECTIONS.dwg
Layout: 04_S4-PROPOSED SECTIONS



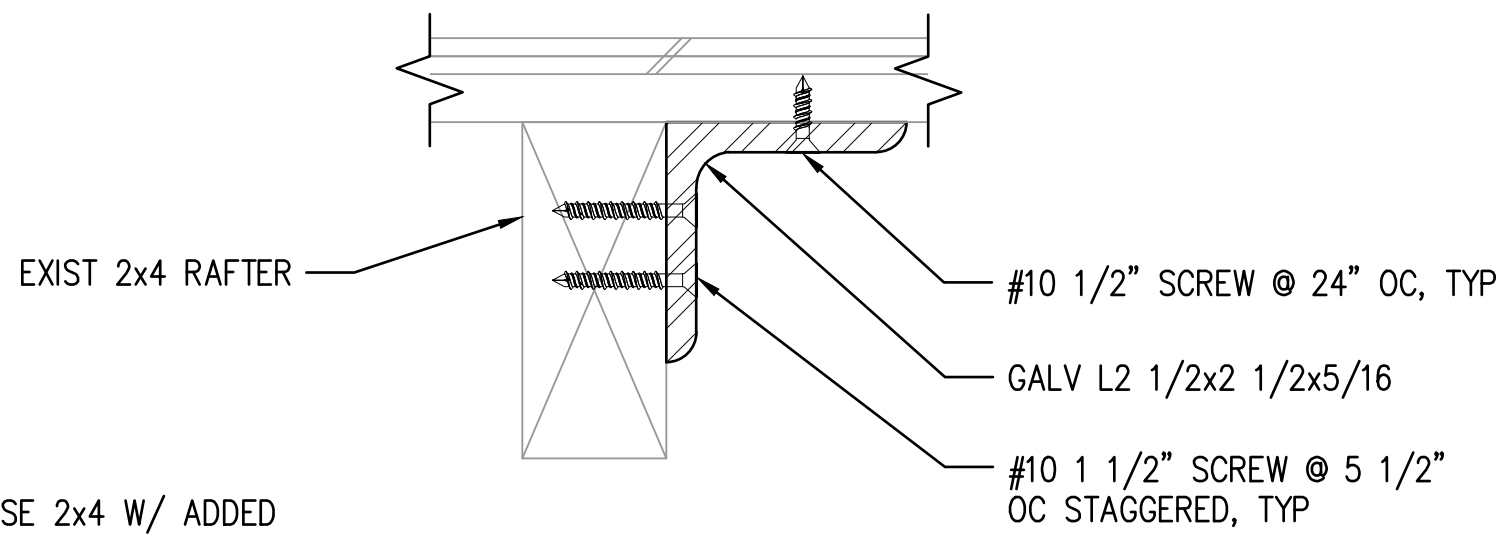
A SECTION
S2 SCALE: 1/2" = 1'-0"
ZONE 1

NOTE:
ALL DIMENSIONS TO BE FIELD VERIFIED

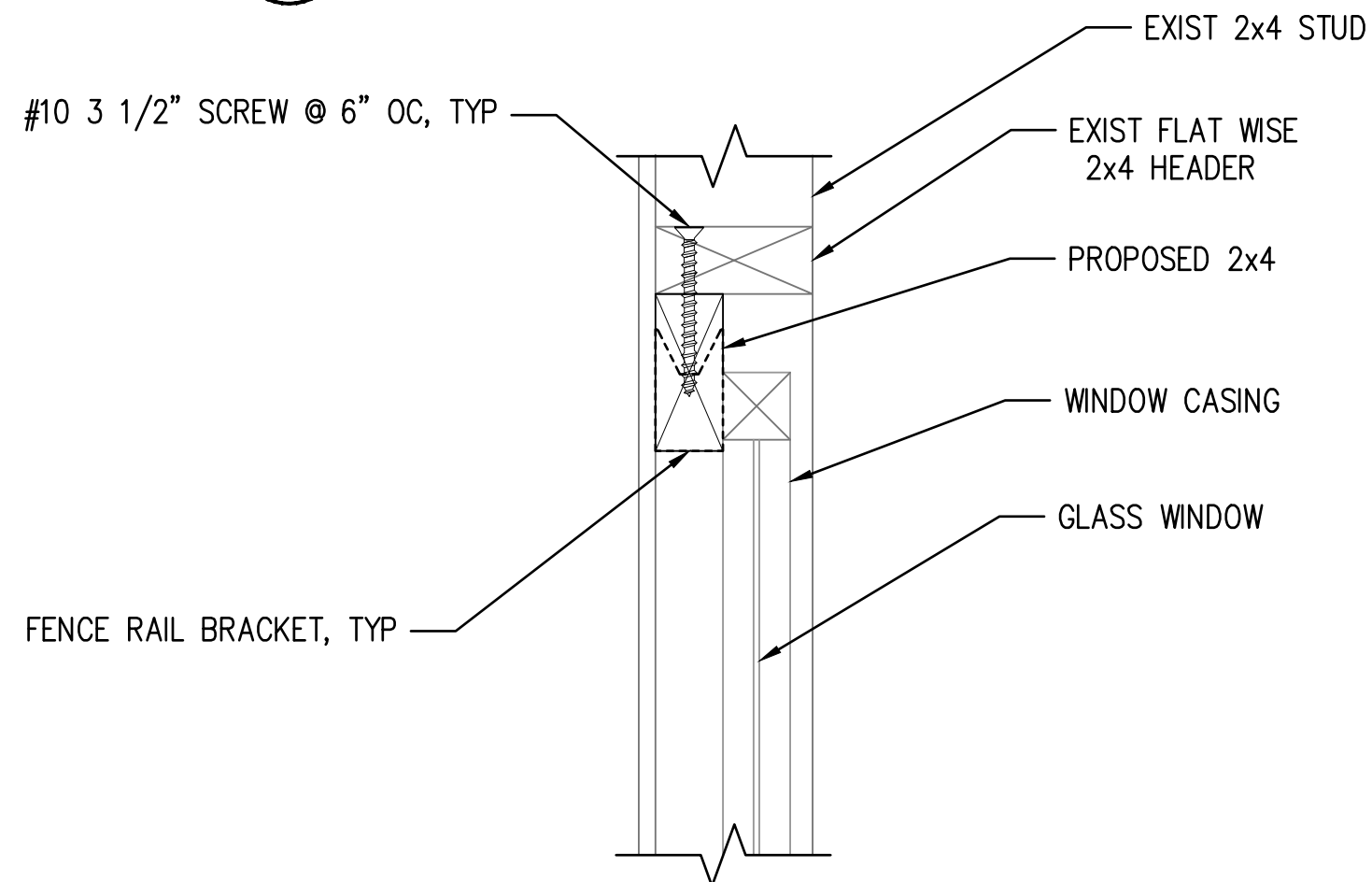


B SECTION
S2 SCALE: 1/2" = 1'-0"
ZONE 3

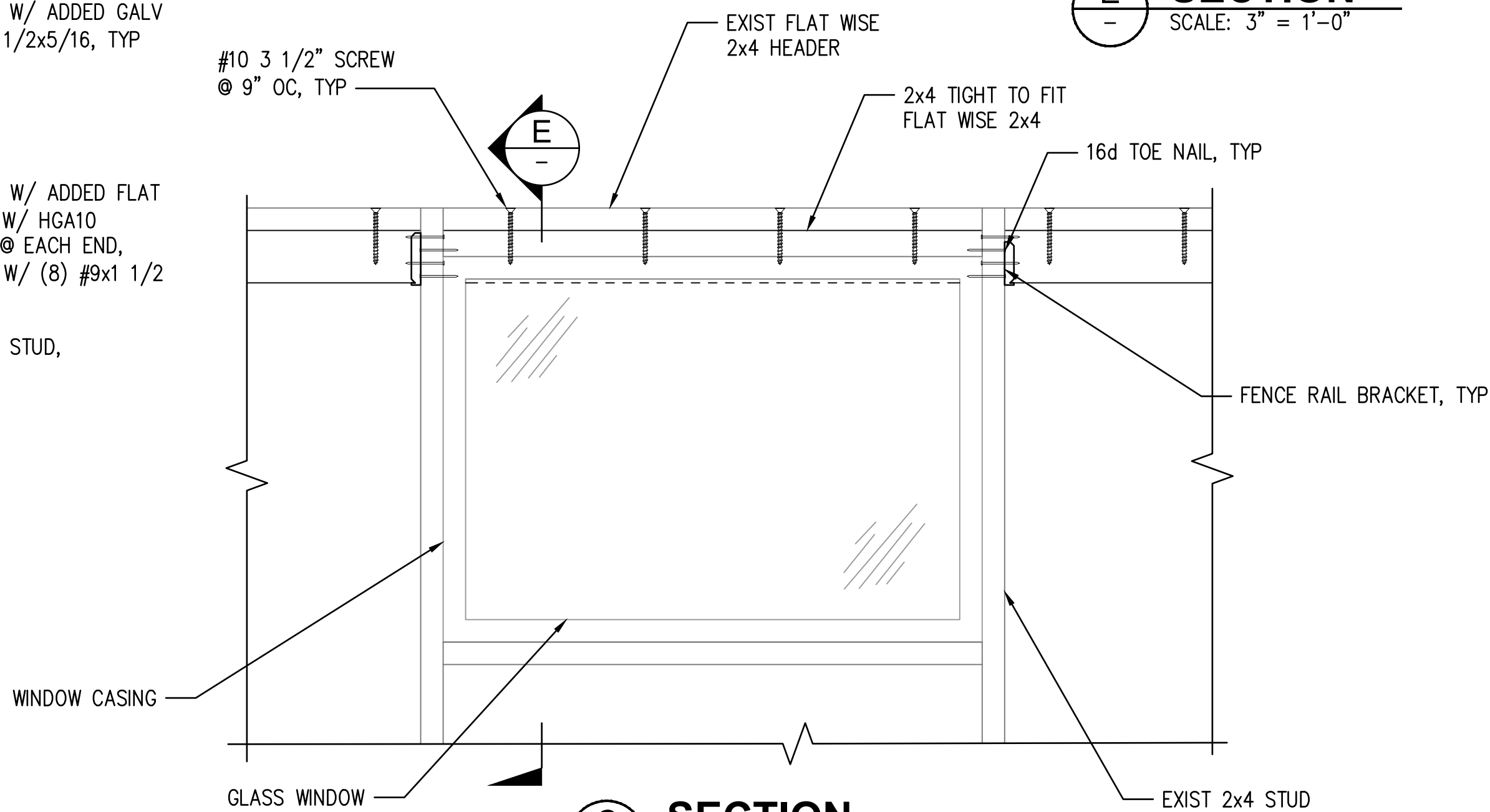
NOTE:
ALL DIMENSIONS TO BE FIELD VERIFIED



D SECTION
SCALE: 3" = 1'-0"



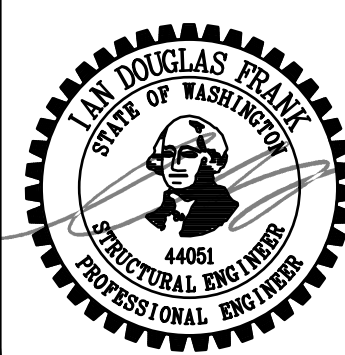
E SECTION
SCALE: 3" = 1'-0"



C SECTION
S2 SCALE: 1/2" = 1'-0"

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NO.	DATE	BY	REVISION

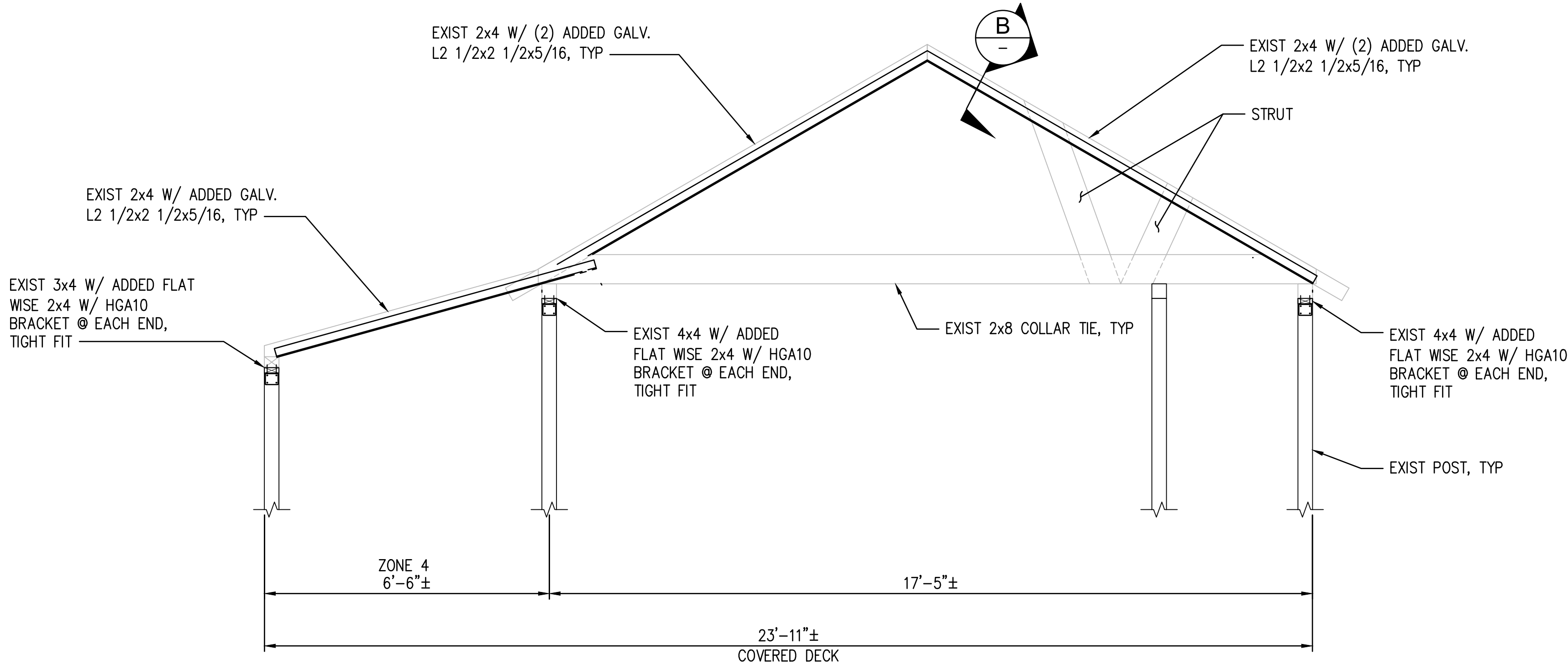
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GIG HARBOR, WA

SECTIONS

DRAWN: TRL	PROJECT NO.: 2200052
DESIGN: DGF	SCALE: AS SHOWN
CHECKED: IDF	DATE: 04/28/2023
DRAWING NO.	S4
SHEET NO.	12 OF 15

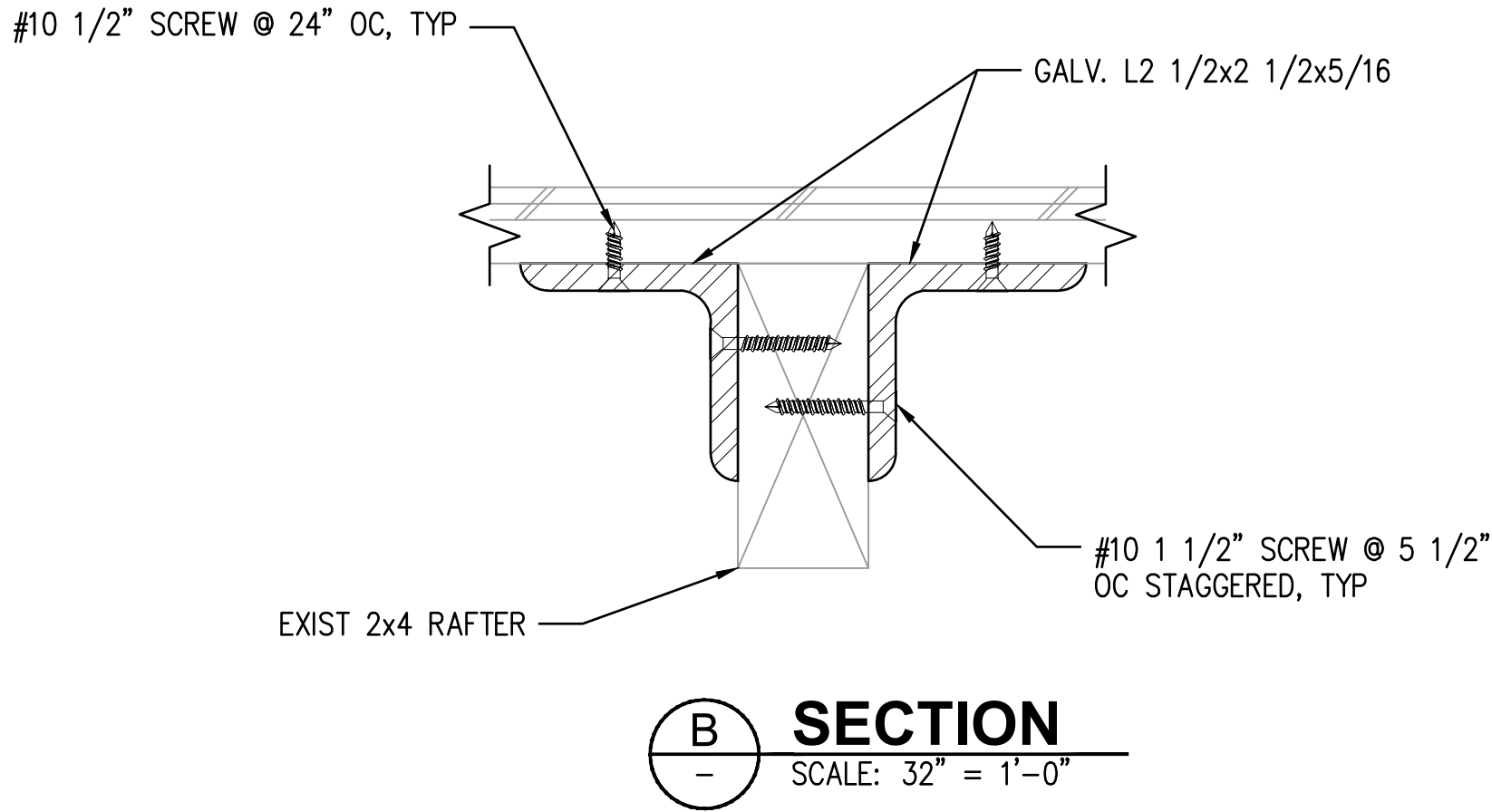
SUBMITTAL

Plotted: Apr 28, 2023 - 3:36pm
N:\2022\2200052 Skansie Net Shed Repairs\Current\04_S5-PROPOSED SECTIONS.dwg



A
S2
SECTION
SCALE: 1/2" = 1'-0"
ZONE 2

NOTE:
ALL DIMENSIONS TO BE FIELD VERIFIED

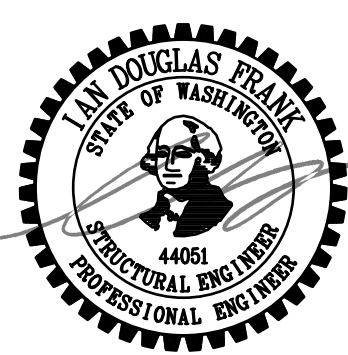


CONTRACTOR TO VERIFY
PROPOSED 4x4 POSTS
ALIGN W/ EXIST FLOOR
FRAMING, ON (1) BUILT UP
MEMBER, TYP

PHOTO - BUILT UP MEMBER
SCALE: NTS

kpff

2407 North 31st Street, Suite 100
Tacoma, Washington 98407
(253) 396-0150 Fax (253) 396-0162



NO.	DATE	BY	REVISION



SKANSIE NET SHED
GIG HARBOR, WA

SECTIONS

DRAWN: TRL	PROJECT NO.: 2200052
DESIGN: DGF	SCALE: AS SHOWN
CHECKED: IDF	DATE: 04/28/2023
DRAWING NO.	S5
SHEET NO.	13 OF 15

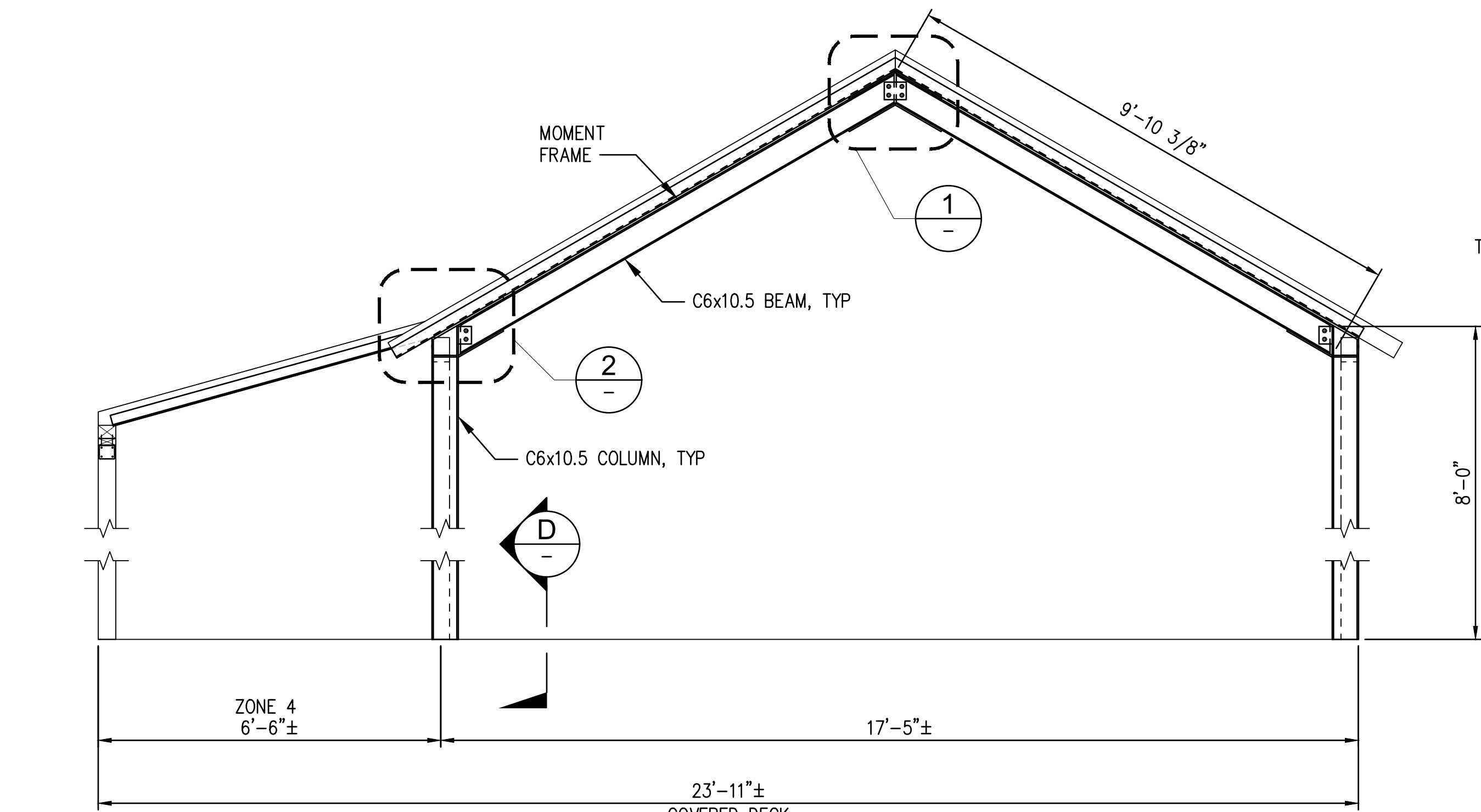
SUBMITTAL

Plotted: Apr 28, 2023 - 3:36pm
N: 2022-2200052 Skansie Net Shed Repairs (Drawings) Current\04_S6-PROPOSED SECTIONS.dwg

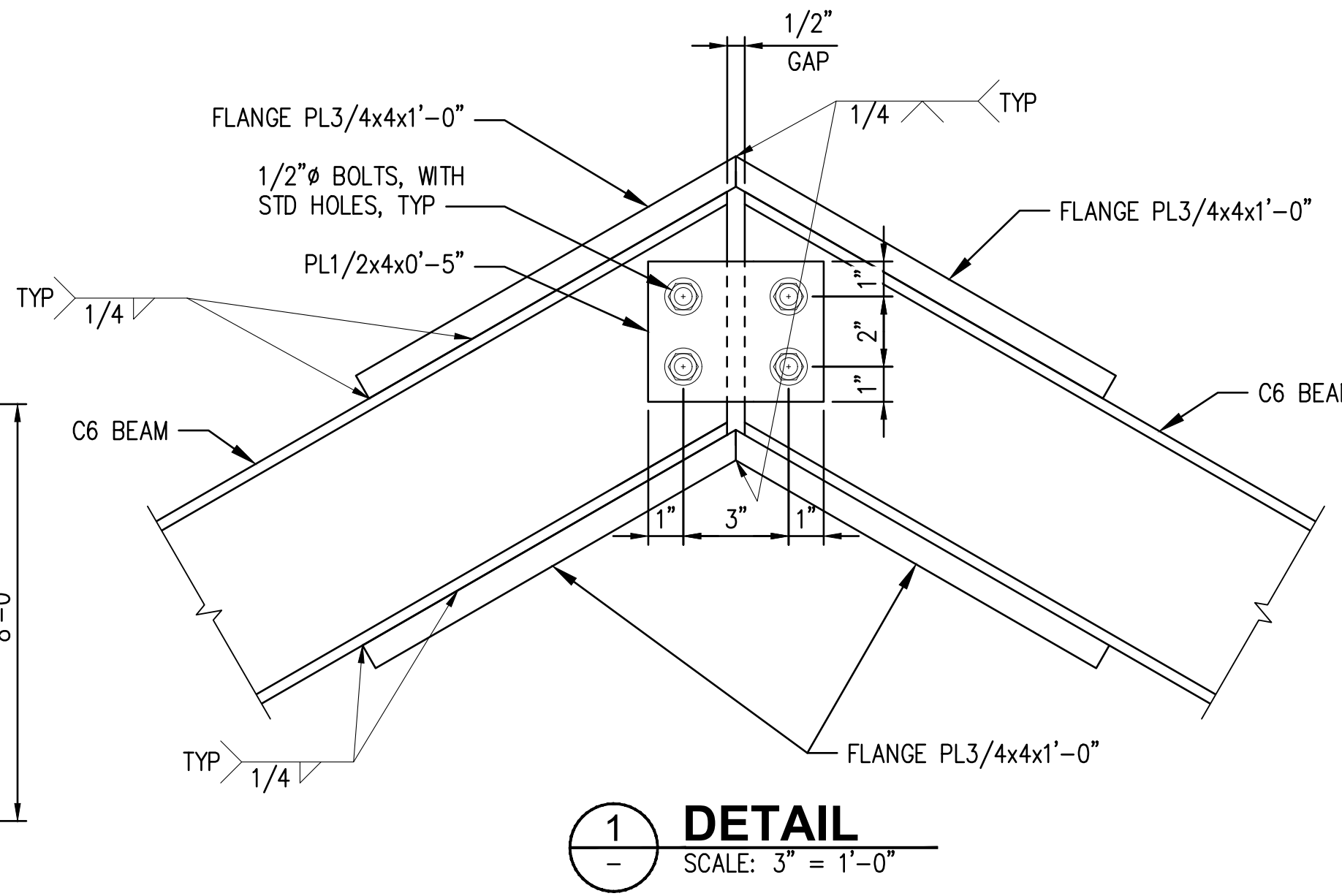
Layout: 04_S6-PROPOSED SECTIONS

dfeilon

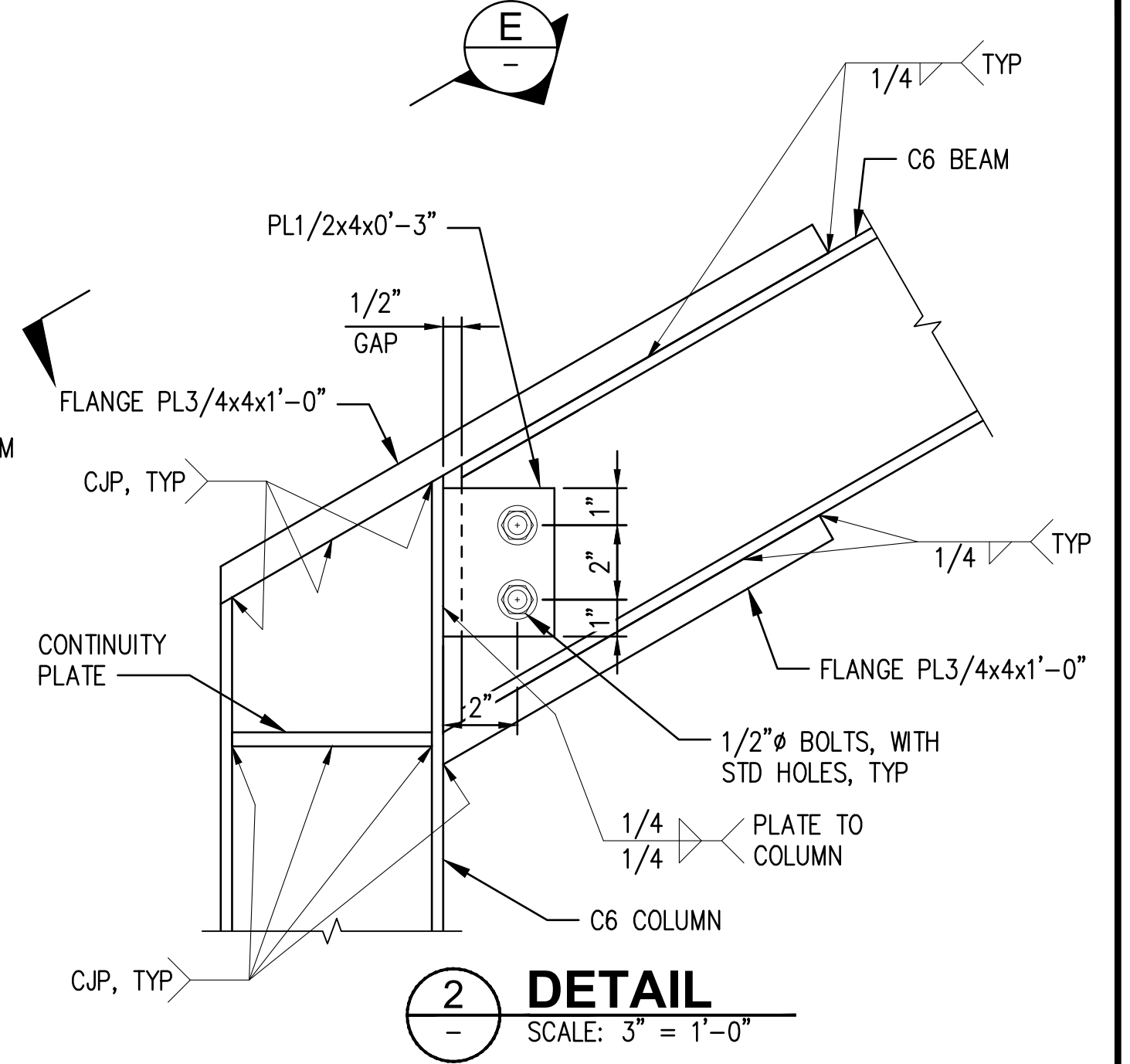
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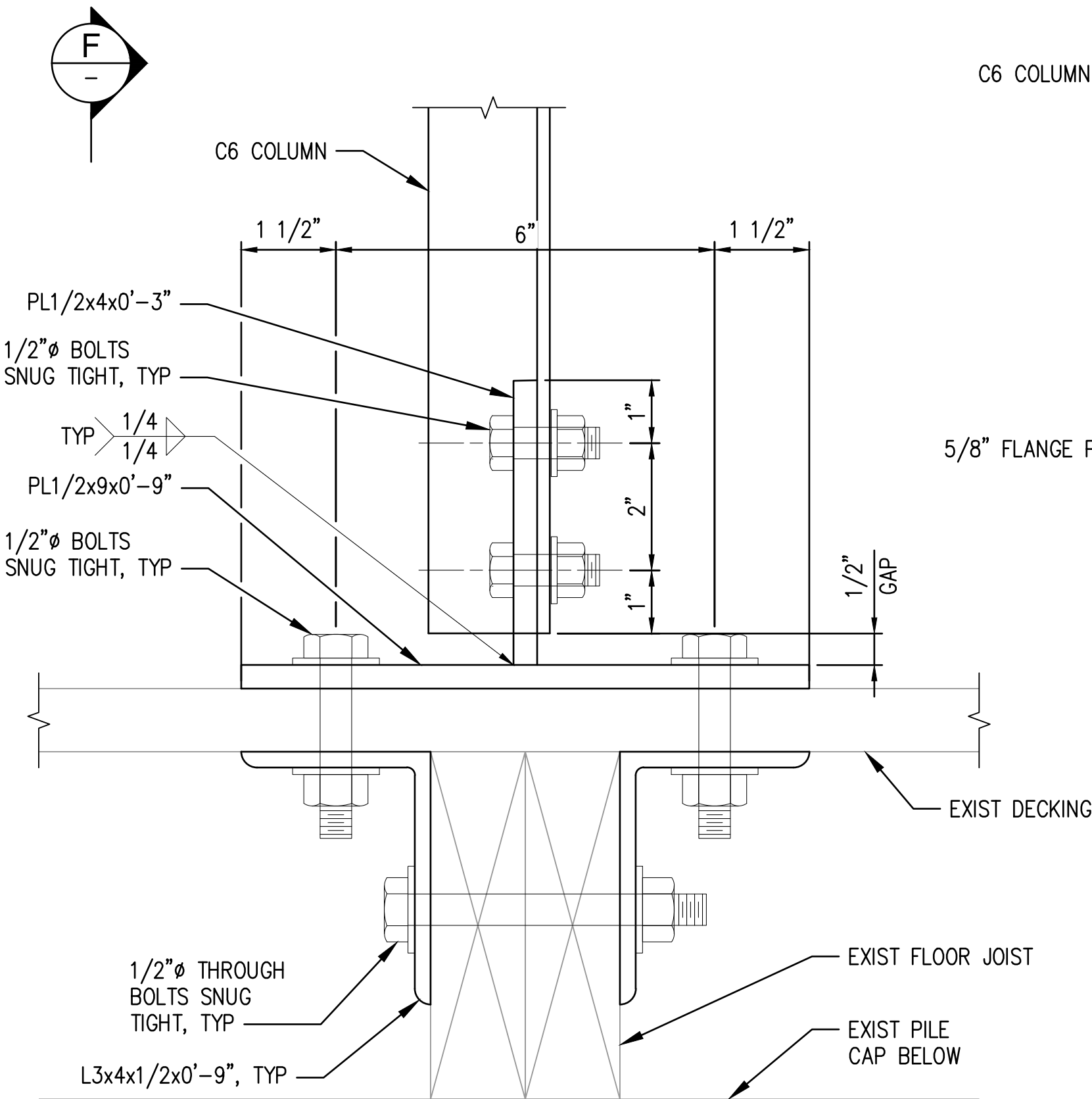
A SECTION
SCALE: 1/2" = 1'-0"



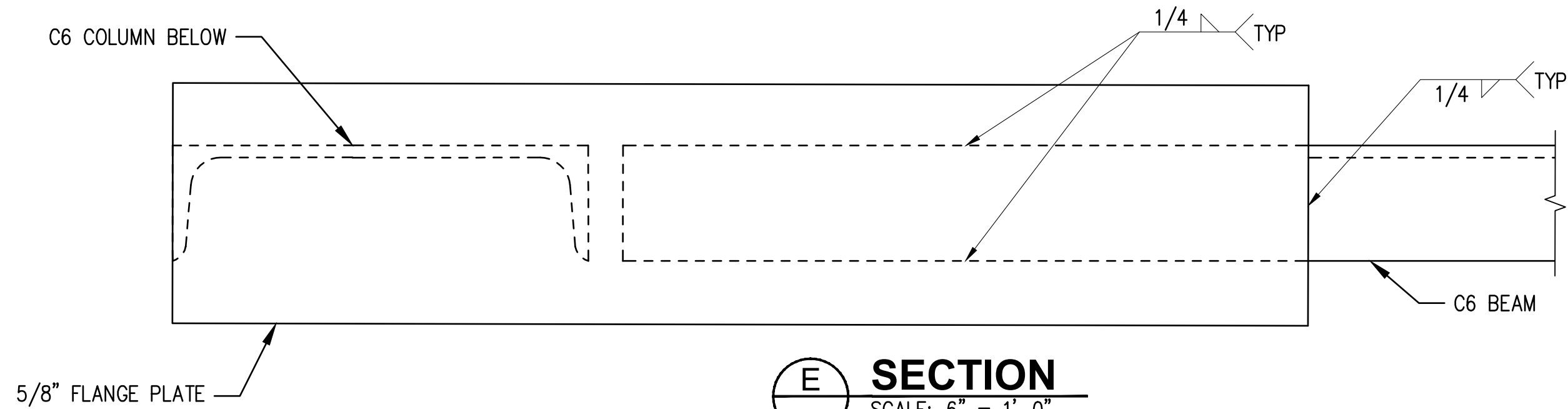
1 DETAIL
SCALE: 3" = 1'-0"



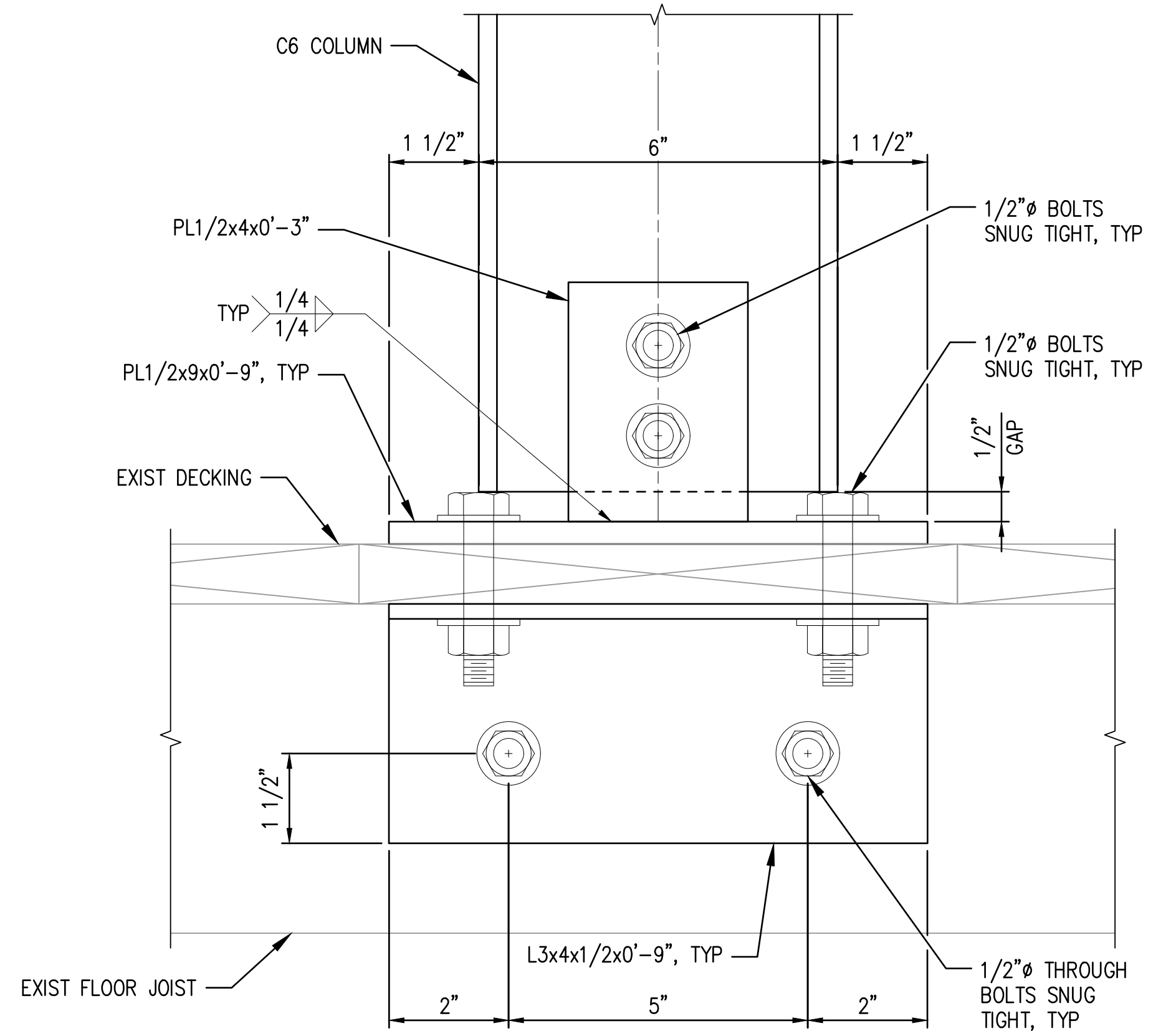
2 DETAIL
SCALE: 3" = 1'-0"



D SECTION
SCALE: 6" = 1'-0"



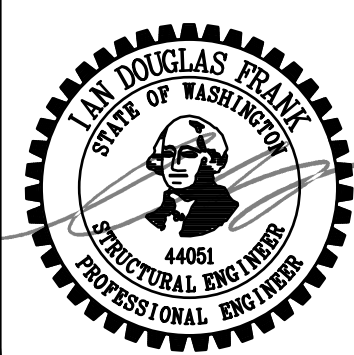
E SECTION
SCALE: 6" = 1'-0"



F SECTION
SCALE: 6" = 1'-0"

kpff

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NO.	DATE	BY	REVISION

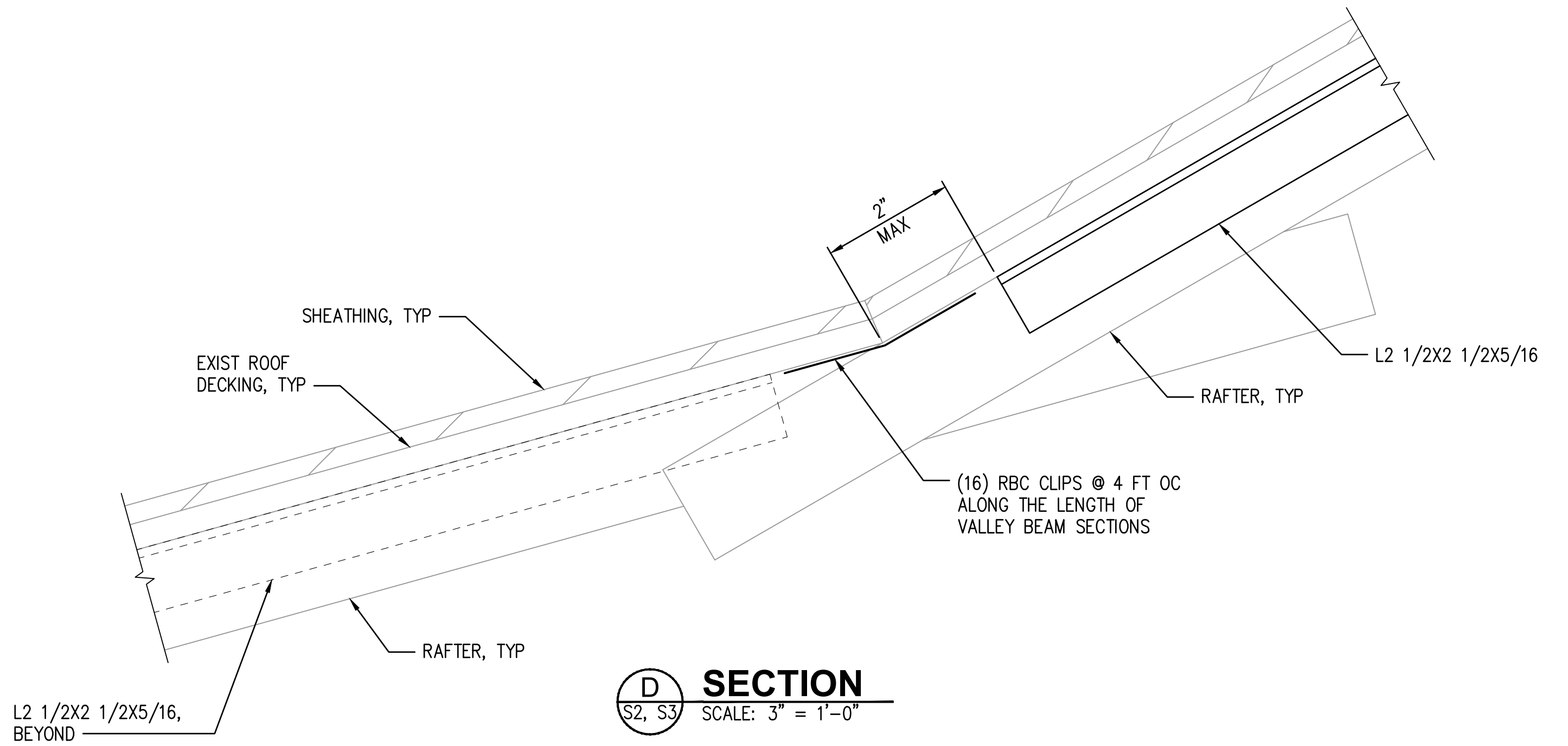
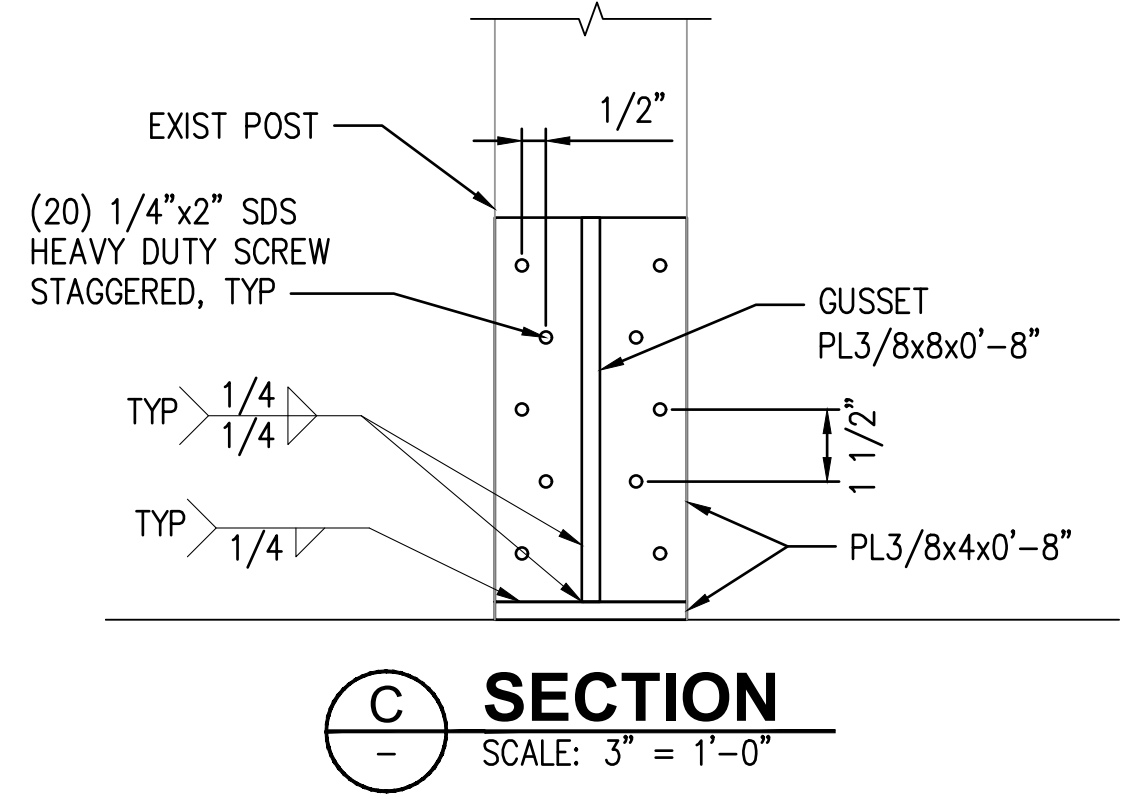
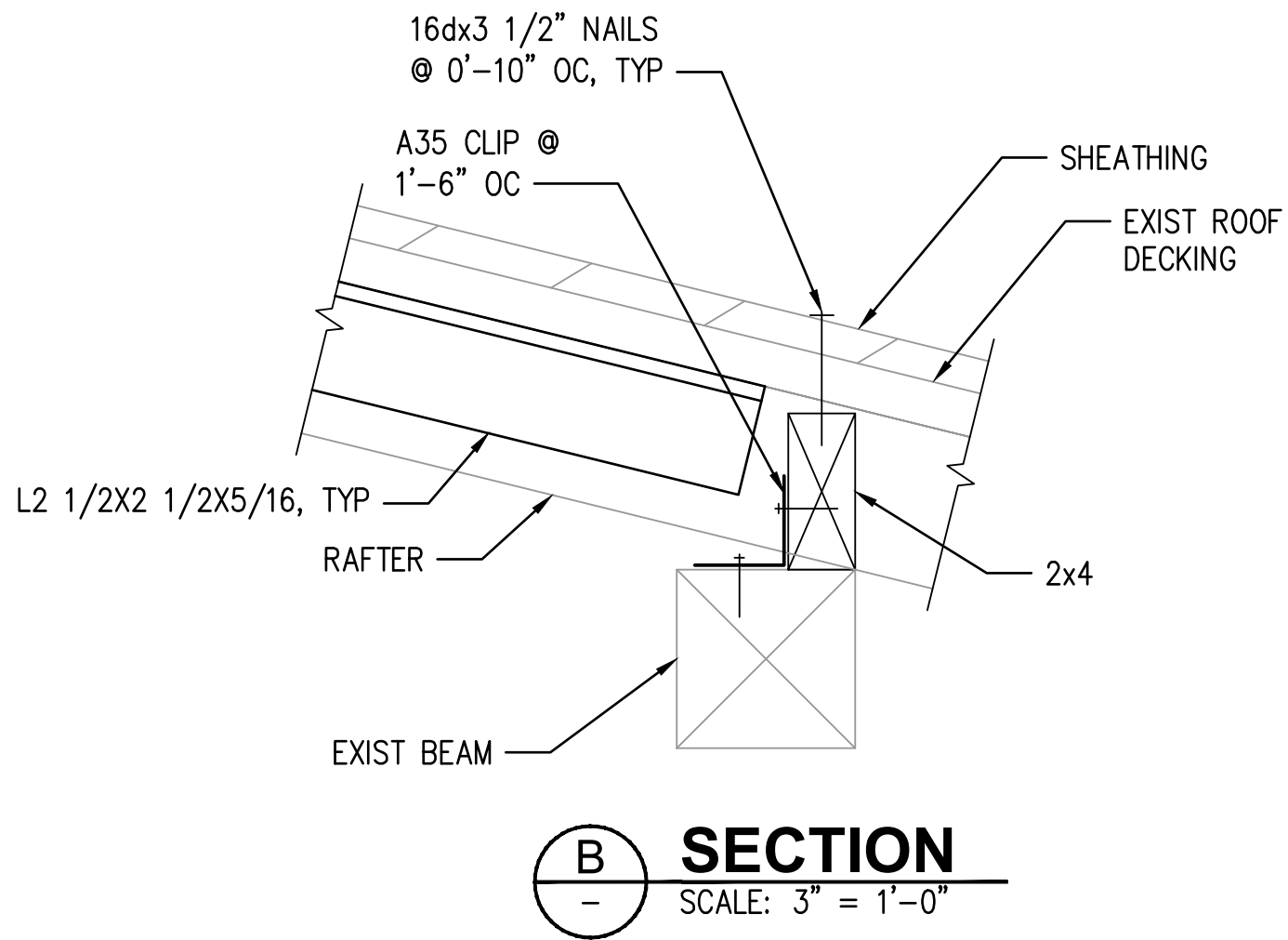
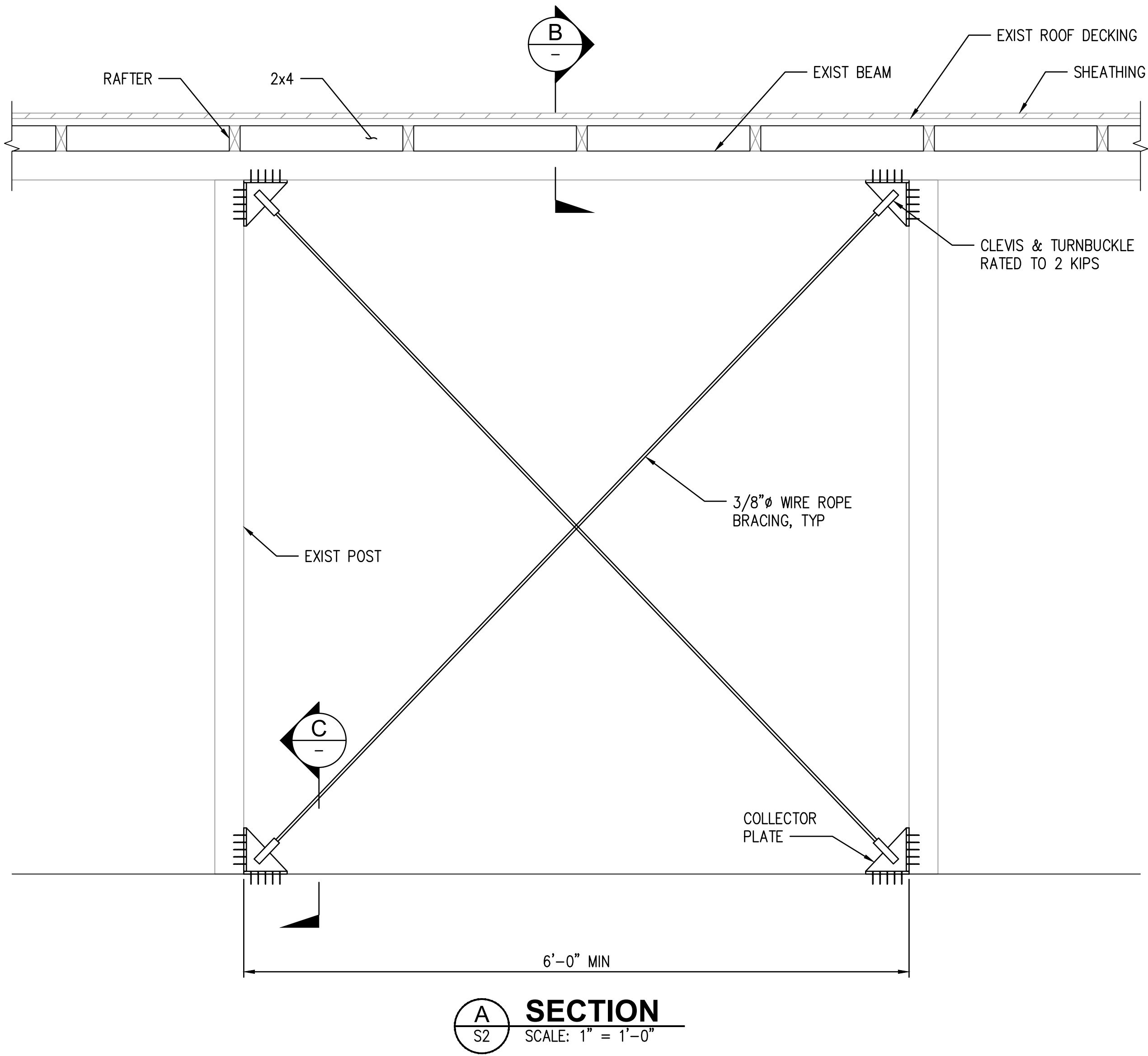
SKANSIE NET SHED
GIG HARBOR, WA

SECTIONS

DRAWN: TRL	PROJECT NO.: 2200052
DESIGN: DGF	SCALE: AS SHOWN
CHECKED: IDF	DATE: 04/28/2023
DRAWING NO.	S6
SHEET NO.	14 OF 15

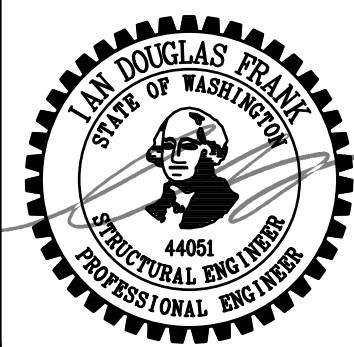
SUBMITTAL

Plotted: Apr 28, 2023 - 3:36pm
N: \\2022\\2200052 Skansie Net Shed Repairs\\Current\\KPFF Design\\Drawings\\Current\\04_S7-PROPOSED SECTIONS.dwg



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NO.	DATE	BY	REVISION

SKANSIE NET SHED
GIG HARBOR, WA

SECTIONS

DRAWN: TRL	PROJECT NO.: 2200052
DESIGN: DGF	SCALE: AS SHOWN
CHECKED: IDF	DATE: 04/28/2023
DRAWING NO.	S7
SHEET NO.	15 OF 15

SUBMITTAL

RECEIVED

By C. ANDREWS at 1:55 pm, May 09, 2023



RECEIVED

By C. ANDREWS at 1:55 pm, May 09, 2023



RECEIVED

By C. ANDREWS at 1:54 pm, May 09, 2023



RESOLUTION NO. 859

A RESOLUTION OF THE CITY OF GIG HARBOR, WASHINGTON, RELATING TO HISTORIC PRESERVATION, DESIGNATING SKANSIE BROTHER PARK FOR INCLUSION IN THE CITY'S REGISTER OF HISTORIC PLACES, IMPOSING CONTROLS UPON SKANISIE BROTHERS PARK, UNDER CHAPTER 17.97 OF THE GIG HARBOR MUNICIPAL CODE.

WHEREAS, the City of Gig Harbor is the owner of record of the historic site known as Skansie Brothers Park located at 3207 Harborview Drive in Gig Harbor, Washington, ASSESSOR'S PARCEL NUMBER 0221082232; and

WHEREAS, on February 23, 2011, the City of Gig Harbor requested that the property be added to the City's Register of Historic Places; and

WHEREAS the Historic Preservation Code, Chapter 17.97 of the Gig Harbor Municipal Code, establishes a procedure for the designation and preservation of structures, objects and areas having historical, cultural, architectural, archaeological engineering or geographic importance; and

WHEREAS, pursuant to GHMC Section 17.97.040(B)(3), the Design Review Board of the City, after a public meeting on March 24, 2011, voted to recommend approval of the nomination of the Skansie Netshed and House located on the property described below as a historic district, has transmitted its decision to the City Council for consideration, and has recommended that the same be approved by the City Council; and

WHEREAS it appears that the structures located on the property are an outstanding example of the City's cultural, artistic, social, architectural, and historic heritage; and

WHEREAS such designation would safeguard the heritage of the City as represented by those structures which reflect significant elements of the city's history to foster civic and neighborhood pride in the beauty and accomplishments of the past; provide a sense of identity based on the city's history; stabilize and improve the aesthetic and economic viability of the site; enhance the City's attraction of tourists and visitors; and promote the use of the historic buildings for education and cultural stimulation; and

WHEREAS, The U.S. Department of the Interior defines "District" as a significant concentration, linkage, or continuity of sites, buildings, structures, or objects united historically or aesthetically by plan or physical development; and

WHEREAS, based upon said findings, the City Council believes that it would be in the best interest of the City to so designate the property described below as the Skansie Netshed & House Historic District and place it on the Gig Harbor Register of Historic Places;

NOW THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF GIG HARBOR:

Section 1. Designation. Pursuant to the provisions of Chapter 17.97 of the Gig Harbor Municipal Code, the Council of the City of Gig Harbor hereby approves the designation of the following property as a historic place and places said property on the Gig Harbor Register of Historic Places:

SKANSIE NETSHED AND HOUSE HISTORIC DISTRICT

The real property is located at 3207 Harborview Drive, Gig Harbor, Washington 98335, Assessor Parcel Number 0221082232 shown on attached Exhibit "A",

and legally described as:

Section 08 Township 21 Range 02 Quarter 21 PARCEL A DBLR 2004-06-02-5005 DESC AS FOLL COM AT NW COR SEC 8 TH S 88 DEG 18 MIN 20 SEC E ALG NLY LI SD SEC 1797.63 FT TO INTER OF ROSEDALE ST NW & HARBORVIEW DR NW TH S 88 DEG 18 MIN 46 SEC E 35.31 FT TO ELY R/W & POB TH N 30 DEG 08 MIN 34 SEC W 20.70 FT TH N 28 DEG 30 MIN 24 SEC W 12.52 FT TH N 37 DEG 22 MIN 14 SEC E 176.57 FT TH S 52 DEG 37 MIN 46 SEC E 60 FT TH S 37 DEG 22 MIN 14 SEC W 59.5 FT TO GOVT ML TH S 33 DEG 38 MIN 46 SEC E 108.49 FT TO MEANDER COR BET SECS 8 & 5 TH S 68 DEG 56 MIN 21 SEC E 149.27 FT TH S 34 DEG 03 MIN 39 SEC W 257.22 FT TH N 30 DEG 08 MIN 34 SEC W 313.96 FT TO POB TOG/W 2ND CL TDLDS ABUTT COMB OF 2-020, 2-019, 02-21-05-3120 & 765000-011-0 SEG 2005-1190BL 01-26-05BL

Situate in the City of Gig Harbor, County of Pierce, State of Washington; based upon satisfaction of the following standards of GHMC 17.97.040, the property:

1. Is associated with events that have made a significant contribution to the broad patterns of national, state or local history;
2. Embodies the distinctive architectural characteristics of a type, period, style, or method of design or construction, or represents a significant and distinguishable entity whose components may lack individual distinction;
3. Exemplifies or reflects special elements of the city's cultural, special, economic, political, aesthetic, engineering, or architectural history.
4. Is associated with the lives of persons significant in national, state or local history.
5. Is a creative and unique example of folk architecture and design created by persons not formally trained in the architectural or design professions, and which does not fit into formal architectural or historical categories.

Section 2. Historic Registry (HR). The Planning Director is hereby instructed to effectuate the necessary changes to the Zoning Map of the City in accordance with the zoning established by this section. See Exhibit "B", Gig Harbor HR Designations Zoning Map.

Section 3. Controls. A Certificate of Appropriateness must be obtained from the Design Review Board pursuant to GHMC Section 17.97.050, before the owners may make alterations or changes beyond the work approved to correct structural deterioration or decay as defined under the Secretary of the Interiors Preservation Guidelines.

RESOLUTION PASSED by the City Council and approved by the Mayor of the City of Gig Harbor this 11th day of April 2011.

APPROVE:

CITY OF GIG HARBOR



MAYOR, CHARLES L. HUNTER

ATTEST/AUTHENTICATED:

By: 

CITY CLERK, MOLLY TOWSLEE

APPROVED AS TO FORM;

OFFICE OF THE CITY ATTORNEY:

By: 

ANGELA S. BELBECK

FILED WITH THE CITY CLERK: 04/06/11

PASSED BY THE CITY COUNCIL: 04/11/11

RESOLUTION NO: 859

Exhibit A

